

**AGENDA**  
**REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD**

**WEDNESDAY JANUARY 12, 2021**

**151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI \***

\*\*\*\*\***7:30 pm**\*\*\*\*\*

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The highly transmissible COVID-19 Delta variant is spreading throughout the nation at an alarming rate. As a result, the CDC is recommending that vaccinated and unvaccinated personnel wear a facemask indoors while in public if you live or work in a substantial or high transmission area. Oakland County is currently classified as a substantial transmission area. The City has reinstated mask requirements for all employees while indoors. The mask requirement also applies to all board and commission members as well as the public attending public meetings.

- A. Roll Call**
- B. Review and Approval of the Minutes of the Regular Meeting of **December 8 & 16, 2021****
- C. Chairpersons' Comments**
- D. Review of the Agenda**
- E. Unfinished Business**
- F. Rezoning Applications**
- G. Community Impact Studies**
- H. Special Land Use Permits**
- I. Site Plan & Design Reviews**
- J. Study Session**
  - 1. **The Birmingham Plan 2040 – Review of Chapter Three (Retain Neighborhood Quality)**
  - 2. **Outdoor Dining (Comprehensive)**
- K. Miscellaneous Business and Communications:**
  - 1. Communications
  - 2. Administrative Approval Correspondence
  - 3. Draft Agenda – **January 26, 2022**
  - 4. Other Business
- L. Planning Division Action Items**
  - 1. Staff Report on Previous Requests
  - 2. Additional Items from Tonight's Meeting
- M. Adjournment**

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\* Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

**Link to Access Virtual Meeting:** <https://zoom.us/j/111656967>

**Telephone Meeting Access:** 877-853-5247 US Toll-Free

**Meeting ID Code:** 111656967

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**City Of Birmingham**  
**Regular Meeting Of The Planning Board**  
**Wednesday, December 8, 2021**  
City Commission Room  
151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on December 8, 2021. Chair Clein convened the meeting at 7:30 p.m.

**A. Roll Call**

**Present:** Chair Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Daniel Share, Janelle Whipple-Boyce, Bryan Williams

**Absent:** Alternate Board Members Jason Emerine, Nasseem Ramin; Student Representatives Daniel Murphy, Jane Wineman

**Administration:**

Nick Dupuis, Planning Director  
Brooks Cowan, Senior Planner  
Leah Blizinski, City Planner  
Laura Eichenhorn, City Transcriptionist

**Master Planning Team:**

Matt Lambert, DPZ

**12-187-21**

**B. Approval Of The Minutes Of The Regular Planning Board Meeting of November 10, 2021**

Mr. Share noted that on the bottom of page two "routs" should read "routes".

Mr. Jeffares said on page two "senior or community" should read "senior and community". Mr. Jeffares also specified that the 2040 draft Plan did not precisely call for a traffic circle on Woodward and recommended that Chair Clein's comments on page two be modified to clarify what was being referred to.

Chair Clein said that while he thought traffic circle sufficiently conveyed the concept, it could be changed from "a traffic circle on Woodward" to "the modification of the Woodward intersection".

**Motion by Mr. Jeffares**

**Seconded by Mr. Koseck to approve the minutes of the Regular Planning Board Meeting of November 10, 2021 as amended.**

**Motion carried, 7-0.**

VOICE VOTE

Yeas: Jeffares, Koseck, Share, Williams, Whipple-Boyce, Clein  
Nays: None  
Abstain: Boyle

**12-188-21**

**C. Chair's Comments**

Chair Clein welcomed everyone to the meeting and reviewed the meeting's procedures.

**12-189-21**

**D. Review Of The Agenda**

**12-190-21**

**E. Unfinished Business**

None.

**12-191-21**

**F. Rezoning Applications**

None.

**12-192-21**

**G. Community Impact Studies**

None.

**12-193-21**

**H. Special Land Use Permits**

None.

**12-194-21**

**I. Site Plan & Design Reviews**

None.

**12-195-21**

**J. Study Session**

## **1. The Birmingham Plan 2040 – Review of Chapter Two (Embrace Managed Growth)**

PD Dupuis introduced the item.

Mr. Lambert presented the item.

The Chair invited Board comment.

Mr. Williams commented that:

- Oakland west of Woodward and Ann near Purdy should be left as-is, and not as recommended in the light blue sections of the Future Land Use - Proposed Changes Map and the map on District Seams;
- The furthest east parcel of the aforementioned section of Oakland west of Woodward underwent a lot split in October 2021 which was not reflected on the map; and,
- Moving development closer to the road on Southfield, from Southlawn up to Canterbury, would be worth further exploration.

Mr. Jeffares said he believed the area of Oakland Mr. Williams referred to should be upzoned. He noted the area has multifamily developments, commercial developments, and busy roads, and said that it was a prime candidate for the addition of duplexes and small-scale multifamily. He also noted that the maps were incorrect, because Lincoln does not go all the way through Haynes Square.

Ms. Whipple-Boyce and Mr. Share agreed with Mr. Williams' comments regarding Southfield Road. Ms. Whipple-Boyce and Mr. Share said there could be an opportunity to add moderately-priced housing along Southfield Road.

In reply to Mr. Boyle, Mr. Lambert explained that the parcel to the north of Greenwood Cemetery in the Future Land Use Proposed Changes "District Seams" was being recommended for upzoning to bring it in line with the zoning of the adjacent area.

Chair Clein concurred with Mr. Jeffares regarding Oakland, noting that zoning to allow low-intensity multifamily would not preclude the addition of single family residential to the area if desired. He concurred with Mr. Williams' recommendations for Ann. He said he agreed with Mr. Lambert's comments about the homes near Willits.

Two Board members stated they were comfortable with the recommendations for Lincoln and 14 Mile.

In reply to Board inquiry, Mr. Lambert stated:

- It would be appropriate to consider having criteria for developments to qualify for unbundled parking in order to incentivize more 'missing middle' housing; and,
- The Master Planning Team could look into other potential mechanisms for incentivizing the City's goals for residential unit size and cost.

Mr. Boyle agreed it remains important to look at the correlation between required parking, residential density, properties and their prices. He said that the Plan should at least state that as a goal for the City, even if it cannot make full recommendations of how to proceed.

Chair Clein concurred with Mr. Boyle.

Mr. Williams and Chair Clein stated that until the Triangle Area has parking available there will not be an increase in the Area's residential development.

Mr. Jeffares noted that the majority of the recommended "District Destinations" are near existing commercial areas.

Mr. Lambert explained that the recommended "District Destinations" would be more oriented towards community gathering, like coffee shops, than the businesses already in those areas.

In reply to Mr. Koseck, Mr. Lambert noted that while there were residents that expressed their opposition to accessory dwelling units (ADUs), some also offered their support for the concept. He said that ADUs could possibly be tested first in areas zoned for multifamily. He said that the recommendation had been reduced from the first draft, and that study remains necessary.

Mr. Koseck said he had not spoken with anyone thus far who supported ADUs.

Mr. Lambert reported that the second Plan survey had 116 replies, and raised the topic of ADUs. He said of the replies, 43% of the respondents were in favor of ADUs, 43% were not, and the remainder of the respondents were undecided.

Chair Clein asked Mr. Lambert to reply to the email from Larry Bertollini which was submitted to the Board.

In reply to the Chair, Mr. Lambert said he was recommending a commercial destination for the parcel on the northeast corner of Eton and Lincoln because it is adjacent to a substantial park and it would encourage further development of the Rail District.

SP Cowan advised the Planning Board that the Parks and Recreation Board had recommended said parcel be developed with eight pickleball courts at its December 7, 2021 meeting.

#### Public Comment

Carl Kona spoke as a resident living in an area zoned for multifamily and said he was not in favor of ADUs. He said he could only see ADUs being appropriate on a case-by-case basis.

Mr. Bertollini reviewed his email to the Board.

Norm Cohen concurred with Mr. Kona. He said he was unsure how ADUs would add value to the community.

Mr. Williams said further exploration of zoning to allow main-floor additions, instead of vertical additions like ADUs, would likely be more beneficial in terms of keeping seniors in the community.

Ms. Whipple-Boyce said she was curious to learn more about ADUs and was glad they had not been eliminated entirely from the draft Plan. She said study of ADUs would be appropriate.

Chair Clein concurred with Ms. Whipple-Boyce, adding that he was not persuaded that denser areas were the appropriate trial locations for ADUs.

Chair Clein responded to Mr. Bertollini's comments. The Chair noted that sometimes broader Master Plan efforts supersede more local Master Plan efforts, as may be the case with the 2040 Plan and the Kenning Park Master Plan. Chair Clein acknowledged that can be disappointing when one has put effort into the more local Master Plan, but can also be necessary when trying to plan for a whole community. He concluded by stating that he did not believe the best use for the northeast corner of Eton and Lincoln was pickleball or tennis courts.

Chair Clein thanked all participants.

## **2. Outdoor Dining (End Date)**

PD Dupuis and Chair Clein introduced the item.

There was no Board or public comment or inquiry.

### **Motion by Mr. Williams**

**Seconded by Mr. Boyle to recommend approval to the City Commission the ordinance amendments to Article 4, Section 4.44, Outdoor Dining Standards, to remove temporal restrictions on outdoor dining patios in the public right-of-way, and to allow outdoor dining fixtures and furnishings to stay outside overnight.**

**Motion carried, 7-0.**

### **ROLL CALL VOTE**

Yeas: Williams, Boyle, Koseck, Share, Whipple-Boyce, Clein, Jeffares

Nays: None

## **3. Outdoor Dining (Comprehensive)**

PD Dupuis reviewed the item. He noted that an establishment's outdoor dining is restricted in most cases by ordinance to only being in front of said establishment's storefront.

Mr. Jeffares stated that while the resident survey on Engage Birmingham regarding outdoor dining had hundreds of respondents, he had heard from Birmingham Shopping District (BSD) members that very few business owners participated in writing the letter from the BSD to the Planning Board. He noted that page six of the BSD letter specified that the BSD received minimal feedback from business owners. He recommended that the Board not give the letter from the BSD disproportionate weight given the rate of participation.

Chair Clein said Mr. Jeffares' point was fair and that the perspectives of the BSD members still needed to be taken into account as property and business owners in the City.

**Motion by Mr. Williams**

**Seconded by Mr. Jeffares to receive and file an email from Joe Bongiovanni to PD Dupuis dated December 7, 2021.**

**Motion carried, 7-0.**

**VOICE VOTE**

Yeas: Williams, Jeffares, Boyle, Koseck, Share, Whipple-Boyce, Clein

Nays: None

Chair Clein noted that the email was signed by both Joe and Kristen Bongiovanni. The Chair summarized that the Bongiovannis recommended outdoor dining be enclosed and heated during colder months, and that they stated the lean-to Luxe had would likely meet guest expectations while not meeting pedestrian expectations. The Bongiovannis also recommended retractable awnings that cover a wider width of the sidewalk and at a lower height to protect against inclement weather.

Mr. Williams stated the Bongiovannis' perspective was largely opposite of what was contained in the BSD's letter. Mr. Williams said it was unlikely that all stakeholders would reach an agreement about how to approach outdoor dining. Mr. Williams said he was not in favor of fully enclosed outdoor dining but remained in favor of being able to provide protection from inclement weather during months of the year when people may want to dine outdoors.

Mr. Koseck said he was comfortable either with maintaining the outdoor dining as it was prior to Covid-19 or bringing in professionals to study the options and make recommendations. He said that changing the outdoor dining standards was a complex enough undertaking that the City should have outside assistance.

Chair Clein said that if the Board were at more of an impasse he might agree with Mr. Koseck, but that there were already a number of points of agreement among the Board members. He cited the Commission's and Board's agreement that there should not be full enclosures as one example.

Chair Clein said the Board must first determine the purpose of expanding outdoor dining. He said that decision would then help guide the further recommendations the Board would make.

In reply to the Chair, Mr. Share ventured that not all days or times of day would be appropriate for outdoor dining. He stated that pedestrian access and other accessibility concerns should all be appropriately addressed. He said that the purpose of this study would be creating opportunities to seize the infrequent times between November and April when outdoor dining would be appropriate, and to preserve the look, feel and utility of the City. He said he would prefer to err on the side of maintaining access over drastically increasing the number of days that outdoor dining would be feasible. He said those would be possible criteria for guiding the study.

In reply to the BSD letter, the Chair noted that hours of operation are a SLUP matter and not an outdoor dining one.

After Board discussion, Chair Clein summarized the matters to be decided regarding outdoor dining. Those matters included:

- Whether establishments with liquor licenses and establishments without liquor licenses should be handled differently;
- Whether there should be on-season and off-season dates for outdoor dining, and what should happen to furniture and other equipment on public property if there are different 'seasons';
- Whether establishments should be permitted outdoor dining on both a sidewalk and a deck if requested, and if not, what the City wants to incentivize instead;
- What types of coverings and equipment should be allowed, and how specific the standards should be in terms of material, location, and other considerations;
- Whether outdoor dining should be permitted to extend beyond the storefront of an establishment, and if so, what the limitations should be;
- Whether outdoor dining decks should be limited to a certain number per block; and,
- Whether outdoor dining in public space and outdoor dining in private space should be regulated differently.

Mr. Williams asked PD Dupuis to get a clear opinion from the BSD regarding whether the number of outdoor dining operations on a block should be limited and/or clustered in some way.

Mr. Boyle noted the City already has outdoor design standards that the Board can use to inform the discussion.

Chair Clein said it would be helpful for PD Dupuis to provide, if possible:

- A map with all non-liquor, bistro, and Class C establishments in the City;
- The number of parking spaces per street in the central business district; and,
- A compilation of all existing outdoor dining standards in the ordinance.

Mr. Jeffares asked PD Dupuis to seek clarification from the Fire Marshal about how an awning that is more than four feet wide and made of a non-combustible material would be handled.

Ms. Whipple-Boyce and Mr. Jeffares said it could be helpful to learn more about social districts, especially since it could help address a concern about too many potential outdoor dining decks on particular blocks.

Chair Clein said hearing about social districts might be helpful anecdotally, but that the Board was not tasked with studying social districts and should be careful not to overly focus on the topic.

Mr. Share noted any recommendations made by the Board can be observed post-implementation and then amended later if need be.

Chair Clein said the Board could likely make initial recommendations on a majority of the matters, while some of the other decisions could be potentially delayed to see how the initial implementation goes.

Chair Clein also recommended that a poll be posted to Engage Birmingham sometime in the new year to ascertain whether the public was actually interested in al fresco outdoor dining, as opposed to outdoor dining in semi-permanent structures with climate control.

**12-196-21**

**K. Miscellaneous Business and Communications**

- a. Communications**
- b. Administrative Approval Correspondence**
- c. Draft Agenda for next meeting**
- d. Other Business**

**12-197-21**

**L. Planning Division Action Items**

- a. Staff Report on Previous Requests**
- b. Additional Items from tonight's meeting**

**12-198-21**

**M. Adjournment**

No further business being evident, the Chair adjourned the meeting at 9:48 p.m.

Nick Dupuis  
Planning Director



**City Of Birmingham**  
**Special Meeting Of The Planning Board**  
**Thursday, December 16, 2021**  
City Commission Room  
151 Martin Street, Birmingham, Michigan

Minutes of the special meeting of the City of Birmingham Planning Board held on December 16, 2021. Chair Clein convened the meeting at 7:30 p.m.

**A. Roll Call**

**Present:** Chair Scott Clein; Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Daniel Share, Bryan Williams; Student Representative Daniel Murphy

**Absent:** Board Member Janelle Whipple-Boyce; Alternate Board Members Jason Emerine, Nasseem Ramin; Student Representative Jane Wineman

**Administration:**

Nick Dupuis, Planning Director  
Leah Blizinski, City Planner  
Brooks Cowan, Senior Planner  
Laura Eichenhorn, City Transcriptionist

**12-199-21**

**B. Approval Of The Minutes Of The Regular Planning Board Meeting of December 8, 2021 (POSTPONE)**

It was noted that the minutes of the December 8, 2021 meeting would be approved along with the minutes of the December 16, 2021 meeting at the January 12, 2022 meeting.

**12-200-21**

**C. Chair's Comments**

Chair Clein welcomed everyone to the meeting and reviewed the meeting's procedures.

**12-201-21**

**D. Review Of The Agenda**

**12-202-21**

**E. Unfinished Business**

None.

**12-203-21**

## **F. Rezoning Applications**

None.

**12-204-21**

## **G. Community Impact Studies**

None.

**12-205-21**

## **H. Special Land Use Permits**

- 1. 211 Hamilton Row – Sybil** – SLUP request for new restaurant service alcoholic liquors for on premises consumption and associated exterior building modifications.

PD Dupuis presented the item.

Kevin Biddison, architect, and Jordan Jonna of AF Jonna, owners of the Palladium Building, spoke on behalf of the project.

Mr. Jonna stated that Sybil would be using an escrow Class C liquor license assigned to 211 Hamilton Row.

In reply to Mr. Jeffares, Mr. Biddison said he would add outdoor trash receptacles to the plan.

In reply to the Chair, Mr. Biddison said the ADA crossing is in front of the fourth door to the left, and the outdoor dining would be well to the right of the crossing.

Mr. Boyle said this project could be beneficial for the area if well-done and well-managed. He noted that the plan leaves well over five feet for pedestrians.

Mr. Koseck concurred with Mr. Boyle that the project could benefit the area.

Mr. Williams said that while the plans somewhat reroute the pedestrian traffic, the proposal is better than having pedestrians walk between outdoor dining on either side of the pedestrian path. He stated the plans leave ample room for pedestrians between the outdoor dining and the curb.

Mr. Share said he was not in favor of the plans. He opined that gaining four seats was not worth moving the pedestrians closer to the street.

Chair Klein said he was in favor of the project. He cautioned the project team that the greenery in the planters should not be overly tall, stating that the outdoor dining should activate the street and not be walled off from the street with plants. The Chair emphasized that in broader

considerations of outdoor dining he believed the City needed prioritize enhancing and maintaining ADA and pedestrian pathways over eking out a few more tables for outdoor seating.

Mr. Koseck said it would be nice if the planters could round the corner. He suggested that a foot could be added to the sidewalk while preserving the total number of outdoor occupants if the tables and seating arrangements were slightly modified.

In reply to Mr. Koseck, Mr. Biddison said he would explore ways of modifying the seating, tables, and/or planters to add an additional foot to the width of the pedestrian path.

Chair Clein reminded Mr. Biddison to work with City Staff to ensure that any proposed changes would be ADA compliant.

**Motion by Mr. Williams**

**Seconded by Mr. Boyle to recommend approval to the City Commission for the Special Land Use Permit for 211 Hamilton Row – Sybil – subject to the following conditions:**

- 1. The applicant must submit specification sheets for the proposed tables and chairs to ensure compliance with Article 4, Section 4.44 of the Zoning Ordinance;**
- 2. The applicant must submit sign plans for review by the Planning Department prior to the public hearing at the City Commission; and,**
- 3. The applicant must comply with the requests of all City Departments.**

**Motion carried, 5-1.**

VOICE VOTE

Yeas: Williams, Boyle, Jeffares, Koseck, Clein

Nays: Share

**12-206-21**

**I. Site Plan & Design Reviews**

- 1. 211 Hamilton Row – Sybil – FSP & DR request for new restaurant service alcoholic liquors for on premises consumption and associated exterior building modifications**

Presented and discussed during previous item.

**Motion by Mr. Williams**

**Seconded by Mr. Boyle to recommend approval to the City Commission for the Final Site Plan & Design Review for 211 Hamilton Row – Sybil – subject to the following conditions:**

- 1. The applicant must submit specification sheets for the proposed tables and chairs to ensure compliance with Article 4, Section 4.44 of the Zoning Ordinance;**
- 2. The applicant must submit sign plans for review by the Planning Department prior to the public hearing at the City Commission; and,**

**3. The applicant must comply with the requests of all City Departments.**

**Motion carried, 5-1.**

VOICE VOTE

Yeas: Jeffares, Koseck, Williams, Clein, Boyle

Nays: Share

**2. 460 N. Old Woodward – FSP & DR request for a new 4-story mixed use building**

Chair Clein recused himself at 8:01 p.m. due to a business relationship with one of the applicants.

Vice-Chair Williams assumed facilitation of the meeting at 8:01 p.m.

PD Dupuis presented the item.

Alex Saroki, architect, introduced the project. He stated:

- Plans for a masonry trash enclosure with a limestone cap and an opaque door will be added;
- The dumpster will be rolled out to the curb for emptying and then be returned to the enclosure;
- The photometric plans will be updated to comply with City requirements;
- The glass specifications were submitted to PD Dupuis after the December 16, 2021 agenda was published;
- The project will comply with all departmental reviews;
- The existing grading will be maintained along the south property line;
- An easement was reached with 450 N. Old Woodward for drive access;
- The drive will be 17 feet across, instead of the 18 feet showed on the previous plans, because the owners of 450 N. Old Woodward did not want to modify their staircase to add the extra foot.

PD Dupuis confirmed that he had received the glass specifications.

Vice-Chair Williams noted that the property to the south may have concerns about trucks in the driveway area. He advised the project team to solicit feedback from the neighboring property owners and to attempt to resolve any concerns before this item returns to the Board for a bistro review.

In reply to Mr. Koseck, Alex Saroki confirmed the project team would find a way to indicate to drivers that the height to the second story cantilever is eight feet in order to avoid vehicle collisions.

In reply to Mr. Jeffares, Victor Saroki, architect, said the project team was only seeking approval for the knee wall presently and not the planter that was shown on some earlier renderings.

After discussion, the Board asked the applicant if they would agree to comply with any existing streetscape plans for the area of 460 N. Old Woodward.

Vice-Chair Williams added that the applicant could come back to the Board if the streetscape plan requirements for the area were found to be too onerous.

Victor Saroki confirmed.

In reply to Vice-Chair Williams, Mr. Murphy said he thought the proposal was good.

**Motion by Mr. Jeffares**

**Seconded by Mr. Share to approve the Final Site Plan & Design Review for 460 N. Old Woodward with the following conditions:**

- 1. The applicant must provide revised plans containing all material details including the masonry cap and gate materials for the proposed trash enclosure;**
- 2. The applicant must submit a revised photometric plan that meets the requirements of Article 4, Section 4.21 of the Zoning Ordinance;**
- 3. The applicant must comply adhere to any existing streetscape plans; and,**
- 4. The applicant must comply with the requests of all City Departments.**

**Motion carried, 5-0.**

**VOICE VOTE**

Yeas: Jeffares, Share, Williams, Boyle, Koseck

Nays: None

**3. 325 S. Eton – District Lofts Phase 3 – FSP & DR request for a new 4-story mixed use building**

Chair Clein returned at 8:36 p.m. and resumed facilitation of the meeting.

SP Cowan presented the item. He noted that the amount of available parking would be sufficient for most uses unless restaurants or other parking-intensive commercial uses moved into all three available commercial spaces.

Victor Saroki, architect, spoke on behalf of the project. He stated that the majority of the units would be one-bedroom and would be smaller than the residential units in District Lofts Buildings A and B. He confirmed that the project would comply with all departmental requirements.

The Chair reiterated SP Cowan's report which noted that no changes are planned for the Grand Trunk Railroad Depot, located at 245 S. Eton.

In reply to Mr. Jeffares, Mr. Saroki stated that the building will be a heavy-gauge metal frame building using a stick-built construction style.

Mr. Boyle noted that the smaller residential units were in line with the City's goals.

In reply to an inquiry from Mr. Boyle, the project team estimated that the residential units would go on the market for about \$2,100 per month.

In reply to Mr. Boyle's inquiry regarding amenities, Mr. Saroki stated the building will have a community room, business facility, fitness facility, and package delivery area on the first floor. The building's units will also have open floor plans, and there will be a park in the rear that will be shared by residents of all three District Lofts buildings.

In reply to Mr. Koseck, Mr. Saroki said they hoping to discourage vehicular traffic behind the building. It was noted that vehicles looking to park beneath the building would largely not have to go behind the building. He noted that the crosswalks in the rear of the building would be constructed of brick pavers to maintain the focus on pedestrian access.

The Chair said he liked the project, and was glad to see smaller residential units. He said it might be worthwhile for the the project team to consider removing curbs, as done with festival streets, from the rear of the building.

**Motion by Mr. Share**

**Seconded by Mr. Koseck to approve the Final Site Plan & Design Review for 325 S. Eton Street subject to the following conditions:**

- 1. The applicant provide a formal easement agreement to the City to accommodate the required space to install required street trees and street lights in a manner consistent with the Eton Street Corridor and to maintain a five foot public sidewalk;**
- 2. The applicant provide specification sheets indicating the proper City standard Rail District street lights, benches, and bike racks will be installed;**
- 3. The applicant submit complete floor plans indicating the number of bedrooms for all units in order to verify the minimum lot area per unit requirement is met;**
- 4. The applicant submit a revised photometric plan indicating proper illuminance levels for the circulation area connecting the Phase 3 building to the parking structure;**
- 5. The applicant indicate a first floor height of 12 feet measured from the finished floor to finished ceiling in the submitted building plans;**
- 6. The applicant provide dimensions of the electronic transformers to verify they are properly screened; and,**
- 7. The applicant must comply with the requests of all City Departments.**

Mr. Boyle spoke in favor of the project. He commended the City, architects and developers on the quality of materials being used. He noted that the initial phase of the project proposed live-work spaces, but suggested that mixed use buildings are the appropriate evolution of that thinking.

Mr. Williams noted that District Lofts Buildings A and B have been popular with residents and have maintained a number of residents for a long time.

Chair Clein stated that this project exemplifies what the City is looking for in terms of quality, design, thoughtfulness, and type of product. He commended the project team.

**Motion carried, 6-0.**

**VOICE VOTE**

Yeas: Share, Koseck, Clein, Jeffares, Williams, Boyle

Nays: None

**12-207-21**

**J. Study Session**

None.

**12-208-21**

**K. Miscellaneous Business and Communications**

- a. Communications
- b. Administrative Approval Correspondence
- c. Draft Agenda for next meeting
- d. Other Business

**12-209-21**

**L. Planning Division Action Items**

- a. Staff Report on Previous Requests
- b. Additional Items from tonight's meeting

**12-210-21**

**M. Adjournment**

No further business being evident, the Chair adjourned the meeting at 9:17 p.m.

Nick Dupuis  
Planning Director

Laura Eichenhorn  
City Transcriptionist



# MEMORANDUM

Planning Division

**DATE:** January 12, 2022

**TO:** Planning Board

**FROM:** Nicholas Dupuis, Planning Director

**SUBJECT:** The Birmingham Plan 2040 - Review of Chapter Three (Retain Neighborhood Quality)

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## Introduction/Summary

The City of Birmingham received the second draft of The Birmingham Plan 2040 ("the Plan") in October 2021 after nearly 2 years of review and input. On October 11<sup>th</sup>, 2021, the Plan was introduced to the City Commission and Planning Board at a joint meeting. During this meeting, City Staff and Planning Board members outlined a rough review timeline for the second draft that would consist of four meetings at the Planning Board, and at least one joint meeting of the Planning Board and City Commission to finalize the second draft and authorize distribution of the Plan for review by entities as required by state planning law.

On October 13<sup>th</sup>, 2021, the Planning Board discussed a detailed review timeline for the second draft of the Plan, and requested a new Future Land Use Map document to better guide the four review meetings. At this meeting, the Planning Board adopted the following public review timeline:

- **November 10<sup>th</sup>, 2021** - Introduction, Future Land Use Map, and Chapter 1 (Connecting the City)
- **December 8<sup>th</sup>, 2021** – Chapter 2 (Embrace Managed Growth)
- **January 12<sup>th</sup>, 2022** – Chapter 3 (Retain Neighborhood Quality)
- **February 9<sup>th</sup>, 2022** – Chapter 4 (Support Mixed-Use Districts) and Chapter 5 (Advance Sustainability Practices)

On November 10<sup>th</sup>, 2021, the Planning Board started the review of the second draft of the Plan with the Introduction, Future Land Use Map, and Chapter 1. During the review, the Planning Board generally commended the consultant team for addressing many of their directions from the review of draft one. The board also discussed an array of topics including various multimodal issues, suggestions for the Future Land Use Map, and commercial destinations.

On December 8<sup>th</sup>, 2021, the Planning Board continued the review with Chapter 2. During the review, the Planning Board provided comments on specific areas of the City in regards to seams, and also provided feedback regarding commercial destinations and ADU's. Several of the new maps provided by City Staff were also discussed in detail.



### **Chapter 3 – Retain Neighborhood Quality**

Similar to the review of Chapters 1 and 2, the Planning Division has included several documents in the packet to aid in the review of Chapter 3. Up to this point, the Planning Division has received no additional public comment to include. The following documents are attached for your reference:

- DPZ summary letter of recommendations from the review of the first draft of the Plan
- Current draft of the Future Land Use Map
- Current Zoning Map
- Map series demonstrating changes from current Zoning Map to Future Land Use Map
- Chapter 3 – Retain Neighborhood Quality

### **Master Plan Access and Meeting Participation**

As a reminder, digital copies of the first and second draft of the Plan, presentation slides, frequently asked questions, Future Land Use Map, other documents pertaining to the review of the Plan, and a comment submission portal may be found on [www.thebirminghamplan.com](http://www.thebirminghamplan.com). In addition, you can find much of the same information, plus an online interactive Future Land Use Map on the Planning Division's [Citywide Master Plan](#) webpage. You may also sign up for news and updates on the Plan (and other City business) through the City of Birmingham [Constant Contact Service](#).

Those who are unable to attend any of the review meeting, or wish to provide any additional comments to the Planning Board are welcome to submit a letter or email to the Planning Director, Nicholas Dupuis ([ndupuis@bhamgov.org](mailto:ndupuis@bhamgov.org)), who will compile and submit all comments received to the Planning Board at the next available meeting.

## Ch 3. Retain Neighborhood Quality

# Ch 3. Retain Neighborhood Quality

## Equip Parks to Serve Neighborhoods

### Equip Parks to Serve Neighborhoods

Birmingham's natural areas, parks, recreational facilities, and schoolyards are vital resources for its neighborhoods and surrounding communities. These open space amenities are important both for public health and as places where neighbors interact. Each neighborhood should have nearby access to open space which is designed with a broad set of activities to support a range of ages and abilities. While some neighborhoods are well served with parks and open spaces, when analyzed from a Planning District basis, many lack sufficient services. The 2018 Parks Master Plan addresses many service needs from a park-by-park basis. However, a planning district-based analysis should be completed to ensure that each neighborhood can supply diverse activities to its residents, within its existing parks or with sufficient programming at nearby community parks.

While Birmingham boasts many parks and the Rouge River natural area, an open space amenity is not located within close proximity to all residents. Considering which parks are accessible by a short walk to most residents, the core portion of the city is well accommodated while edges have less access. Opportunities to add park space are limited because the city is fully built, but parks programming can be augmented to make up for lacking amenities and spaces may be considered for reprogramming.

Parks and open spaces differ in their size, context, and ability to provide services and amenities. Larger, community parks provide more numerous amenities. Because these

are limited in number, each services a significant portion of the city, not only the surrounding neighborhood. Yet these parks must also provide neighborhood park amenities. This dual-purpose can cause conflict, where direct neighbors attempt to limit their use and access. For instance, some residents have expressed serious frustration that dog runs have been excluded from neighborhood parks. The single run at Lincoln Hills Golf Course is insufficient for a city the size of Birmingham.

Open space amenities are a critical resource for quality of life across the city. To ensure each Planning District has sufficient access to these amenities, access, service area, and the provision of amenities should be studied. Amenities should be provided according to the size, and location of each open space by type. A chart and map are provided as best practice recommendations for a future update to the Parks Master Plan.

Of all Planning Districts, Torry is most notably lacking park space. Already built-up there are few easy solutions to providing new open space. Two potential opportunities exist around Torry looking further to the future. Open space may be required as a condition for redevelopment of the Adams Square shopping center. Alternatively, the current post office site would accommodate a well-sized park if, within the horizon of this plan, the post office elects to vacate the property. As both options are difficult, the planned Worth Park in the Triangle District should be developed. Worth Park is reasonably accessible for the Torry neighborhood, but it would not fulfill all of the neighborhood's needs.

Quarton and Seaholm districts also lack official open park space for much of their Planning Districts. Like Torry, these areas have little opportunity for new open spaces. However, both neighborhoods utilize schoolyards as informal open spaces. The city should consider a more formal arrangement for neighborhood use of these spaces, including equipment and amenity needs to fulfill neighborhood park best practices. Officially using school fields as community and neighborhood parks requires approval from the school



Figure 33. Kids playing in Booth Park.

# Ch 3. Retain Neighborhood Quality

## Equip Parks to Serve Neighborhoods

Park	Athletics	Cafe	Garden	Dogs	Exercise	Play	Splash	Seating	Walkways
Mini Parks									
1. Baldwin Well								X	
2. Derby Well			X		X			X	X
3. Pump House					X			X	X
4. Redding Well			X		X			X	X
5. Lynn Smith			X		X			X	X
6. Martha Baldwin					X			X	X
7. South Well			X					X	X
Neighborhood Parks									
8. Crestview	X		X	X	X	X		X	X
9. Howarth	X		X	X	X	X		X	X
10. Linden	X		X	X	X	X		X	X
11. Pembroke	X		X	X	X	X		X	X
12. St. James	X		X	X	X	X		X	X
13. W. Lincoln Well Site	X		X	X	X	X		X	X
14. Adams Park	X				X	X		X	X
A. Adams Square	X			X	X	X		X	X
B. Quarton School	X			X	X	X		X	X
Community Parks									
15. Barnum	X		X	X	X	X	X	X	X
16. Kenning	X			X	X	X	X	X	X
17. Poppleton	X		X	X	X	X	X	X	X
C. Seaholm	X			X	X	X		X	X
Specialty Parks									
18. Booth		X		X	X	X	X	X	X
19. Rouge River								X	X
20. Shain		X				X	X	X	X
21. Quarton Lake			X	X	X	X	X	X	X
22. Museum								X	X
23. Manor					X	X		X	X
24. Springdale	X			X	X	X		X	X
25. Lincoln Hills	X			X				X	X

Figure 34. Amenity Targets by Park and Park Type.

# Ch 3. Retain Neighborhood Quality

## Equip Parks to Serve Neighborhoods

board and collaboration with the city concerning access, hours, liability, equipment, and maintenance. In a fully built community like Birmingham, school fields are one of the only opportunities to expand open space access and amenities.

### MASTER PLAN ACTIONS

1. Develop Worth Park as quickly as plausible to provide a portion of the needed open space access for Torry.
2. Attempt to purchase part of the Adams Square parking lot for park space, and if unsuccessful ensure that redevelopment would require that open space be provided at Adams and Bowers.
3. Establish a formal arrangement with the school districts for community use of school facilities.

4. Expand the 2018 Parks and Recreation Master Plan or create a new plan beyond the 2022 horizon, to implement Parks Best Practices by adding missing amenities and updating those that are out of date. Utilize Planning Districts to determine sufficiency of park access across the city.

### PARKS BEST PRACTICES

Each type of park should provide specific amenities, as their size and configuration permits. All spaces should include public/civic art, signage, accessible paths, trash and recycling receptacles, and shaded seating.

Plazas are the most limited type of open space. These paved areas are small and typically provide only the amenity of passive recreation with seating along their edges. Some may also include water features and splash pads. Birmingham does not have plazas today, but some are

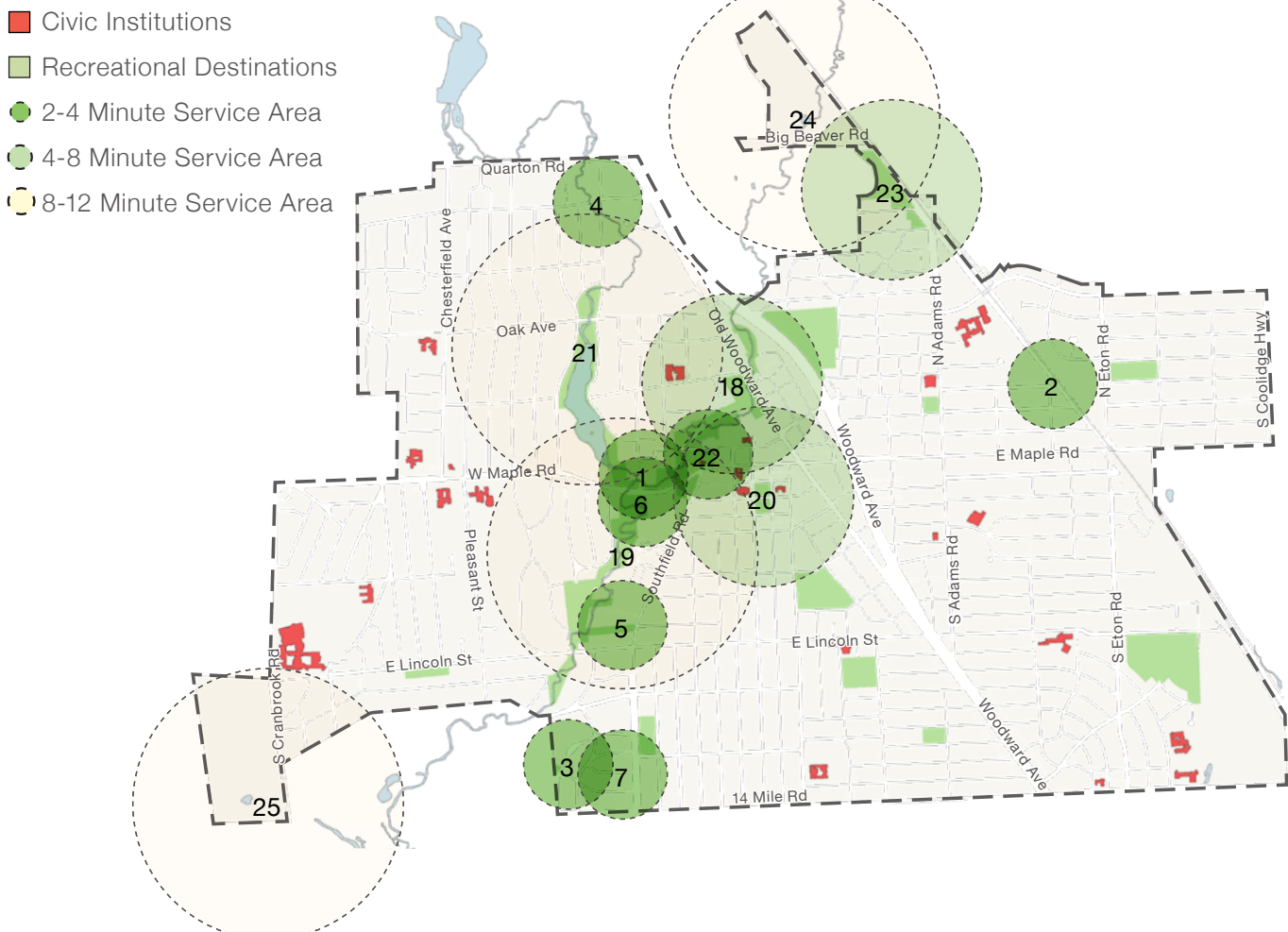


Figure 35. Birmingham Specialty Parks and Mini Parks.

# Ch 3. Retain Neighborhood Quality

## Equip Parks to Serve Neighborhoods

contemplated by this and other plans.

Mini parks, like the well sites, are also quite limited due to their size. They serve an area of roughly 2-to-5 minutes walking distance. These spaces provide limited active recreation with limited trails. Exercise opportunities should be considered along trails. Passive recreational opportunities are provided with seating areas and may be expanded with community gardens and small dog runs. Mini parks should have some lighting, but be limited in intensity and frequency.

Neighborhood parks are of a moderate size, able to provide a variety of amenities. They serve an area of roughly 5-to-7 minutes walking distance. These should include play equipment for children, passive seating areas, and active amenities like tennis, basketball, and limited sports fields as space allows. Neighborhood parks should also provide bicycle

parking and lighting, dog runs, and green stormwater infrastructure, and may provide community garden space.

Community parks are substantial spaces that should include a significant variety of amenities. These parks serve a neighborhood park function for those residents within a 5-to-7 minute walk, but also serve a much more significant portion of the city that may walk, bike, or drive to access their amenities. Community parks should provide the amenities of neighborhood parks, and include more significant active recreational offerings, cafes, restrooms, and other specialized amenities. They should provide ample bicycle parking, lighting, and some public parking.

Specialized parks serve a very specific function due to their location, and should be considered on a case-by-case basis. These include the Rouge River Natural Area, Shain Park, and other special open spaces.

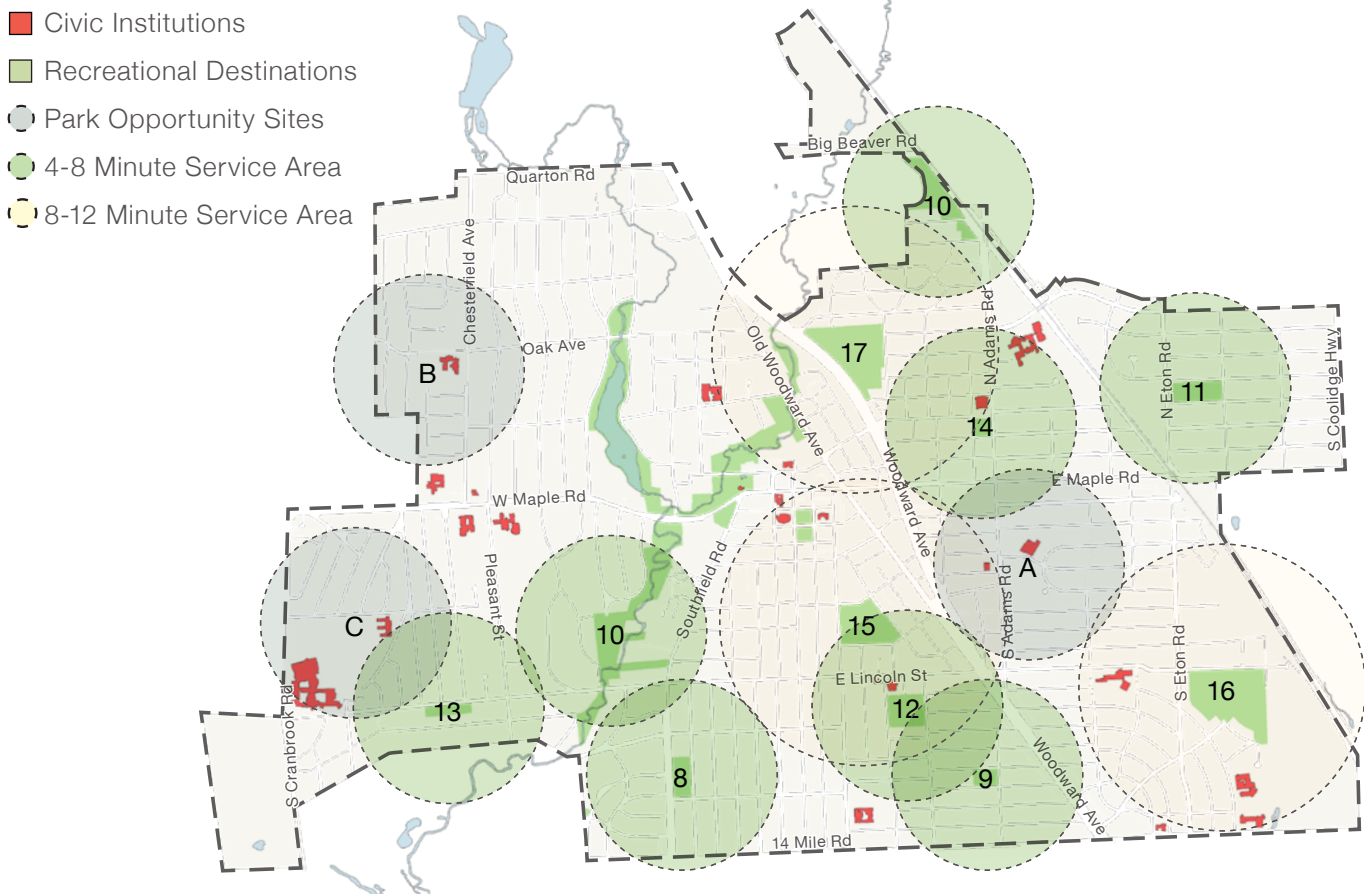


Figure 36. Neighborhood and Community Parks.



# Ch 3. Retain Neighborhood Quality

## Keep Streets Pedestrian-oriented

### Keep Streets Pedestrian-oriented

Streets are the most pervasive public space in a city, and Birmingham's streets are exceptionally beautiful and pleasant. However, the role of moving cars is too often considered the primary role of streets, which are then widened to make driving easier. In most cases, widening neighborhood streets reduces their function and safety for pedestrians and bicyclists, reduces street tree canopy, and increases vehicle speeds. Fortunately, Birmingham has resisted calls to widen streets for the movement of cars. As a result, Birmingham retains a wonderful tree canopy and streets that are pleasant to walk along, bike along, and not too difficult to drive along.

Yet today, calls for wider streets continue. Too often our job as consultants is concerned with reducing roadway pavement and adding trees; making streets elsewhere more like those found in Birmingham. Once streets are widened, cars will move more quickly and those streets become convenient ways to cut around areas of congestion. However, some streets in Birmingham are too narrow, like Westchester Way, paved approximately 16 feet yet operating two-way with parking. Streets narrower than 20 feet paved and operating two-way with on-street parking should be considered for a modification of function or widening. Most other streets should not.

Beyond the space to accommodate automobiles, street design must consider pedestrian comfort and safety, bicyclist comfort and safety, and street trees.

Pedestrian comfort and safety is influenced by the size and location of sidewalks. Birmingham's historic neighborhood standard was a minimum 4 foot sidewalk, which is insufficient by today's standards. In most neighborhoods, sidewalks should be a minimum of 5 feet wide, and 6 feet in neighborhoods near mixed-use districts or streets with multi-family housing. The recently passed Residential Street Design Standard specifies a 5 foot minimum, which works for most places. In a mixed-use context, sidewalks should be wider, no less than 14 feet from curb to edge of right-of-way assuming a paved tree lawn with tree wells. Shared space streets are a special exception to be handled on a case-by-case basis.

Sidewalks should also be continuous and pervasive. Today, sidewalks are missing in numerous places, which should be surveyed and remedied. Similarly, street intersections which do not have accessible ramps to crossings should be remedied.

Bicyclist and micro-mobility comfort and safety is principally influenced by the speed of vehicles and availability of dedicated facilities. In most streets, narrow lanes result in slow car movement, which provide bike and micro-mobility needs. But more so than cars, frequent stopping is extremely inconvenient. Bicycle boulevards should be considered to solve this issue, arranging intersection control to prefer bike and micro-mobility through movement and diverting cars to avoid cut through movement. The neighborhood loop proposes such a system. Along streets with speeds above 25mph, however, dedicated facilities should be provided or means of slowing traffic pursued.

The tree lawn is critical to street trees; sufficient root area results in greater canopy. Canopy health is very closely related with the health of residents, mental and physical, and the success of children in school. In fact, programs exist across the country to re-establish urban tree canopies to improve the health outcomes of children. In neighborhoods, tree lawns should not be sacrificed for pavement width.



Figure 37. A pleasant, right-sized street in the Quarton district.

# Ch 3. Retain Neighborhood Quality

## Keep Streets Pedestrian-oriented

All of these variables in mind, the ideal roadway width will depend upon the right-of-way width and what the street should best accommodate. Lincoln is perhaps the most difficult decision point in Birmingham. It needs on-street parking but is also an important route for cyclists. Certainly Lincoln needs to sustain its tree canopy. And as a major vehicular connector, Lincoln must accommodate cars. With recent crosswalk improvements, the means of accommodating bicycles must be carefully considered. Today, Lincoln is too busy a street to feel safe for many bicyclists.

Standards were set for residential streets by the Multi-modal Transportation Board and City Commission due to recurring resident requests for wider streets when they are improved. The current policy sets a standard residential street at 26 feet from curb-to-curb where the right-of-way is 50 feet or greater and 20 feet with parking along one side where the right-of-way is less than 50 feet. The policy provides for modifications for a number of specific conditions that may legitimately require greater paving, such as school bus routes. Generally these standards align with best practices to keep traffic moving slowly through neighborhoods, increasing safety.

These standards should be retained, but may be augmented to simplify the exception criteria, aligning it with future land use. Minor modification is also needed to accommodate wider sidewalks along district seams. The residential street standards provide a modification of roadway width from 26 feet to 28 feet where on-street parking is in more active use. Because on-street parking will be more actively used in neighborhoods with high intensity fabric, the standard here may default to 28 feet. Similarly, neighborhoods with low intensity fabric will have low on-street parking usage and should be less justified to allow for wider streets. Additionally, provided the narrow width of most streets, the standard residential street posted speed should be lowered to 20 mph. The Michigan Vehicle Code 257.627(2) (e) states that the maximum speed in city neighborhoods is 25 mph unless another speed is fixed and posted. The main remaining issue with streets is parking beyond the roadway on unimproved streets as it encourages cut-through traffic and speeding. Once streets are improved this issue will be resolved.

### MASTER PLAN ACTIONS

1. Task the Multi-modal Transportation Board with an update to the Residential Street Standards, aligning the following streetscape elements with Future Land Use categories. Update the Multi-modal Plan accordingly.
  - a. Sidewalk width;
  - b. Planter width and type;
  - c. Type and extent of on-street parking;
  - d. Frequency of curb cuts; and
  - e. Width of roadway.
2. Task the Multi-modal Transportation Board with a study of bicycle accommodation alternatives along Lincoln. Update the Multi-modal Plan accordingly.
3. Reduce residential posted speed limits to 20 mph.
4. Update the Multi-modal plan to complete gaps in sidewalks and accessible corner ramps where not already specified.

### STREETSCAPE BEST PRACTICES BY LAND-USE CATEGORY

1. Mixed-use Center: 8 foot sidewalks or wider, excluding a paved tree lawn area; 5-to-6 foot tree lawn principally paved with tree wells; on-street parking both sides.
2. High Intensity Fabric: 6 foot sidewalk; tree lawns 6 feet or wider, appropriate for long tree wells or continuous planters; on-street parking both sides.
3. Medium and Low Intensity Fabric: 5 foot sidewalk; tree lawns 8 feet or wider; on-street parking on one or both sides.
4. High and Medium Intensity District Seam: 6-to-8 foot sidewalk; tree lawns 6 feet or wider, appropriate for long tree wells; on-street parking both sides.
5. Low Intensity District Seam: 6 foot sidewalk, tree lawns 6 feet or wider; on-street parking both sides.



# Ch 3. Retain Neighborhood Quality

## Replace Unimproved Streets

### Replace Unimproved Streets

Many neighborhood streets in Birmingham are in disrepair. Residents are confused about the process to improve streets, which is exacerbated by unique situations in two parts of the community.

As is readily apparent, many neighborhood streets are in very poor condition. The situation is historic, related to the standards in place as far back as each neighborhood was initially developed. It has been incumbent upon neighbors to choose to improve their streets, and pay into that improvement based upon how much lot frontage they have along the street. To date, a significant number of residents have done just that, yet it leaves nearly 26 linear miles of streets unimproved. Most unimproved streets are easily

recognizable in that they do not have curbs. Yet, to confuse the matter, there is a small section of unimproved streets that have historic curbs. And lastly, there is a section of Birmingham where sewer service is located in the rear lot, not in the street, which requires special consideration when improving streets.

The City Commission convened an Ad-hoc Unimproved Streets Committee (AHUSC) to study this issue. In late 2020, the committee issued its recommendations. A high-level summary of those recommendations are to: 1) change the process of initiating street repair to be instigated by the City; 2) use the City's general fund to pay for the non-utility improvements to streets and bonds to pay for the utility portion of improvements, reimbursed by residents through special assessment and utility rate fees; and 3) to prefer

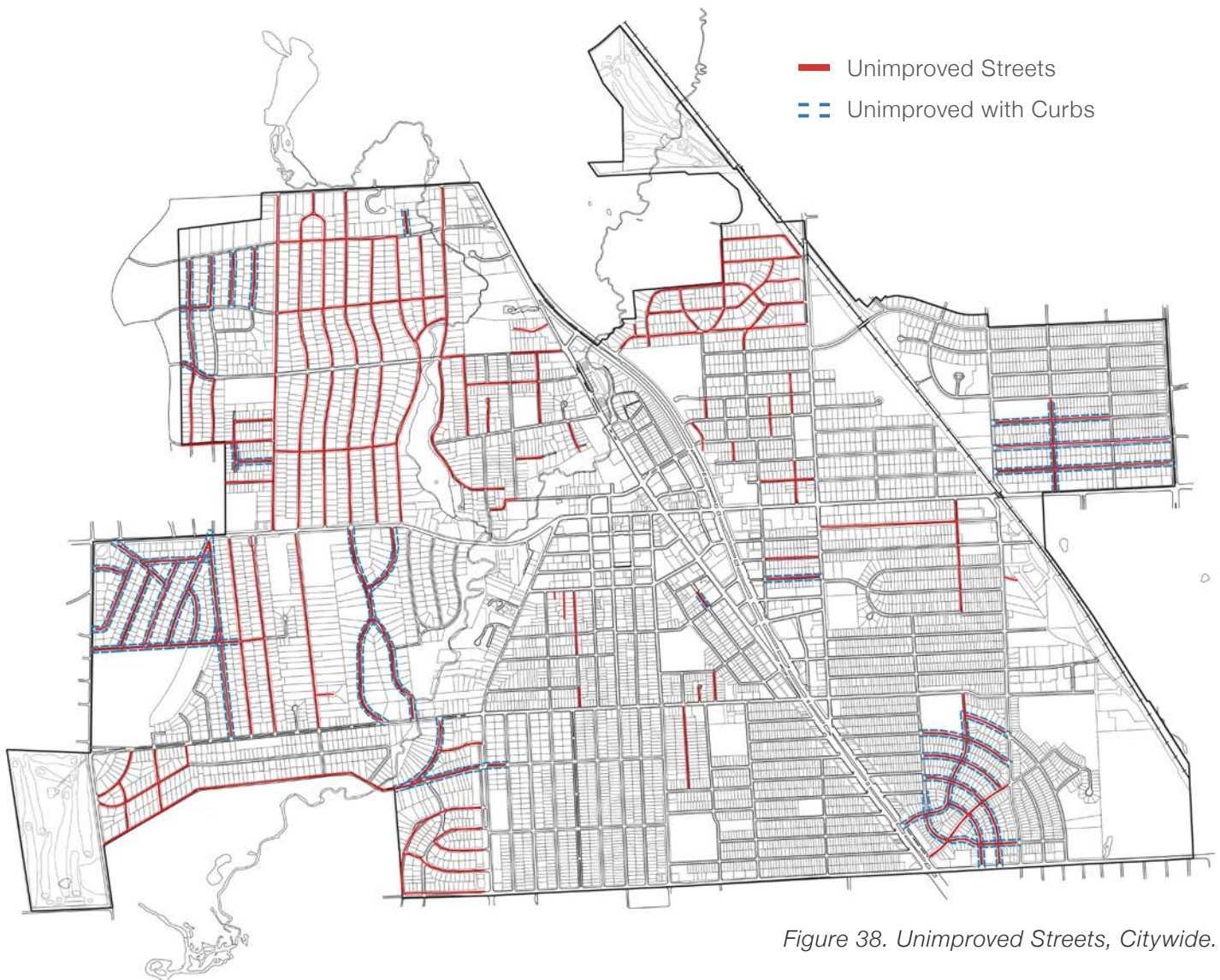


Figure 38. Unimproved Streets, Citywide.

## Ch 3. Retain Neighborhood Quality

### Retain Street Tree Canopy

construction of concrete streets over asphalt for their longevity, with exceptions for low volume conditions.

With these well researched recommendations in place, adjustments to unimproved streets policy and the city budget are required, along with a strategy for prioritizing streets to improve. A consistent approach is recommended, ensuring funds are regularly allocated to carry on improvements. From a priority standpoint, the current condition of unimproved streets should be surveyed to categorize the state of disrepair. The stormwater condition of streets is a particularly important element to consider as streets with stormwater problems will deteriorate more quickly than others. To work through the list of repairs, consideration should be given to equitably distribute repairs throughout the city so that one neighborhood is not prioritized over another. This can be done by ensuring that more than one Planning District receives repairs in any year. Some Planning Districts, like Quarton and Seaholm, are almost entirely unimproved and may receive a greater share of improvements than other districts as a result.

#### MASTER PLAN ACTIONS

1. Adopt policy recommendations specified by the Ad-hoc Unimproved Streets Committee (AHUSC).
2. City staff should survey the current condition of unimproved streets, categorized by the current quality such that streets in the most extreme states of disrepair can be prioritized for improvement. Stormwater issues should receive special priority.
3. City Commission should establish a yearly budget to remedy unimproved streets, considering the general fund plus bond strategy and repayment timelines recommended by the AHUSC.
4. Remedy unimproved streets according to the repair priority and budget, ensuring improvements occur in different planning districts, not all in a single district in a single year.

#### Retain Street Tree Canopy

Birmingham's downtown and neighborhoods benefit from a rich tree canopy, increasing both house values and

the public well-being. This street tree canopy should be protected and well maintained. At present, the City works to diversify tree species, which is important in avoiding disease. Considerations should also be made to select species that will sustain the City's future climate. Much of the community is well stocked with trees but some streets, like Brown and 14 Mile, have gaps in the street tree canopy, sometimes spanning an entire block.

Most substantially, the City's commercial districts have severe street tree gaps, including entire streets without trees. Maple and Woodward have more consistent trees than elsewhere, with limited gaps such as Willits. However, streets like Merrill appear to have insufficient root area, resulting in small and ineffective trees. New plantings with the recent Woodward and future Maple streetscape projects have extended the root area to support a healthier tree stock, which is necessary elsewhere. The Triangle and Rail Districts have few street trees and are in need of streetscape redesign. Plantings are especially needed in these areas to fight the urban heat island by shading sidewalks and roadways, and to provide relief for pedestrians.

#### MASTER PLAN ACTIONS

1. Survey missing street trees and prioritize new plantings along neighborhood streets with thin canopies.
2. Survey areas with constrained root conditions and establish a plan to provide additional root volume.
3. Prevent existing, healthy trees from being removed due to new construction. (Permitting, Inspections)
4. Create a streetscape improvement plan for the Triangle District and Rail District. (already specified)
5. Convene a committee to establish tree policies to:
  - a. Select large canopy species native to the region for streets and parks, retaining the character of each neighborhood's distinctive canopy while considering the region's future climate.
  - b. Minimize overly-used or exotic species, such as Crab Apple, Honey Locust and Pear Trees.
  - c. Craft policy requiring that trees removed due to new construction be replaced, as well as mandatory contributions to fund new off-site trees.

# Ch 3. Retain Neighborhood Quality

## Revise Parking Restrictions

### Revise Parking Restrictions

Parking policies within Birmingham neighborhoods confuse visitors and residents and are difficult if not impossible to enforce. Current posted requirements differ substantially throughout the City to such an extent that the Police Department can only enforce by complaint. Decades of block-by-block modifications have eroded the public nature of streets.

The source of resident requests are real problems created by parking overflow in key areas of the City, but there is a mismatch between the conditions creating problems and the number and location of solutions. Residents are understandably concerned with parking spill-over from nearby non-residential uses. City staff is concerned that removing parking exacerbates parking spill-over, the complexity of regulations is difficult to enforce, and that street parking is a public good.

Observations in the Rail District and Seaholm corroborate these concerns (See Figure 39). Rail District regulations have been created to limit nighttime use of on-street parking to ensure residents have available parking, resulting in 8 different parking standards within a small area. Seaholm regulations have been created to limit daytime student parking, resulting in 12 different parking standards within a small area.

These conditions are difficult to enforce and represent a small segment of the city which has many more similar conditions. Some areas have entirely removed parking, which encourages speeding - another issue of concern to residents. In many cases the perception of insufficient parking is not in step with the actual availability of parking, however, the complexity of restrictions contributes to violations.

To reduce excessive complexity that leads to enforcement difficulties, and to solve for the real issues of spill-over parking, we recommend that the city begin anew with a simplified selection of standard restrictions. There is far too much variation in existing restrictions to adjust them one-by-one. A committee should study the situation citywide and establish a limited set of options and a plan to re-assign parking restrictions. The option to have no

parking restrictions at all along streets should be the default preference where there is not a clear conflict caused by adjacent mixed-use districts or institutions.

### MASTER PLAN ACTIONS

1. Convene a committee to study citywide street parking restrictions and permits, charged with:
  - a. Creating a consistent and limited set of citywide parking standards. An example of such a set follows:
    - No restriction
    - 2-hour parking from 9am to 4pm, except by permit (this addresses daytime parking issues from students and downtown workers)
    - Parking by permit only, 5pm to 10am (this addresses nighttime parking issues from food service)
    - Neighborhood Parking Benefit District, used in association with (b) or (c) above.
  - b. Create a plan to re-assign street parking restrictions citywide for greater consistency.
  - c. Establishing a consistent residential permit system to service those neighborhoods that choose to use such a system which includes permit fees to cover costs, decals, and visitor rear-view mirror tags purchased separately from the residential permit. The existing permit systems may suffice to operate more broadly.



# Ch 3. Retain Neighborhood Quality

## Revise Parking Restrictions

### EXISTING PARKING RESTRICTIONS

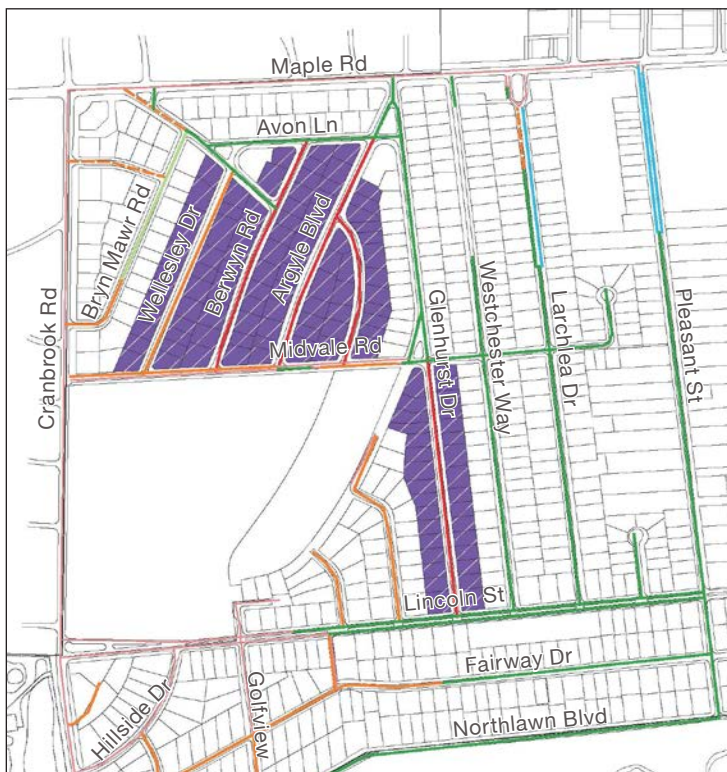
#### TORRY AT THE RAIL DISTRICT:

- 15 Min Parking 8am-9am Except Sun. & Holidays
- 2 HR Parking 6am-4pm Except Sat, Sun., & Holidays
- 2 HR Parking 8am-6pm Except Sun. & Holidays
- 2 HR Parking 9am-6pm Except Sun. & Holidays
- 2 HR Parking Limit
- No Parking Anytime
- Parking Allowed, All Times
- Permit Parking Required at All Times

#### SEAHOLM AND LINCOLN HILLS:

- 2 HR Parking 9am-5pm Except Sat, sun, & Holidays
- No Parking 8am-6pm
- No Parking, 7am-9am Except Sun. & Holidays
- No Parking, 8am-6pm Except Sat., Sun. & Holidays
- No Parking, 8am-6pm Except Sun. & Holidays
- No Parking, M-F 7am-2pm
- No Parking, School Days 7am-3pm
- No Parking, School Days 8am-10am
- No Parking, Sunday 7am-1pm
- Parking Allowed, All Times
- Parking Permit 7am-4pm School Days
- Residential Permit Parking

Figure 39. Sample of Existing Parking Restrictions



- |                              |                             |
|------------------------------|-----------------------------|
| ■ Permit - North Woodward    | — Duration Limited Parking  |
| ■ Permit - Poppleton         | — No Daytime Parking        |
| ■ Permit - South Central     | — School Restricted Parking |
| ■ Permit - South Woodward    | — Church Restricted Parking |
| ■ Permit - Triangle District | — Permit Required           |
| ■ Permit - Western District  | — No Parking                |
|                              | — Unrestricted              |

# Ch 3. Retain Neighborhood Quality

## Retain Housing Character

### Retain Housing Character

The value of properties in Birmingham has risen such that the cost of purchasing and demolishing existing homes is viable. Some parts of the City have already been significantly rebuilt and the trend is moving into other neighborhoods. Many residents feel that the scale of new homes are overwhelming and out of character with their neighborhoods. Numerous residents recounted the adverse effects such large houses have had on their properties and their quality of life. While the City has implemented progressive design standards for garage placement and overall construction management, many of the new houses are, in fact, oversized for their lots and often negatively impact surrounding households.

Except in historic districts, new houses are not evaluated for the appropriateness of their architectural design or building materials by a review board or committee. New house plans are only reviewed for compliance with building codes and required site engineering regulations. House design and consumer preferences have changed since Birmingham's neighborhoods were first developed. Recession-era, prewar houses were usually modestly designed and downplayed the home-owners wealth or lack thereof. Large houses and manors were broken up into a series of smaller volumes which effectively disguised

their overall volume and, with commensurate architectural details, gave them the appearance of matching the scale of neighboring houses. Most of Birmingham's original houses were constructed with quality craftsmanship and designed with architectural massing and details intended to blend into the neighborhood rather than command attention.

Following trends in today's housing market, developers endeavor to exaggerate the size of houses, making even the most modestly sized house appear as large as possible. These houses are designed to stand out and be noticed, rather than harmonize with and complement neighboring houses. As a result, many new houses become the focal point, for better or worse, of the street.

Additions to existing homes should be encouraged as a way to accommodate changes that the market desires without eroding neighborhood character. Often the driver of new construction is market demand for additional bathrooms, a master, closet space, larger kitchens, and larger garages which tend to be lacking in older homes. While it is often easier to tear down an existing home and build a new one, this is a destructive process that creates significant waste material. Renovation and addition could be encouraged through a number of policies such as: a fast-tracked approval process (requiring a slowing down of new construction approvals), waived fees for review and inspection, and increased lot coverage allowances at the ground level (not second story). While additions and renovation cannot be required, they can be encouraged.

Leveraging historic districts is another means of controlling the pace of demolitions, providing review of the scale and character of new housing, and encouraging renovation. Expanding existing historic districts and landmarks, and establishing new districts would provide oversight of new construction and renovation in many areas of the city. The Historic District Commission (HDC) should be charged with actively studying and

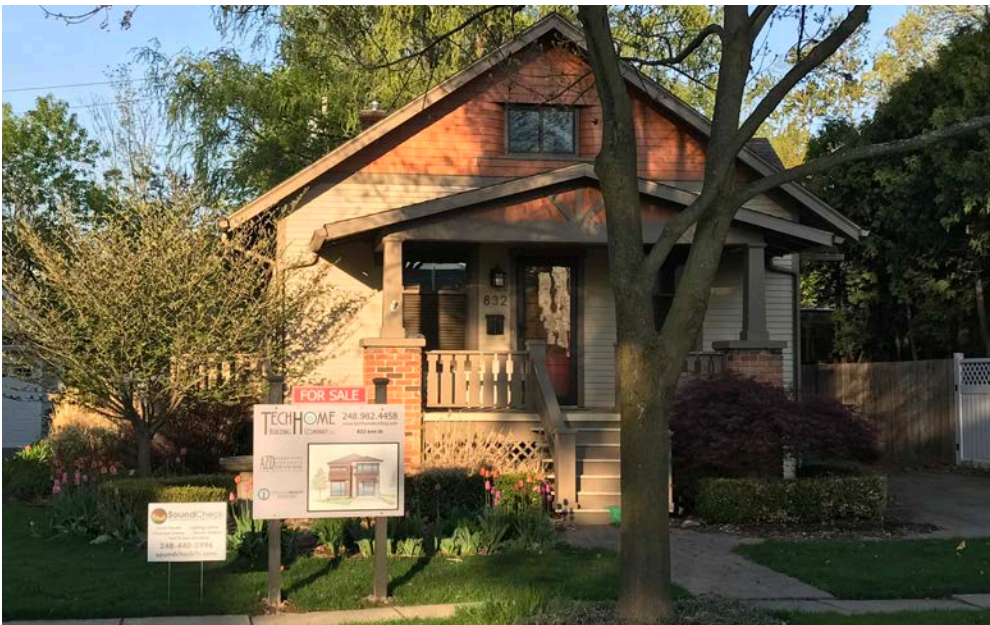


Figure 40. Historic home with a sign marketing demolition for a larger home.



## Ch 3. Retain Neighborhood Quality

### Retain Housing Character



Figures 41 & 42. Infill housing on two sides of one street, older homes (left) and new homes (right).

establishing historic districts and landmarks throughout the city. Additionally, HDC review authority should be strengthened in consideration of demolitions and renovations.

Lastly, light intensity and color is an often overlooked quality of Birmingham's neighborhood streets. Some new homes have been built with lighting that is too intense, degrading the calm character of Birmingham's neighborhood fabric. Lighting should be subdued generally, avoid spillover onto neighboring properties, and be oriented downward not outward. Luminaires should be shielded to eliminate glare and limited in individual intensity. Multiple bulbs of lower intensity can provide the same light coverage without glare or hot spots. Color temperature is also keenly important. Light that is towards the blue end of the spectrum, higher color temperature, disrupts natural human cycles when used at nighttime. Color temperature should not exceed 3200 Kelvin after dusk. Currently the Zoning Ordinance uses Illuminating Engineering Society of North America (IESNA) standards as a baseline, Zone E4 for everything R4 and above. Neighborhood illumination is not regulated, which is clearly in need. The International Dark Sky Association model standards are recommended in place of IESNA standards. These standards should be evaluated for use in neighborhoods as well as for adjustment or replacement of existing zoning requirements concerning lighting in R4 and above.

Similarly, the color temperature and intensity of streetlights requires study to avoid issues similar to residential exterior

lighting. Across the country many cities have switched to LED streetlights. This is a recommended practice for maintenance and energy usage but the fixtures and luminaires must be carefully selected. LED streetlights produce more glare and hotspots than prior technologies. The earliest models, still available, are set to color temperatures that are too blue. As the city contemplates a change in technology, common pitfalls should be avoided, ensuring: luminaires are shielded with globes or similar devices that scatter light; luminaires have a color temperature no greater than 3500K; poles are installed more frequently, at a lower height, to achieve the desired light level while avoiding glare, excessive intensity, and hot spots.

#### MASTER PLAN ACTIONS

1. Review and update site, building, and design codes to prevent increased rainwater runoff and other negative impacts from new house construction.
2. Expand the inspection process for new house construction to ensure that they are built per approved plans to minimize negative impacts on surrounding properties.
3. Revise the Zoning Code's residential zoning district boundaries and standards to better match and maintain current building scale, position on the property, driveway configuration, and other key characteristics.
4. Convene a committee to study incentives to

# Ch 3. Retain Neighborhood Quality

## Retain Housing Character



Figure 43. High quality contemporary infill, in scale with neighborhood fabric.

encourage renovations to expand existing houses rather than the construction of new houses.

5. Convene a committee to study age-in-place-friendly building regulations, such as grab-bars, ramps, and elevators in single-family homes.
6. Task the Historic District Commission and Historic District Study Committee with proactively establishing new historic districts as well as landmarks.
7. Convene a committee to study neighborhood lighting standards, including exterior residential lighting and street lighting.

### BEST PRACTICE RECOMMENDATIONS FOR RESIDENTIAL LIGHTING

- a. Residential lighting standards should address:
  - a. Maximum luminaire intensity,
  - b. Color temperature range,
  - c. Shielding and directionality, and
  - d. Spillover.

- b. Street lighting standards should address:
  - a. Maximum luminaire intensity,
  - b. Color temperature range,
  - c. Shielding and directionality,
  - d. Lamp design, and
  - e. Pole height and spacing.
- c. Consider the International Dark Sky Association model standards.
- d. Consider aligning lighting intensity restrictions with the Future Land Use categories for neighborhood fabric intensity where high intensity fabric justifies higher lighting intensity and low intensity fabric justifies lower lighting intensity. Dark Sky LZ1 may be appropriate in low intensity fabric and medium intensity fabric areas, LZ2 in high intensity fabric areas, and LZ3 in the city's mixed-use districts.



B. Future Land Use

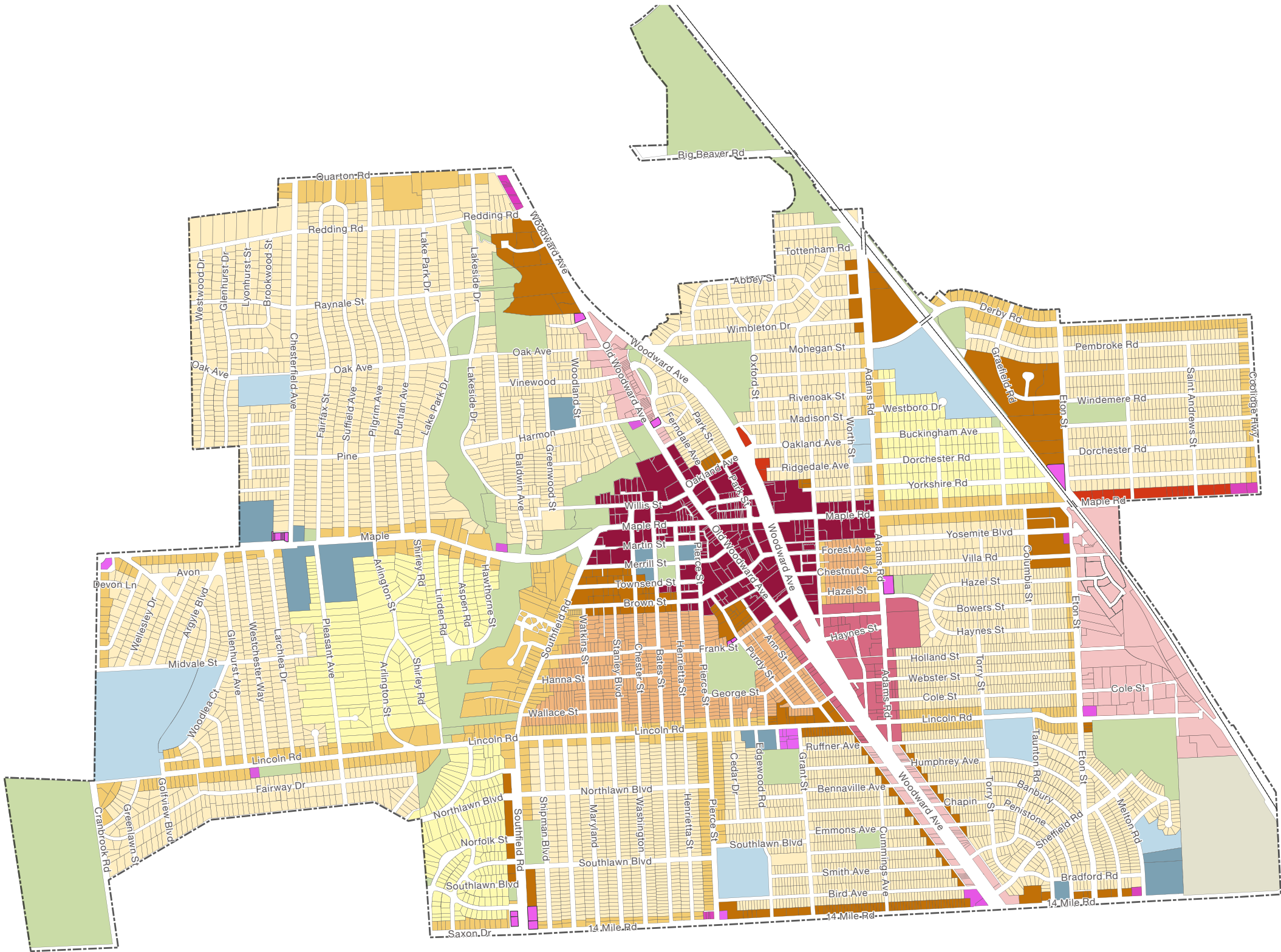


Figure 6. Future Land Use Map.

B. Future Land Use

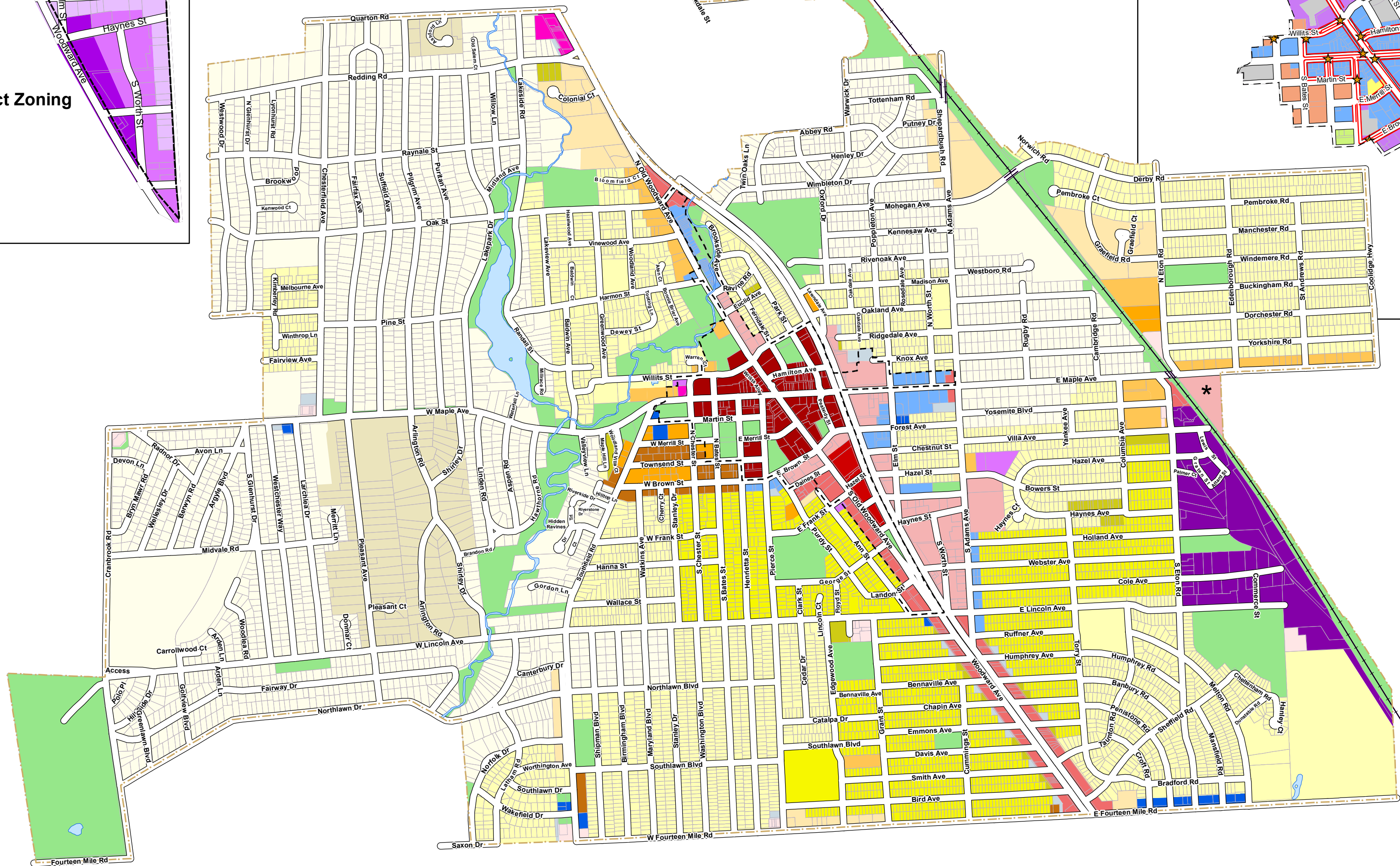
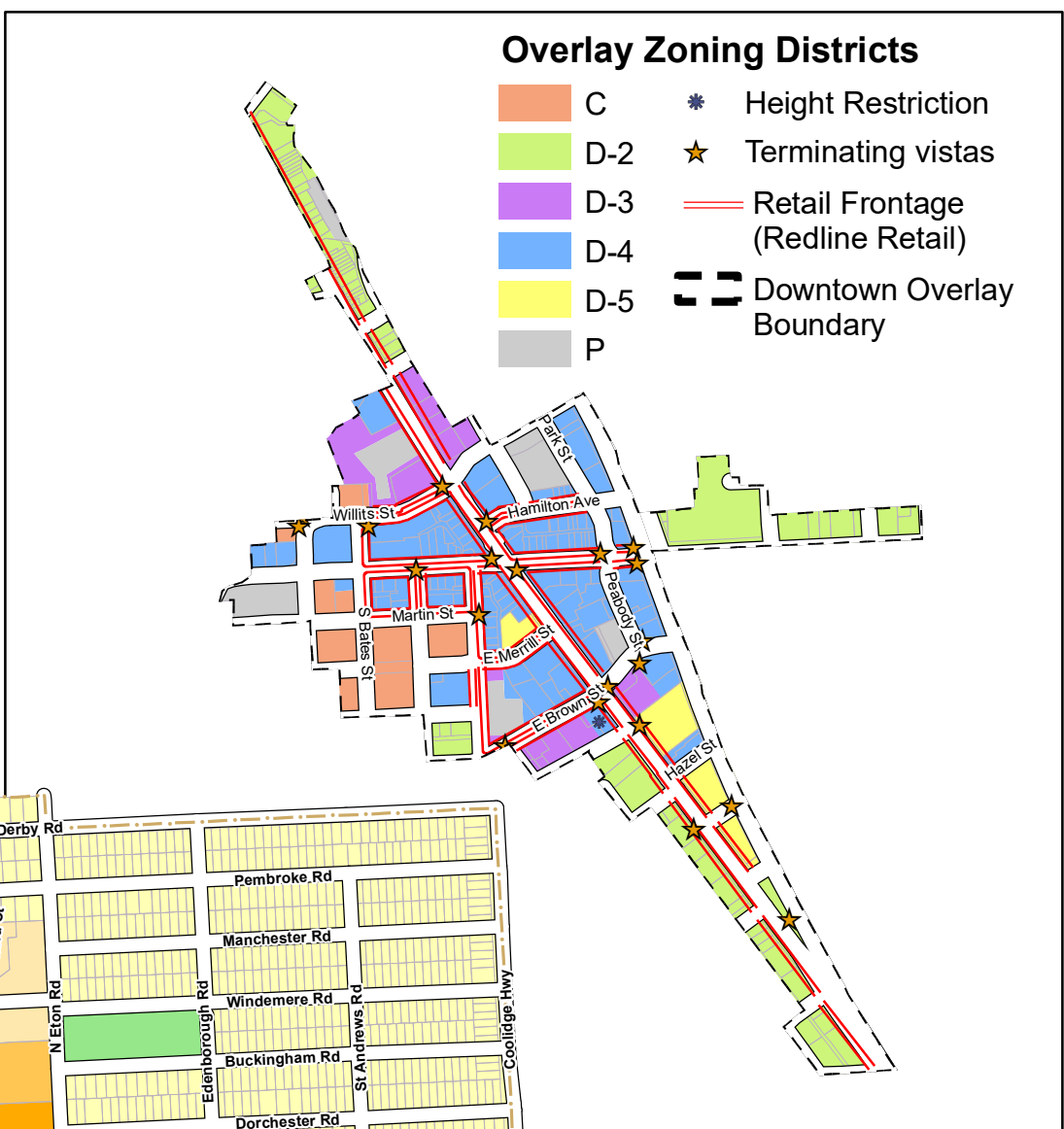
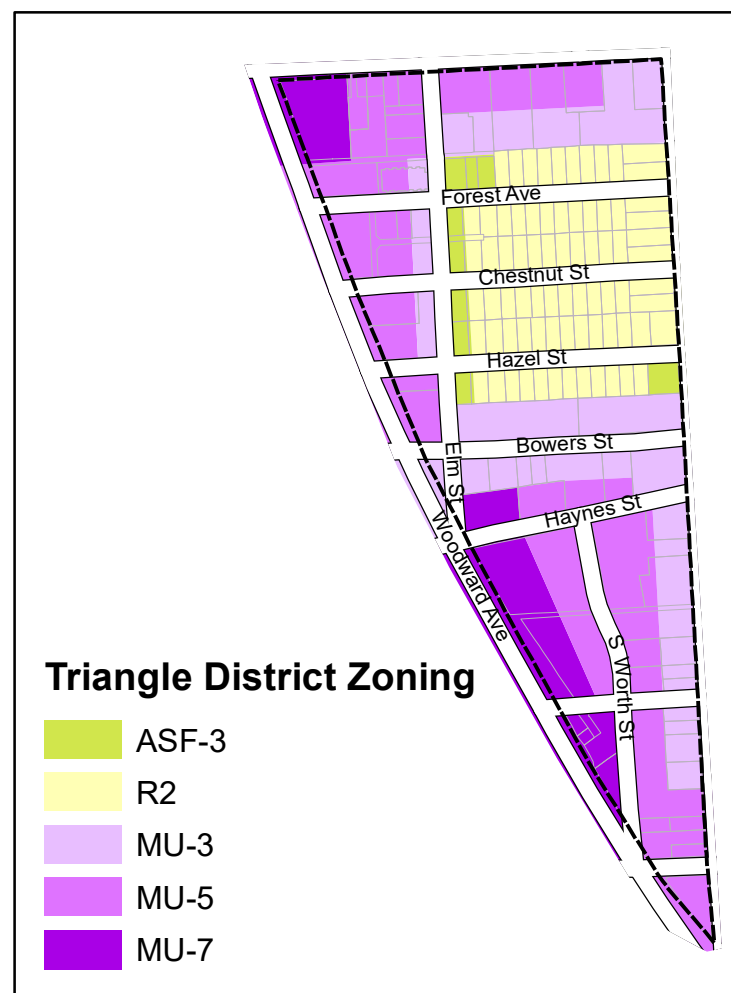
Future Land Use Map

Future Land Use Map

Birmingham’s future land use map is structured by Planning District boundaries within which land uses reinforce the desired future character. This map serves as the basis for zoning, specifying where different uses and intensities are appropriate throughout the City. This Future Land Use Map aims to identify, sustain, and strengthen Birmingham’s neighborhoods and mixed-use districts. The following sections describe each land use in greater detail.

- Boundaries**
- Planning Districts
- District Destinations**
- Civic Destination: General
  - Civic Destination: School
  - Civic Destination: Cemetery
  - Recreational Destination
  - Commercial Destination
- Mixed Use District Fabric**
- High Intensity
  - Medium Intensity
  - Low Intensity
- Neighborhood District Fabric**
- High Intensity
  - Medium Intensity
  - Low Intensity
- District Seams**
- High Intensity (TZ-1, TZ-3, R3, R4, R5, R6, R7, R8, and MX)
  - Medium Intensity (TZ-1, R3, R4, R5, R6, and R8)
  - Low Intensity (R1A, R1, R2, R3)





1,500 750 0 1,500 Feet

Coordinate System: State Plane Coordinate System Michigan South Zone 2113 Projection: Lambert Conformal  
 Conic, Units: International Feet, Datum: NAD83  
 Data Sources: Oakland County GIS Utility, City of Birmingham  
 Updated: August 2021



# City Of Birmingham Zoning Map

## Zoning Districts

R1 Single-Family Residential	R7 Multiple-Family Residential	B-2B General Business
R1-A Single-Family Residential	R8 Multiple-Family Residential	B-3 Office-Residential
R2 Single-Family Residential	TZ1 Transitional Zoning 1	B-4 Business-Residential
R3 Single-Family Residential	TZ3 Transitional Zoning	O-2 Office Commercial
R4 Two-Family Residential	MX Mixed-Use	O-1 Office
R5 Multiple-Family Residential	B-1 Neighborhood Business	P Parking
R6 Multiple-Family Residential	B-2 General Business	PP Public Property
	B-2 General Business Limited to Grocery Store Use	Downtown Overlay Boundary



B. Future Land Use

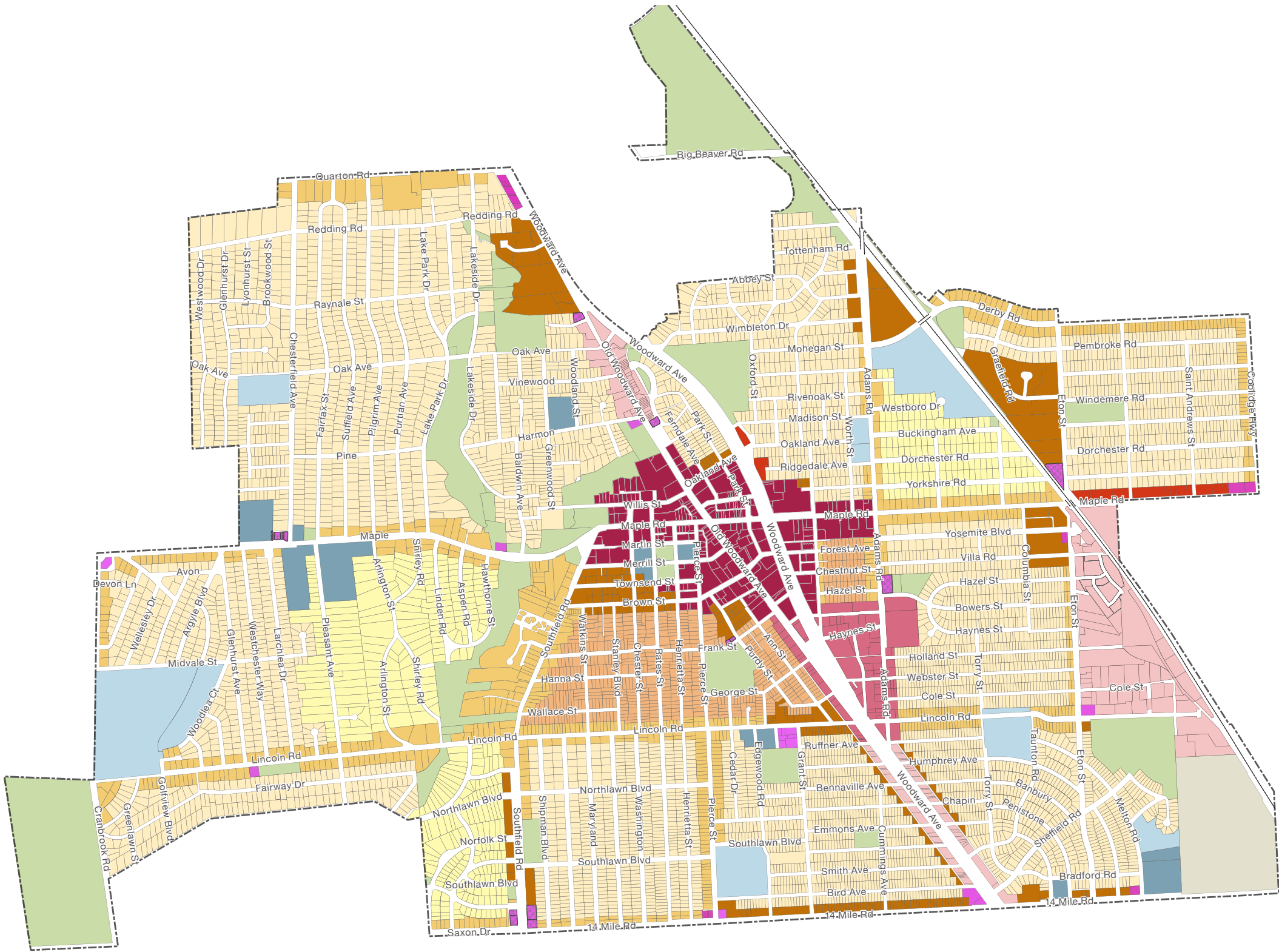


Figure 6. Future Land Use Map.

B. Future Land Use

Future Land Use Map

Future Land Use Map

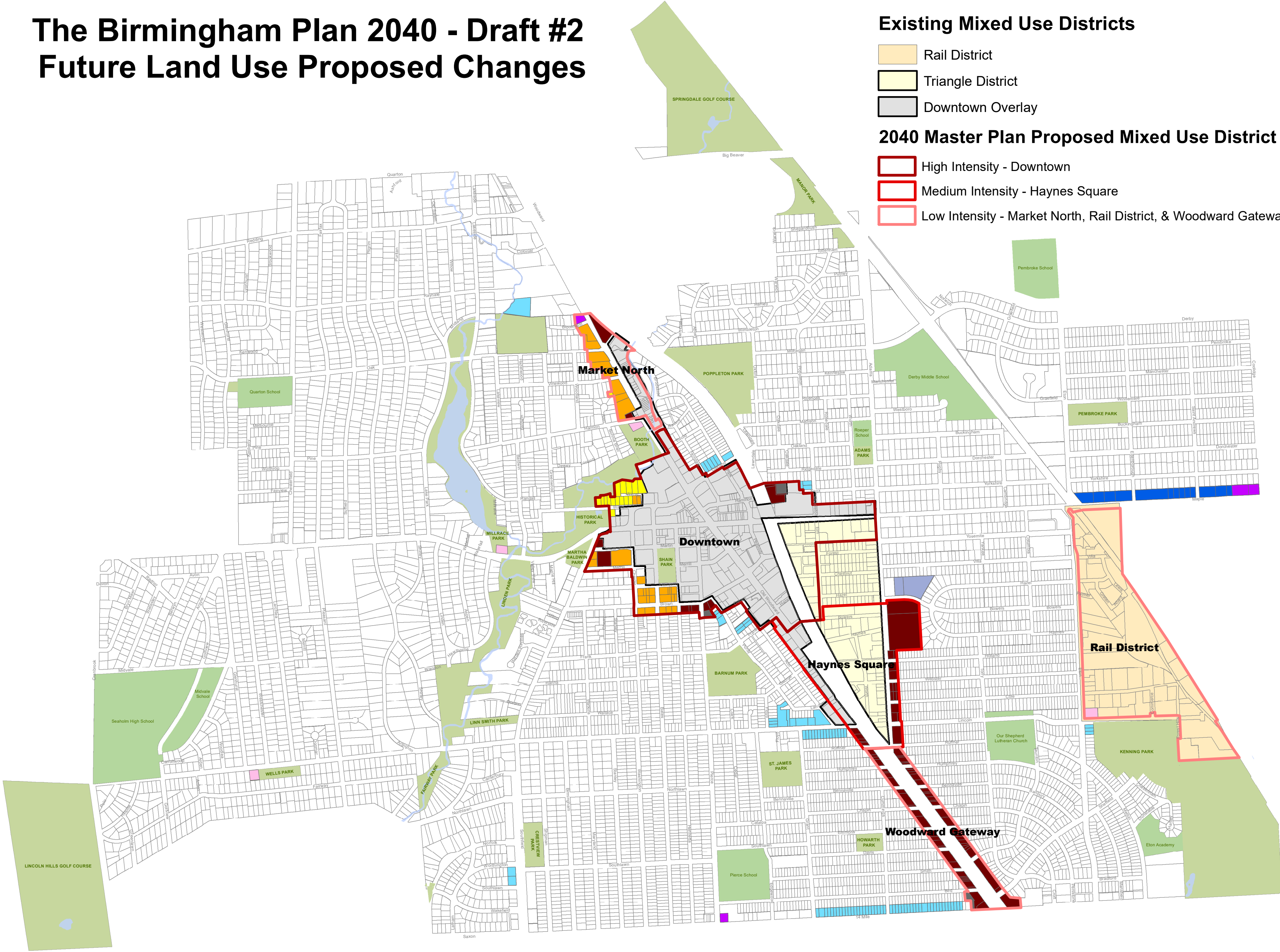
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  - Low Intensity (R1A, R1, R2, R3)



# The Birmingham Plan 2040 - Draft #2

## Future Land Use Proposed Changes



### Existing Mixed Use Districts

- Rail District
- Triangle District
- Downtown Overlay

### 2040 Master Plan Proposed Mixed Use District Fabric

- High Intensity - Downtown
- Medium Intensity - Haynes Square
- Low Intensity - Market North, Rail District, & Woodward Gateway

### Proposed Mixed Use District Fabric Changes

- Office-Business (O1,O2, B2, B2-B) to Mixed Use District\*
- Single Family (R2) to Mixed Use
- Multi-Family (R5, R6, R7, R8) to Mixed Use
- Parking (P) to Mixed Use District

\*Office-Business zones permit mixed-use however the highlighted properties are not currently included in a defined mixed-use district.

### Proposed District Seam Changes

- Medium Intensity Seam: Single Family (R1, R2, R3) to Multi-Family
- High Intensity Seam: Multi-Family (R5, R6, R7, R8) to Mixed-Use

### Proposed District Destination Changes

- Transitional Zone (TZ-1) to Recreation (Park)
- City Park with a Commercial Destination (ie. small cafe)
- Multi-Family to Commercial Destination



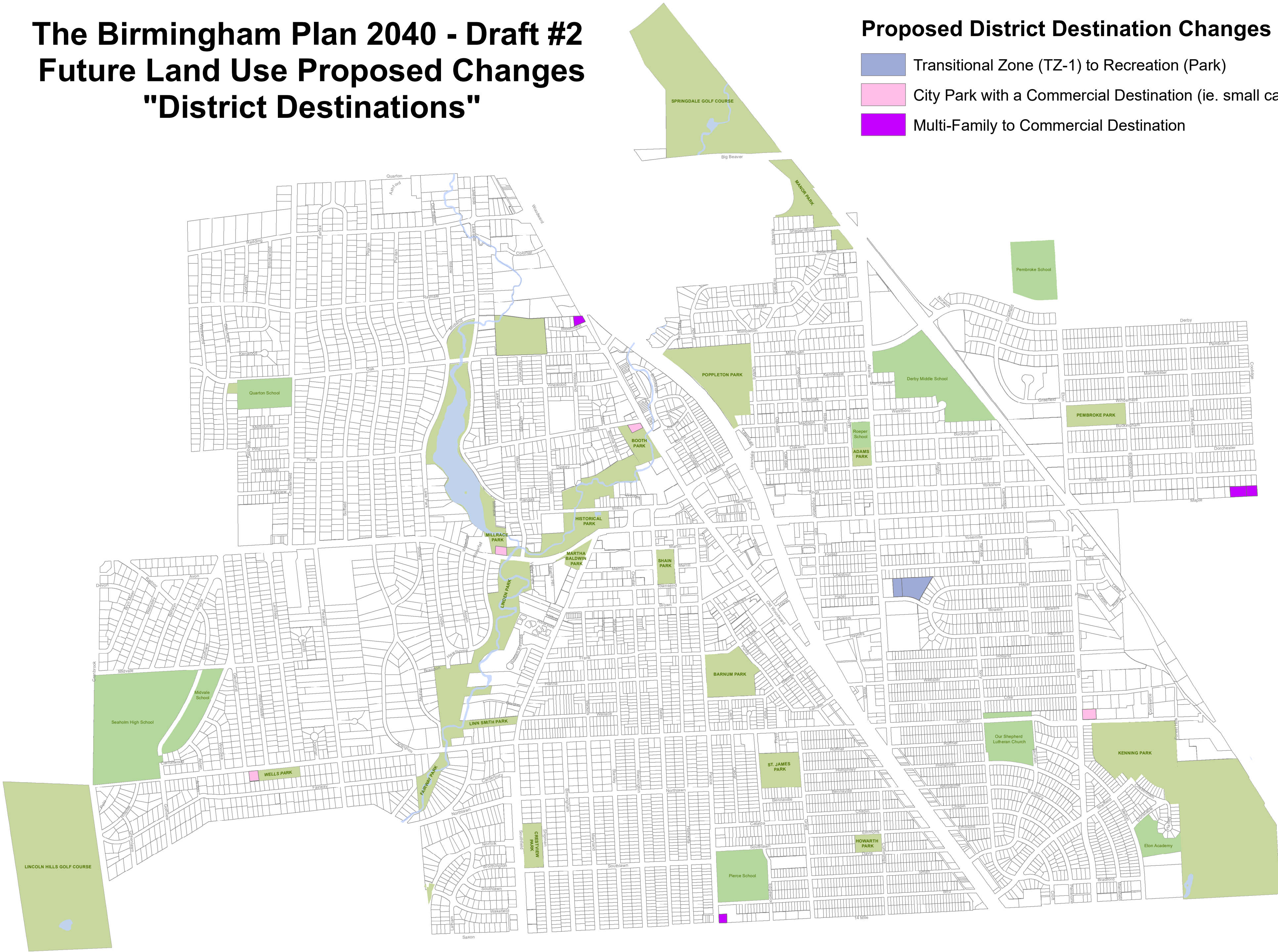
# The Birmingham Plan 2040 - Draft #2

## Future Land Use Proposed Changes

### "District Destinations"

### Proposed District Destination Changes

- Transitional Zone (TZ-1) to Recreation (Park)
- City Park with a Commercial Destination (ie. small cafe)
- Multi-Family to Commercial Destination




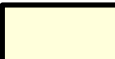


# The Birmingham Plan 2040 - Draft #2




## Future Land Use Proposed Changes

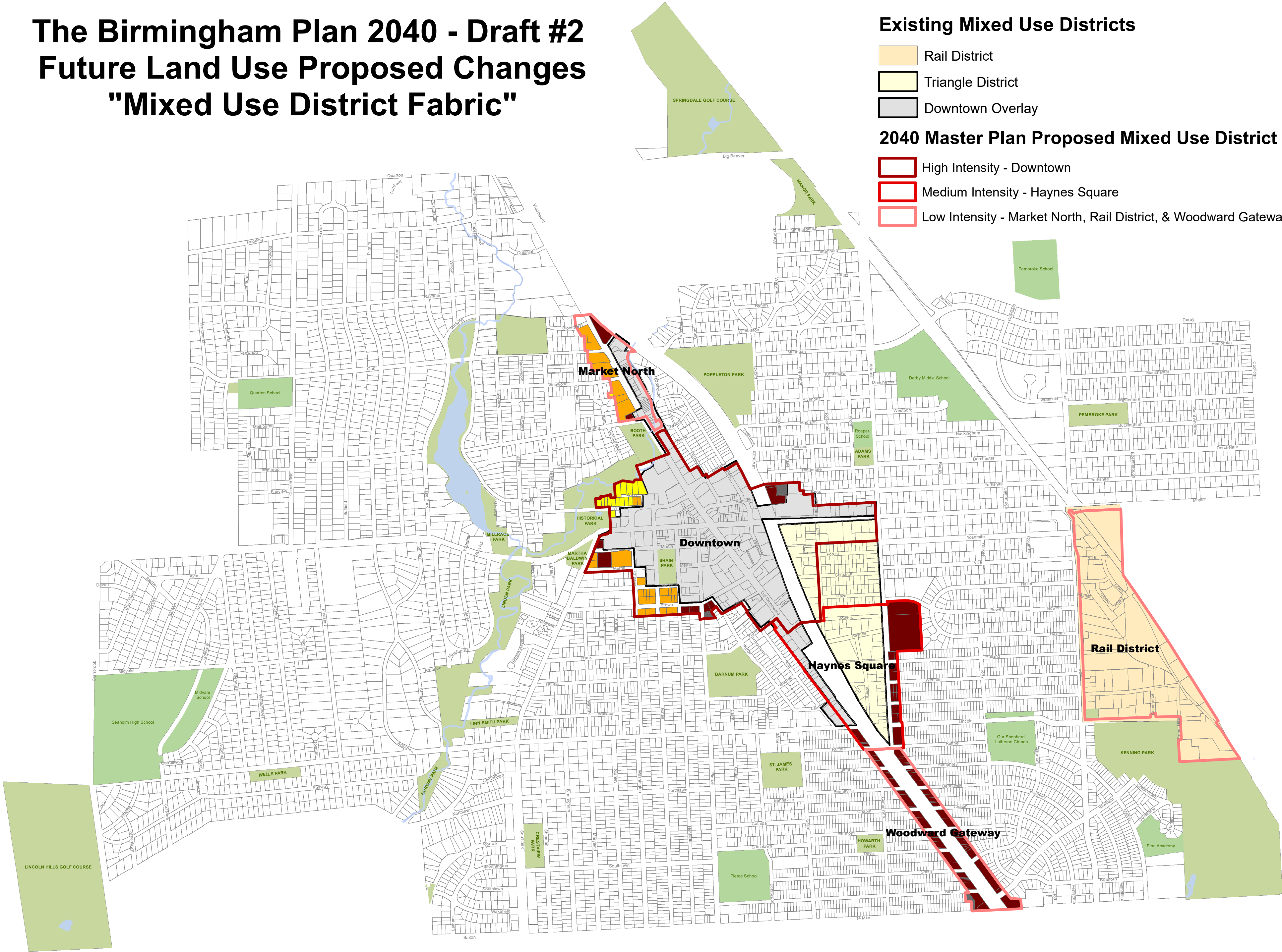
### "Mixed Use District Fabric"

#### Existing Mixed Use Districts





-  Rail District
-  Triangle District
-  Downtown Overlay

#### 2040 Master Plan Proposed Mixed Use District Fabric

-  High Intensity - Downtown
-  Medium Intensity - Haynes Square
-  Low Intensity - Market North, Rail District, & Woodward Gateway



#### Proposed Mixed Use District Fabric Changes

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-  Single Family (R2) to Mixed Use
-  Multi-Family (R5, R6, R7, R8) to Mixed Use
-  Parking (P) to Mixed Use District

\*Office-Business zones permit mixed-use however the highlighted properties are not currently included in a defined mixed-use district.



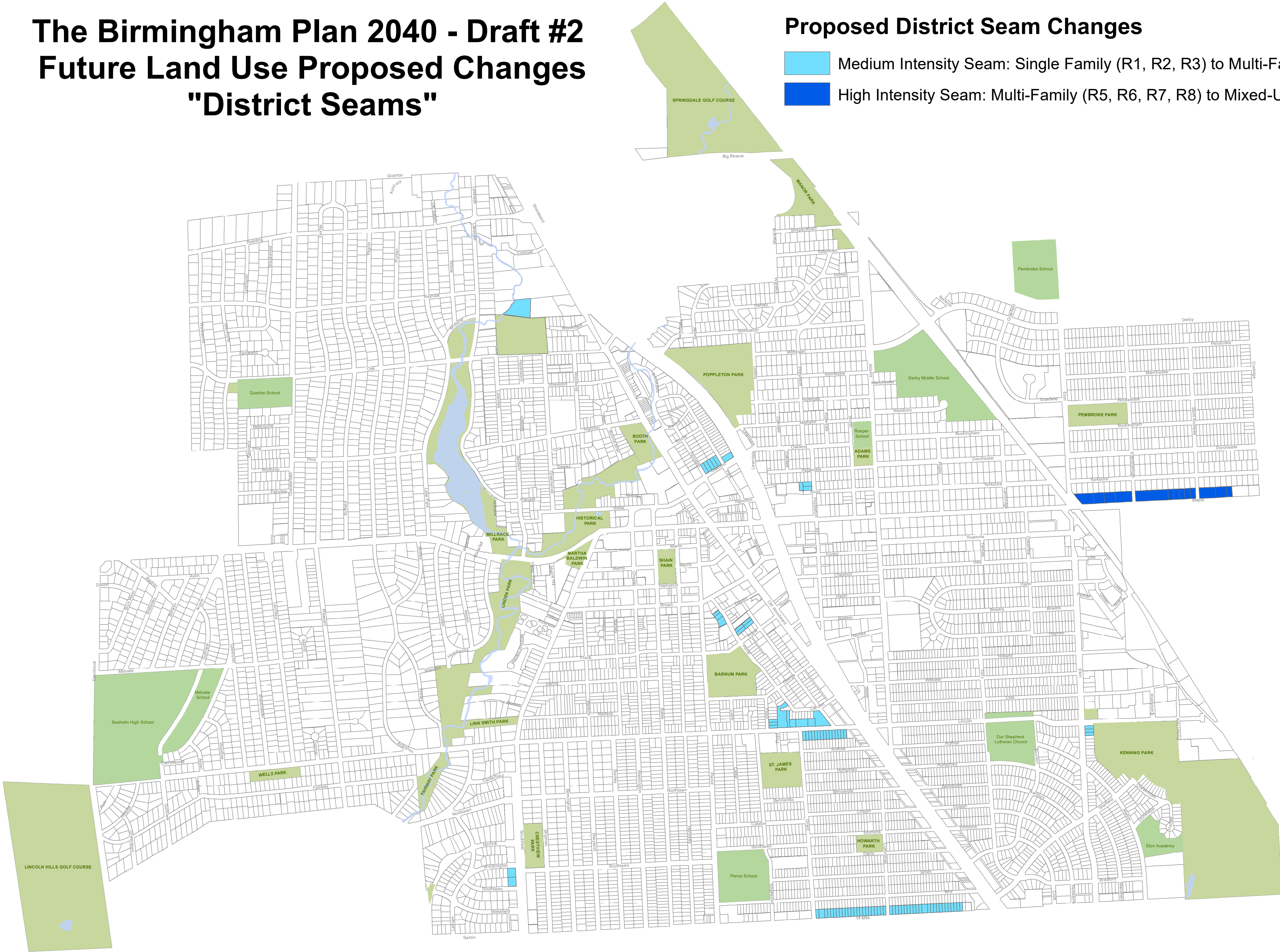
# The Birmingham Plan 2040 - Draft #2

## Future Land Use Proposed Changes

### "District Seams"

### Proposed District Seam Changes

- Medium Intensity Seam: Single Family (R1, R2, R3) to Multi-Family
- High Intensity Seam: Multi-Family (R5, R6, R7, R8) to Mixed-Use





April 13, 2021

City Commission Members, Planning Board Members  
City of Birmingham  
151 Martin St.  
Birmingham, MI 48012

**1st Draft Master Plan Recommendations, April 19, 2021 Joint City Commission and Planning Board Meeting**

Dear City Commission and Planning Board Members,

Following-up upon the brief discussion held during the March 22nd City Commission meeting, this memo provides some additional information concerning the Planning Board's recommendations for changes to the Master Plan First Draft. During the March 22nd City Commission meeting, more detail was desired concerning the recommendations of the Planning Board, both explanatory in nature and recounting the degree to which the recommendation reflects primarily Planning Board direction, primarily public direction, or a combination thereof. The explanatory detail provided below remains brief and can be expanded upon by the consultants as necessary during the upcoming joint meeting.

In addition to the expanded details, a general summary of public input received is included as a separate memo from McKenna.

Further detail concerning the high-level direction from the Planning Board follows, retaining the order and numbering of the prior memo for ease of discussion.

**General Direction**

These items are not specifically related to a physical location or area of the city and are therefore considered more general in nature.

1. The length of the Master Plan should be significantly reduced.
  - Source: City Commission, Planning Board, and public comment
  - Detail: This item requires no additional explanatory detail.

2. The Master Plan should provide clear prioritization of recommendations, including the Themes created during the review process.
  - Source: Planning Board direction concerning the Themes. Prioritization as direction came from the City Commission, Planning Board, and public comment, specifically in October of 2019.
  - Detail: Further details concerning the direction is not necessary as it is general and clear. However please note that this was discussed as an original goal for the Second Draft by the consultant when presenting the First Draft in 2019. The consultant considers this a step in the process. The First Draft collects and explains all of the recommendations assembled through the Charrette process, to be accepted, rejected, or augmented. The Second Draft organizes and prioritizes the recommendations and timelines.
3. Language should be as plain as possible, where technical language is required, it should be clearly defined. This extends to terms that can be vague like sustainability.
  - Source: City Commission, Planning Board, and public comment
  - Detail: This item is a distillation of comments from the Commission and Board, as well as public comment. It was not presented as a single recommendation originally, rather this is inferred direction across many comments which has been validated by the Planning Board.
4. Adjust and clarify the correction to growth projections (2,000 people not 2,000 units).
  - Source: Consultant, supported by Planning Board and public comment
  - Detail: During the course of review the consultant identified that the growth projection as stated in the First Draft was incorrect. During Planning Board review, the consultant corrected this information publicly. Some public comment specifically referred to the growth projection numbers. That comment in some instances is related to following items concerning the form and location of growth, and other comments sought clarity.



5. Infrastructure should be addressed (the details of this request require discussion).
  - Source: Public comment
  - Detail: This item was brought up through public comment, specifically relating to stormwater, unimproved streets, and sewer capacity. It is identified as requiring further discussion (clarity) by the consultants. At the beginning of this contract the consultants asked for clarity concerning how infrastructure was to be addressed in the Master Plan. The City Manager at the time stated that infrastructure included only the surface, principally the details of streets, and did not include sub-surface infrastructure.
6. Increase the focus on sustainability.
  - Source: Planning Board principally, with some public comment
  - Detail: This item is general in nature as it appears in a few places within the First Draft, along with in the introduction, and touches on natural areas like the Rouge, on streets and stormwater, on public buildings and grounds, on practices like recycling and composting, and on energy use and pollution. These points are spread-out in the First Draft. Some items like reduction of greenhouse gasses from vehicles were not discussed as they are inherent in the physical form of Birmingham inviting walking, and should be discussed along with other stated items in a collected goal of greater sustainability.
7. Acknowledge Covid-19, including a prologue to ground the document in the current condition (occurred after the Master Plan First Draft).
  - Source: Planning Board principally, with some public comment
  - Detail: Concerning the source, Planning Board members discussed physical attributes and concerns in the city related to Covid-19, social distancing, and workplace dynamics. Initially this was brought up through public comment and revisited more than once by the Planning Board. While the current protocols surrounding Covid-19 are temporary there are a number of real items to discuss going forward. Concerning the disease, while it is expected that Covid-19 can be successfully mitigated, infectious diseases of this type

are anticipated to increase in frequency and severity in the future. A number of other recent diseases like H1N1 in 2009 luckily did not reach pandemic levels, but they have come close. Trends indicate that infectious disease has been steadily on the rise. A number of prior pandemics have led to changes in the built environment, including the Spanish Flu, Cholera, and Plague. The statement to acknowledge Covid-19 comes in part that preparing a 20 year plan without at least acknowledging such a significant event is considered a mistake but also that there are serious considerations which Covid-19 brings to a number of Master Plan recommendations. There is a general consensus that office space demand will be reduced going forward, and a greater demand for spaces to work some of the time within the home. Today's response may be an overreaction, with many tech companies abandoning or significantly reducing office space. However the technology available to work and meet more effectively in a remote manner has become well established in the workplace. Some change is anticipated, which may result in office space that should be converted to housing. In Downtown, this further supports the recommendation to allow residential permit parking in garages. In homes it may mean that definitions of home occupation should be revisited. That is one example of many, including allowances for dining decks, shared streets that provide more pedestrian space, and a demand for more seating opportunities in parks. Most of these items are included within the First Draft to some extent, but warrant revisiting the recommendations in consideration of recent experiences. Luckily Birmingham is a good location to weather Covid-19, and for many of the reasons that Birmingham is a great place to live generally.

8. Focus on the bold moves, like Haynes Square and perhaps more aggressive fixes for Woodward, so the plan is forward-looking.

- Source: Planning Board
- Detail: This item is both organizational and directing content. From an organizational perspective, a focus on bold moves can garner support. Recommendations can be organized in many ways - by location (as current), by theme, by goal, by department, by change versus stability, etc. Along with the comment on prioritization, this comment is about making the document motivating. The second piece is being more aggressive on some of the key

items, Woodward in particular. For Woodward, some detail was lost in the large document as comments made by the Board were already covered in the First Draft. But Woodward would also benefit from additional crossing improvements and focus on speeds as was discussed extensively. Other areas like Haynes Square are similar.

9. Schools should be more prominently featured in the plan expressing a shared vision between the City and the School District.

- Source: Planning Board principally, with some public comment
- Detail: Schools came up numerous times in discussion. It was recommended that the consultants coordinate with the School District concerning their future plans, including any considerations needed ahead of potential changes, closures, or expansions. Additionally, aspects of the plan had addressed schools with relation to population diversity and housing options, however the schools were a bullet point within those discussions instead of being the other way around. Schools may be better addressed in a goal-oriented organizational format.

10. The senior center proposal should be more prominently featured in the plan.

- Source: Planning Board
- Detail: The plan included direction to establish a more prominent senior center, as had been discussed at length during the Charrette. As with some other items, this had become a side note to the plan, addressed presently on pages 65 and 66.

11. Further address connections to surrounding communities.

- Source: Planning Board
- Detail: This item requires no additional explanatory detail.

12. Include recommendations for new historic districts and strengthening of existing districts.

- Source: Planning Board, Historic District Commission, and a few public comments

- Detail: This item requires no additional explanatory detail.
13. Ensure all considerations for walkability address older adults and people of varying abilities.
- Source: Planning Board
  - Detail: Aspects of walkability are discussed throughout the First Draft. While aimed at multiple users, they may not clearly address how multiple users should be considered.
14. Growth should be focused in Downtown, the Triangle District, and a small amount in the Rail District.
- Source: Planning Board and public comment
  - Detail: Aspects of this will re-appear later concerning Seams. This was a growth strategy that was discussed across numerous meetings and in reaction to public comment. The recommendation could be stated in the opposite manner, recommending that growth not be focused within or between neighborhoods.
15. More outdoor gathering spaces are needed in light of Covid-19, including covered outdoor spaces in parks.
- Source: Planning Board
  - Detail: Details surrounding this item were covered previously.
16. Increase the focus on connecting across Big Woodward and pedestrian safety.
- Source: Planning Board, and public comment
  - Detail: This item was addressed above concerning bold moves. It is listed separately as it was a common area of concern and discussion among Board members and the public.
17. Big Woodward north of Maple should be further investigated for traffic calming, in addition to the portion between 14 and Maple.
- Source: Planning Board

- Detail: In Board discussions concerning traffic calming on Big Woodward, the higher-speed condition of Big Woodward north of Maple was identified as a condition that requires specific consideration.
18. Retain the reduction of parking regulation complexity, but recommend that it be further studied by committee rather than proposing the solution.
- Source: Planning Board
  - Detail: The general idea of simplifying on-street parking regulation was supported but the Board believes it should be studied by a committee rather than providing a specific solution within the Master Plan. The Master Plan would retain the problem statement and recommend a committee be established to carry on the work.
19. More broadly address the Rouge natural area, including bank restoration, removal of invasive species, improving the natural condition, and trail modifications to increase accessibility without detracting from the natural environment.
- Source: Planning Board principally, with some public comment
  - Detail: The item is clear but note that the character of the trail is an area of conflict. Some members of the public feel that the trail should remain as it is with wood chips. Other members of the public, and the Board, feel that the trail should be accessible to users of all abilities. The direction as stated is to improve the trail but recommend strategies to limit the impact that such improvements would have to the existing natural character.
20. Consider the future of the public golf courses.
- Source: Planning Board
  - Detail: There is no specific direction to this item. The golf courses were not addressed in the First Draft and the recommendation is to consider their potential to remain as is, to improve, or to be used in some other manner.

## **Direction Related to Mixed-use Districts**

### **1. Generally**

1. Consider more shared streets and pedestrian-only areas, including Worth Park as a potential piazza.
  - Source: Planning Board
  - Detail: The First Draft included some shared streets and the Board recommended that the concept be expanded beyond the areas identified in the First Draft. The recommendation also identifies that Worth Park is an opportunity to provide greater variety in open space types by recommending a plaza instead of a green.
2. Consider dining decks in light of Covid-19.
  - Source: Planning Board
  - Detail: This item was discussed previously.
3. EV charging and other similar sustainable strategies should be considered in mixed-use districts.
  - Source: Planning Board
  - Detail: This item is related to a previous discussion point on increasing the focus on sustainability.

### **2. Downtown**

1. Bates Street should be included in recommendations.
  - Source: Planning Board
  - Detail: At the beginning of the Master Plan process, a proposal for the Bates Street extension was going through public review. As such it was not included in the Master Plan. The recommendation is to include a proposal in the Master Plan since the prior measure was rejected.

2. Revisit the pilot parking program for downtown housing in light of Covid-19 changing business demand and potential future office space demand.

- Source: Planning Board
- Detail: This item was discussed previously.

3. Retail district standards (redline) should be lightened on side streets.

- Source: Planning Board
- Detail: The area of very high standards for ground floor uses within Downtown extends to most street frontages. The First Draft recommended that two sets of standards be created, one of higher and one of slightly lower specificity. This recommendation is to expand the slightly lower standards to side streets like Hamilton and Willits.

### 3. Haynes Square / Triangle District

1. Adams Square should be included in recommendations.

- Source: Planning Board
- Detail: This item requires no additional explanatory detail.

2. Consider live-work buildings.

- Source: Planning Board
- Detail: Live-work buildings are like a townhome with a small business space on the front. They are typically service uses like attorneys. Live-work buildings are common in historic towns and in some newly built neighborhoods but often not allowed in zoning. The recommendation is to consider where, if anywhere, live-work buildings should be allowed or encouraged. The most likely outcome is consideration for the type within the Triangle District and the Adams Square shopping center, in addition to the Rail District where they are currently allowed.

3. Add a pedestrian or vehicular connection from Worth to Bowers.
  - Source: Planning Board
  - Detail: This item requires no additional explanatory detail, however the consultant strongly supports the recommendation.
4. Address how the abandoned portion of Old Woodward south of Haynes should transfer ownership with concern for the existing property owners with frontage on Old Woodward. Also address the City's ability to vacate property by ordinance.
  - Source: Planning Board
  - Detail: This is a process-related detail of the recommendation to terminate Old Woodward at Haynes in order to improve traffic safety and increase the viability of commercial properties south of Haynes.
5. Focus Missing Middle housing principally in Haynes Square and Adams Square.
  - Source: Planning Board
  - Detail: This is related to allowing more townhomes, duplexes, and small multi-family housing units. The recommendation is to encourage these types of housing in limited areas rather than along most Seams.
6. Look more closely at the Haynes / Adams traffic situation with respect to the proposed modifications.
  - Source: Planning Board
  - Detail: The First Draft recommends that southbound Adams traffic be diverted onto Haynes to meet Big Woodward in order to both improve traffic safety and increase the viability of the Triangle District. The recommendation is to add further detail for this condition to ensure that it is viable from a traffic management standpoint.



4. South Woodward Gateway

1. Study the housing proposals along the South Woodward alleys more closely and consider other effective means of noise buffering.
  - Source: Planning Board
  - Detail: The First Draft recommended townhouse-like housing be located along alleys in the South Woodward Gateway area. The alley proposal is aimed at activating alleys which provide a more comfortable means of walking along Big Woodward than the discontinuous sidewalks. Activating the alleys would increase noise which could affect adjacent homes. The First Draft recommended that housing be used to buffer noise as housing is very effective and doing so. These would be located along the alley where houses have previously been removed for additional parking area. The recommendation is to consider options in addition to housing, and to clarify or reconsider the housing recommendation.

**Direction Related to Neighborhoods**

1. Revise to define sub-areas of the City as “planning districts” and remove all recommendations related to neighborhood associations.
  - Source: Planning Board and public comment
  - Detail: There are two items here. The first is to use the term “planning district” rather than neighborhood to refer to the boundaries identified on Page 30. The second is straightforward, to remove any of the remaining details concerning neighborhood associations.
2. Seams should be significantly reduced in location, intensity, and building types allowed, and be thoughtfully located in the limited areas where they may be appropriate.
  - Source: Planning Board and significant public comment
  - Detail: The recommendations concerning Seams brought significant public pushback. This began early in the review process but

accelerated towards the end of the process as both information and misinformation about the Seams proposal spread throughout the community. Despite attempts at clarifying the concept, the public reaction was strong and emotional. Throughout the Planning Board review sessions, the subject had come up numerous times and the Board's recommendation was to reduce the intensity of Seams and limit the types of housing allowed within them, targeting growth in the mixed-use areas. Towards the end of the review sessions, public comment increased. While some residents welcomed the recommendation, the majority did not. The Board re-affirmed their prior position and strengthened it. The concept of Seams as presented may be applicable in a few limited locations but the addition of housing type diversity along the edge of most planning districts should not be allowed.

3. Accessory Dwelling Units need to be revisited and should be severely limited should they be permitted anywhere.
  - Source: Planning Board and public comment
  - Detail: Both the Board and public shared concern about accessory dwelling units. Public comment varied from those with specific concerns, such as privacy where existing properties are small, to those with wished to not allow accessory units anywhere. The Board echoed the specific concerns, remaining open to consider conditions that accessory units may be allowed but generally skeptical. The recommendation is to have the consultant consider this input and revise where and to what extent accessory units might be allowed.
4. New neighborhood commercial destination locations should be reduced and thoughtfully considered while existing destinations strengthened; include more clarity on the uses that should be permitted.
  - Source: Planning Board
  - Detail: Neighborhood commercial destinations were proposed in the First Draft in some areas that merit removal, like at Lincoln and

Southfield. The recommendation is to retain the concept and remove some instances mapped in the First Draft. Additionally, the Board would like additional detail concerning the types of uses that should be allowed, and other regulatory considerations.

5. Torry requires more amenities.

- Source: Planning Board
- Detail: This item requires no additional explanatory detail.

6. Include stronger reference to the Unimproved Streets Committee recommendations (completed after the Master Plan First Draft).

- Source: Planning Board
- Detail: The committee work on unimproved streets paralleled the Master Plan process. The First Draft references the committee which has now completed its study and recommendations. The direction is to include this within the Second Draft. While public comment isn't mentioned in the source, the topic of unimproved streets was brought up by the public multiple times.

7. Completing sidewalks requires more focus and prioritization, could be handled similarly to the committee on Unimproved Streets.

- Source: Planning Board
- Detail: The first draft recommends completing missing sidewalks. The Board feels that it may be lost in other recommendations and wishes to highlight the importance and priority.

8. Provide more detail on green infrastructure opportunities.

- Source: Planning Board
- Detail: Green infrastructure (bio-swales) was briefly addressed in the First Draft. The recommendation is to include more specificity on green infrastructure in the Second Draft.

9. Clarify the neighborhood loop, bicycle boulevards, and protected bike paths by including street sections and greater detail addressing different user types.

- Source: Planning Board
- Detail: This item requests further information concerning street design where new approaches and types are included. The neighborhood loop is one instance where the specific implications on street design are not clear to the Board. Some of the other questions come from items in the multi-modal plan that were included in the Master Plan within maps but detailed street sections were not included in the Master Plan.

10. Clarify the Kenning Park path recommendations concerning both pedestrians and cyclists.

- Source: Planning Board
- Detail: Within the First Draft there is a paved bike path mapped in Kenning Park which was envisioned to be pedestrian and bicycle use but could be read as bicycle only. The Board suggested that it include pedestrian accommodations. This item is a clarification of the First Draft.

11. Increase aggressiveness of tree preservation and replacement recommendations.

- Source: Planning Board
- Detail: Tree preservation and replacement is briefly addressed in the First Draft. This item recommends that the process be prioritized and accelerated, particularly around preservation in consideration of new construction.

12. Provide more detail on non-financial incentives for renovation of homes over new construction and provide greater ability to add 1st floor master bedrooms. This topic is likely to differ between planning districts.

- Source: Planning Board

- Detail: The First Draft recommends incentives be established to encourage home renovations instead of tear-downs. The Board is concerned that this will be construed as financial incentives and recommends that additional detail be provided concerning potential incentives that are not financial.

13. Review lot coverage standards and consider adjustments by lot size.

- Source: Planning Board and public comment
- Detail: Public comment brought up concerns about drainage in new construction and illuminated a concern about impervious lot coverage. The First Draft doesn't address lot coverage in residential districts aside from a note related to incentives mentioned in the previous item.

14. Provide more detail on design controls that may be considered.

- Source: Planning Board
- Detail: The First Draft recommends an approvals process for exterior design and materials for homes, along with a discussion suggesting objective and simple design controls that avoid stylistic restrictions. This item requests more information concerning the types of simple design controls referenced. Note that while the source states only the Planning Board that this was also discussed in the October 2019 joint meeting with the City Commission.

15. Remove lot combination areas but review the existing ordinance to provide better direction.

- Source: Planning Board
- Detail: The lot combination areas were a source of confusion initially because they were mapped along with the Seams. These are areas where lot combinations would be allowed rather than relying on the more subjective process in place today. This item recommends that specific areas for lot combinations be removed and that the existing ordinance be reviewed to produce better outcomes.



We look forward to a discussion of this direction and to revising the Draft Master Plan; thank you.

Regards,

A handwritten signature in black ink, appearing to read "Matthew Lambert".

Matthew Lambert

Cc: Jana Ecker, Planning Director; Bob Gibbs, Gibbs Planning Group; Sarah Traxler, McKenna



## MEMORANDUM

Planning Division

**DATE:** January 12, 2022

**TO:** Planning Board

**FROM:** Nicholas Dupuis, City Planner

**SUBJECT:** Outdoor Dining Ordinance – Study Session #7

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On December 7, 2020, the City Commission discussed amending the Zoning Ordinance to consider allowing the enclosure of outdoor dining areas during the winter months. The City Commission asked the Planning Board to consider this issue, and any regulations they may recommend should outdoor dining enclosures be permitted.

On June 21<sup>st</sup>, 2021, the City Commission and Planning Board met at a joint meeting to further discuss outdoor dining, and to get a clear direction as to what elements of outdoor dining should be addressed. In general, the City Commission and Planning Board discussed several topics spanning from enclosures to private vs. public space, but ultimately asked the Planning Board to take a comprehensive look at the entire outdoor dining ordinance.

On June 23<sup>rd</sup>, 2021, the Planning Board discussed outdoor dining in further detail based on the joint meeting two days prior. The Planning Board settled on a list of goals that they would like to focus on in the ordinance review process, which includes the following:

- Incentivize outdoor off-season dining;
- Review the placement of decks and enclosures;
- Ensure that additional outdoor off-season dining does not become an extension of the indoor space;
- Solicit feedback from restaurateurs of all types in the City;
- Seek possible ideas from local, national and international examples;
- Review the current ordinance for issues;
- Review tickets that were given out to temporary outdoor dining operations;
- Review photos of the variety of temporary outdoor dining structures that were used around the City;
- Explore options for maintaining permanent aspects of outdoor dining structures even if the parts of the structures come down in different seasons;
- Discuss potential differences in policy for outdoor dining on public versus private property;
- Solicit feedback from Public Services and the BSD;

- Review agreements from temporary outdoor dining to see if any of the temporary policies might be worth integrating;
- Consider aspects like sidewalk widths and snow clearing in writing the policy;
- Maintain the current seating allowances for differently-sized establishments and maintain the differences for establishments holding different kinds of licenses for alcoholic beverage service; and,
- Recommend a permanent solution so that restaurateurs do not have to continue to adapt to changing policies.

### **Study Session #1 Summary**

On July 14<sup>th</sup>, 2021, the Planning Board reviewed a high-level report on outdoor dining to guide future discussion. The topics included observations as to what constitutes “good” outdoor dining with national and local examples, as well as a local ordinance review for outdoor dining. The Planning Board discussed next steps and emphasized the need to (1) hear from different City Departments (code issues, retail neighbor conflicts, streetscape), (2) review available codes and ordinances from other areas of the country (enclosures, public vs. private, year-round), and (3) analyze information from national downtown associations or other related organizations (trends, social districts, success stories).

### **Study Session #2 Summary**

On August 11<sup>th</sup>, 2021, the Planning Board reviewed another high-level report in which the Planning Division presented various departmental comments on outdoor dining, a national outdoor dining ordinance review, conversations with local cities, and a study of national organization input and trends. The Planning Division also provided some public feedback from Engage Birmingham, which surveyed the public for their opinion of the COVID-19 temporary outdoor dining expansions, which were overwhelmingly positive. Moving forward, the Planning Board expressed interest in getting into more detail on seasonal/year round dining and its effect on street activation, public versus public space, the potential for regulating different restaurants/licenses differently, and defining and establishing a purpose of outdoor dining in the City.

### **Study Session #3 Summary**

On September 9<sup>th</sup>, the Planning Board discussed the report which contained comments from the Advisory Parking Committee, common issues with outdoor dining patios, information on the temporary COVID-19 patios, and also discussed the purpose of outdoor dining. In addition, the Planning Board was able to review an example of how the outdoor dining ordinance could look based on comments up to that point. Ultimately, the conversation started to get more granular with specific ordinance-related ideas ranging from an official stance on enclosures to material guidelines to patio placement. There were several other requests for information including a review of Michigan Liquor Control Commission guidelines for outdoor dining, a review of the concept of windbreak versus wall, and the possibility of regulating outdoor dining by zones.



### **Study Session #4 Summary**

On September 23<sup>rd</sup>, the Planning Board discussed the MLCC rules for outdoor dining patios, the concept of a windbreak and whether or not they should be permitted, and also explored the different zoning districts in which outdoor dining is permitted. These topics led to more conversation about how overhead weather protection will interact with said overhead coverings, and what type of overhead protection the Planning Board should permit. The Planning Board expressed an interest in taking a deeper dive into overhead weather protection and reviewing different options.

### **Study Session #5 Summary**

On October 27<sup>th</sup>, 2021, the Planning Board focused much their conversation on overhead weather protection and which types may be considered within the new ordinance language, and what different issues might arise with the different styles. In addition, the Birmingham Fire Chief Paul Wells gave a brief overview of the fire code as it relates to overhead weather protection, and offered some guidance to the Planning Board regarding fire suppression and other aspects of outdoor dining. In addition to overhead weather protection, the Planning Board provided some clear direction on the subjects of windbreaks, year-round dining, and the role of outdoor dining decks.

### **Study Session #6 Summary**

On December 8<sup>th</sup>, 2021, the Planning Board reviewed comments regarding outdoor dining from the Birmingham Shopping District (BSD). In addition to the BSD comments, the Planning Board also reviewed some updated comments from the Fire Department based on their additional research into the Fire Code. To round out the meeting, the Planning Board outlined several items that they feel need further discussion/decision moving forward:

- Whether establishments with liquor licenses and establishments without liquor licenses should be handled differently;
- Whether there should be on-season and off-season dates for outdoor dining, and what should happen to furniture and other equipment on public property if there are different 'seasons';
- Whether establishments should be permitted outdoor dining on both a sidewalk and a deck if requested, and if not, what the City wants to incentivize instead;
- What types of coverings and equipment should be allowed, and how specific the standards should be in terms of material, location, and other considerations;
- Whether outdoor dining should be permitted to extend beyond the storefront of an establishment, and if so, what the limitations should be;
- Whether outdoor dining decks should be limited to a certain number per block; and,
- Whether outdoor dining in public space and outdoor dining in private space should be regulated differently.

### **Study Session #7**

At this time, the Planning Board has expressed interest in spending some time discussing the questions posed in the previous study session (above). To help aid the discussion, the Planning Division has prepared a map and gathered data on the placement and number of platforms, as well as the most recent data available on the number of outdoor dining seats present in Birmingham for all permit-holding outdoor dining establishments.

## **Article 4, Section 4.44 – Outdoor Dining Standards**

This Outdoor Dining Standards section applies to the following districts:

**B1 B2 B2B B2C B3 B4 MX O1 O2 TZ3**

The following outdoor dining standards apply:

- A. Purpose and Intent: The purpose of this section is to provide an appropriate balance for outdoor dining patios across the city, and to encourage better spaces to support public health, activate public space, foster economic development, safeguard the use of public property, and provide flexibility for current trends and future demands for outdoor dining.
- B. Outdoor Dining – General: Outdoor dining is permitted immediately adjacent to the principal use, subject to review by the Planning Board, or by the Planning Division at the discretion of the Planning Director, and the following conditions
  - 1. All outdoor activity must cease at the close of business or as noted in subsection 2 below.
  - 2. When an outdoor dining patio is immediately adjacent to any single-family or multiple-family zoned residential district, all outdoor activity must cease at the close of business or 10:00 p.m., whichever is earlier.
  - 3. The review of outdoor dining patios shall include, but are not limited to, the following elements: tables, chairs, umbrellas, portable heating elements, barriers, service stations, landscaping/plantings, awnings, canopies, lighting, host/hostess stands, and entertainment.
  - 4. Outdoor dining may be permitted on public property throughout the year with a valid Outdoor Dining License, provided that the following conditions are met:
    - i. Approval of an Outdoor Dining License shall be contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
    - ii. Operators of outdoor dining patios shall be responsible for snow and ice removal, and shall remove of such in a manner consistent with that of the Department of Public Services.
    - iii. Portable patio elements such as tables, chairs, heaters and umbrellas must be stored indoors each night between December 1 and March 1 to allow for complete snow and ice removal.
    - iv. An ADA compliant platform may be erected in the on-street parking space(s) in front of an eating establishment to create an outdoor dining patio from April 1 through November 1, subject to a review by the Advisory Parking Committee.
  - 5. All outdoor patios shall be designed to meet the requirements of this section, as well as all applicable building and fire codes.
- C. Outdoor Dining – Design: All outdoor dining patios are subject to the following design standards:

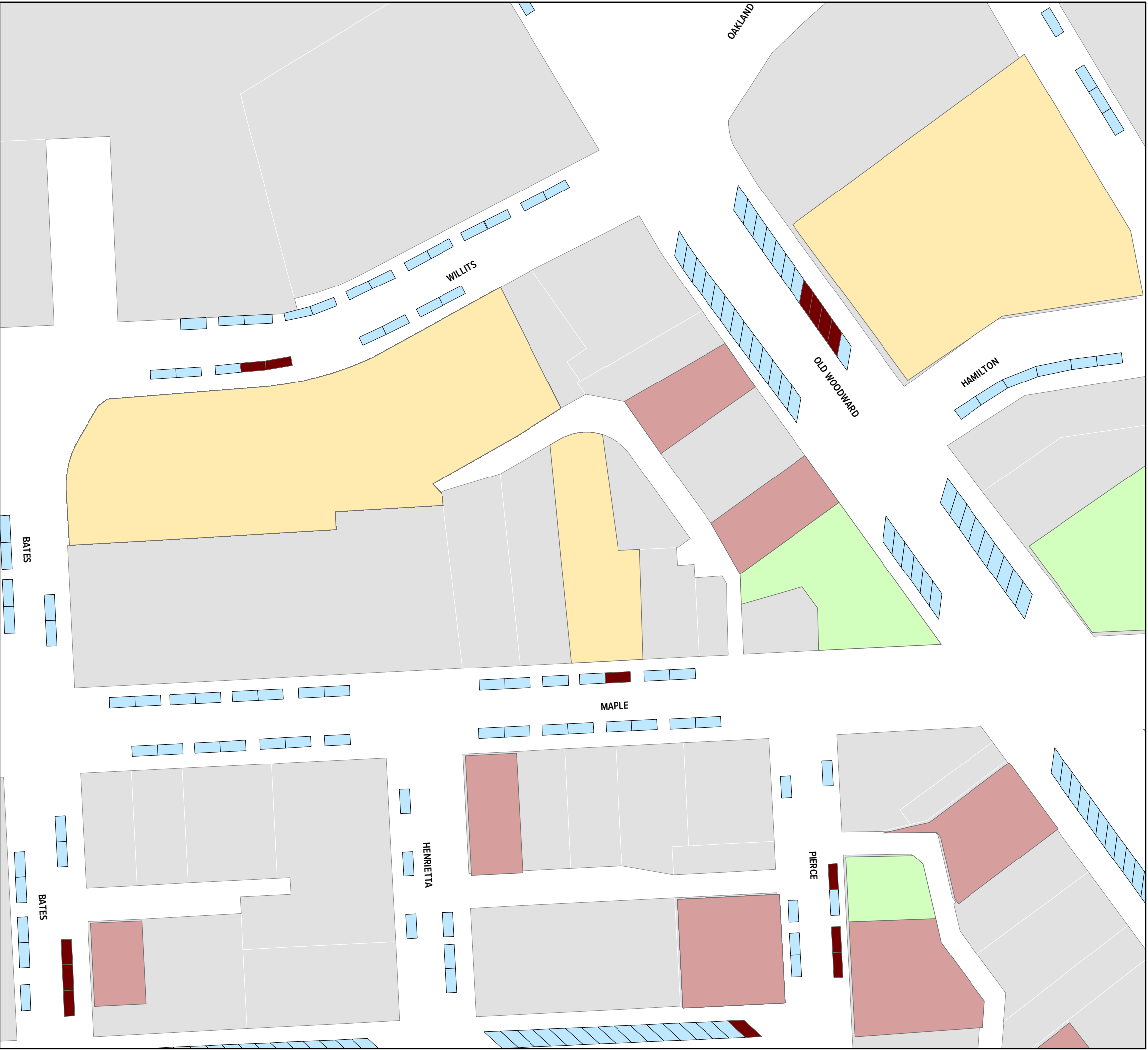
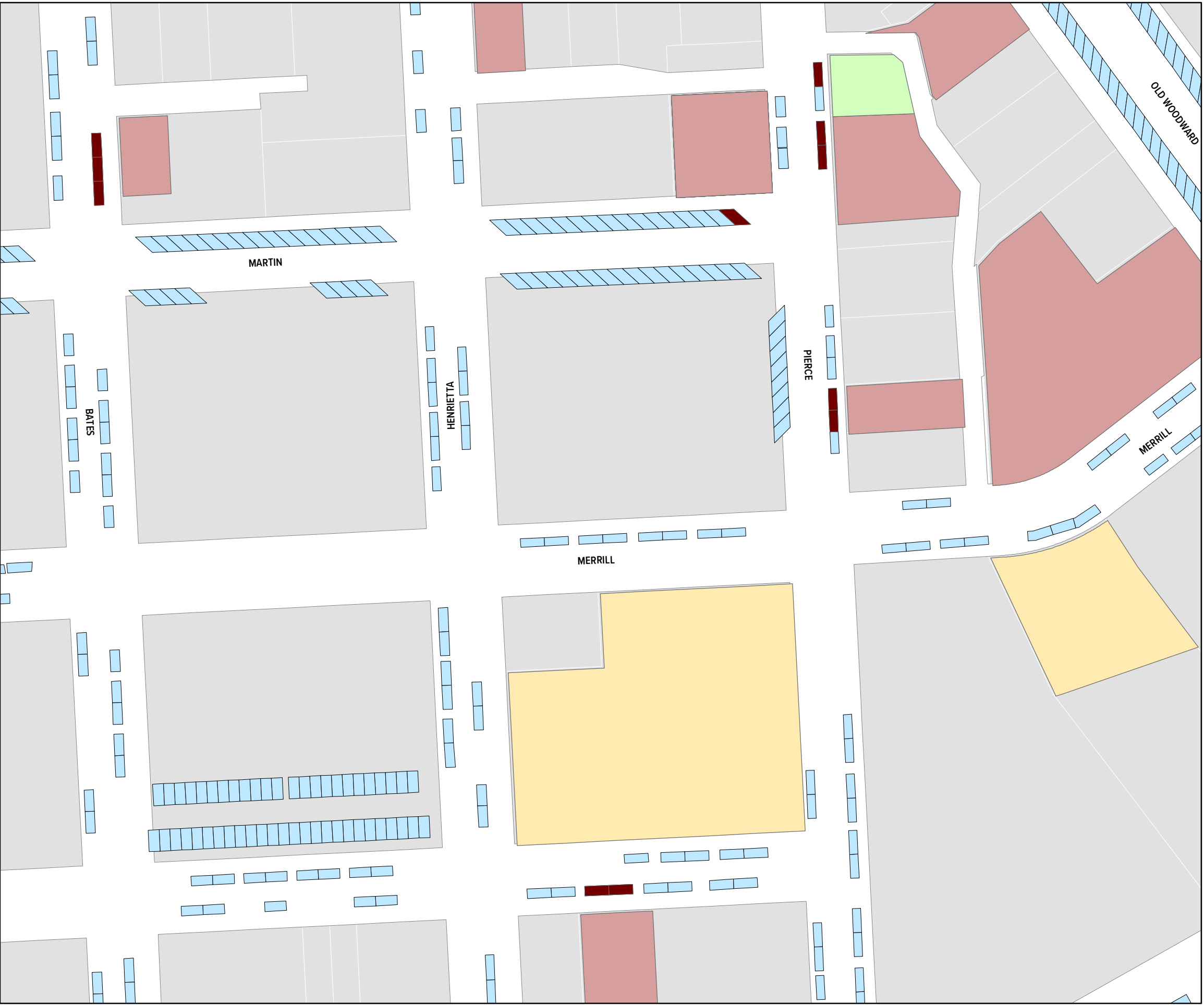
1. All tables and chairs provided in the outdoor dining patio shall be constructed primarily of metal, wood, or a material of comparable quality as determined by the Planning Board.
2. Outdoor dining patios shall provide and service refuse containers within the outdoor dining patio and maintain the area in good order.
3. Outdoor dining patios shall not contain enclosures as defined in Article 9, Section 9.02 of the Zoning Ordinance.
4. In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 6 ft.
5. No such facility shall erect or install permanent fixtures in the public right-of-way.
6. Table umbrellas or other overhead weather protection shall not (1) impede sight lines into a retail establishment, (2) obstruct pedestrian flow in the outdoor dining area, (3) obstruct pedestrian or vehicular traffic flow outside the outdoor dining area, or (4) contain signage or advertising.
7. Barriers defining outdoor patios shall be constructed of a quality and durable material, and shall be maintained and placed in a consistent and organized fashion. Barriers shall be secured to the ground and/or building to maintain an immovable, clearly defined patio space. Barriers may not exceed 42 inches in height with the exception of planting material.
8. Windbreaks are permitted within outdoor dining patios and shall be affixed to a barrier. The total combined height of a barrier and windbreak shall not exceed 60 inches. Windbreaks must be constructed of a clear and durable material.
9. Portable heating elements must be maintained and kept in an orderly fashion. Propane or other fuels may not be stored on public property, and are subject to the Storage and Display Standards outlined in Article 4, Section 4.67 of the Zoning Ordinance.
10. Ancillary elements such as service stations or host/hostess stands must be located within the approved outdoor dining patio, contained, and kept in a neat and orderly fashion. Service stations and host/hostess stands may not exceed 4 feet in height. The storage of dirty dishware is prohibited.

## **Article 9, Section 9.02 – Definitions**

**Enclosure (outdoor dining):** An area that may or may not contain a roof and as few as one wall, panel, or material that provides relief from weather and impedes physical and/or visual access to the space. For the purposes of this definition, enclosure does not include exterior building walls, windbreaks or landscaping.

**Outdoor Dining Patio:** A defined outdoor area accessory to an existing food and drink establishment designated for consumption of food and/or drink prepared within the establishment and subject to the provisions of this ordinance.

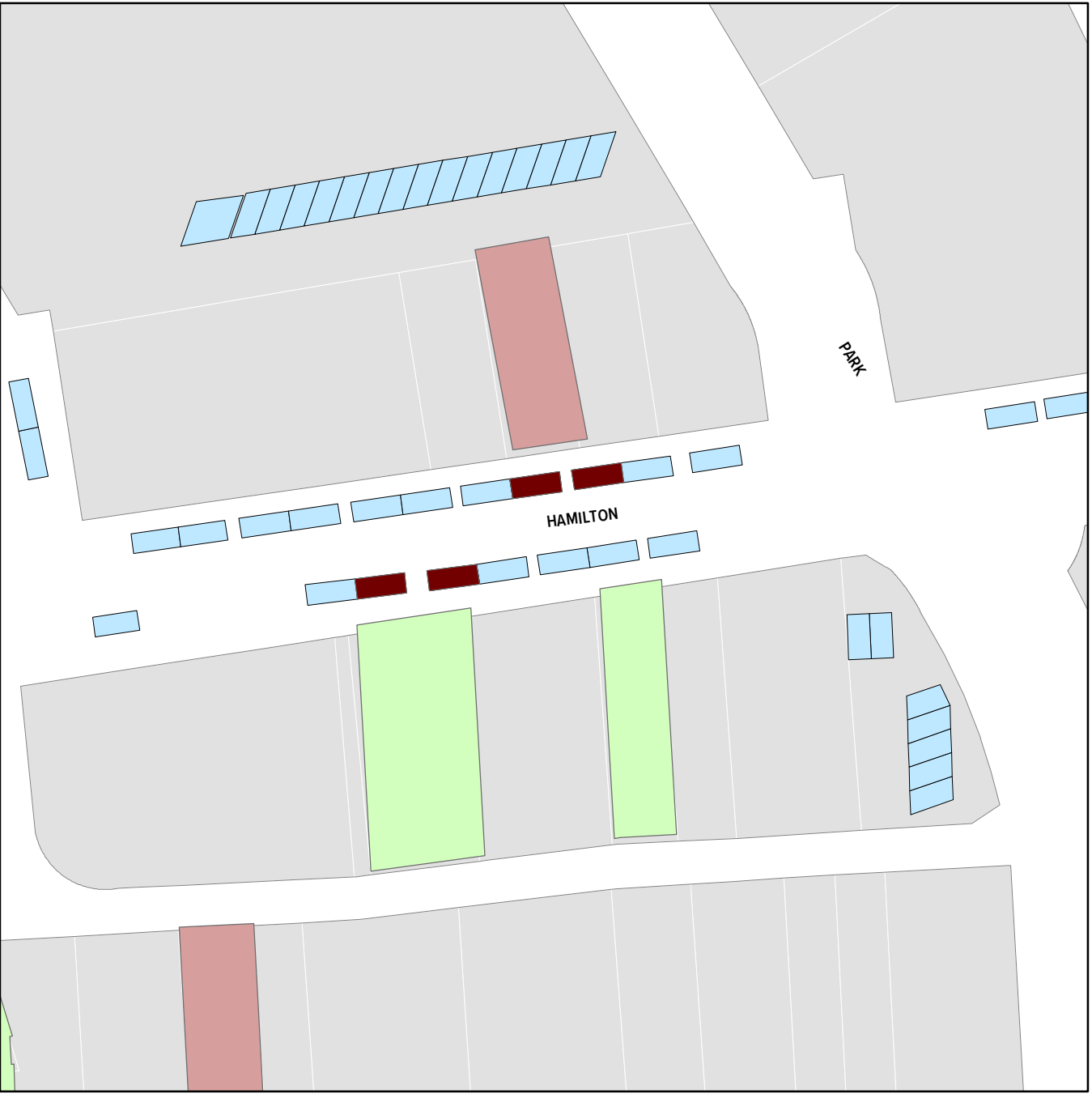
**Permanent Fixture (outdoor dining):** Any element within an outdoor dining patio containing a foundation or other rigid attachment that prevents removal or that which requires extensive modifications to the public right-of-way.



Outdoor Dining

- Non-LL
- Class C LL
- Bistro LL
- Platforms
- Parking

ROW Spaces Downtown - 1270  
Parking Spaces w/ Decks - 23





# OUTDOOR DINING DATA

		Outdoor Dining Seats			
		Public Property	Dining Platform	Private Property	TOTAL
BISTRO LL - 880 SEATS	Whole Foods (Maple Road Taproom)	0	0	33	33
	Salvatore Scallopini	34	0	0	34
	Luxe Bar & Grille	48	0	0	48
	Bella Piatti	6	22	0	28
	Market North End	0	0	44	44
	Adachi	0	0	67	67
	Bistro Joes	0	0	60	60
	Forest Grill	30	0	0	30
	Social Kitchen & Bar	56	0	30	86
	Brooklyn Pizza	41	0	0	41
	Elies Mediterranean	4	20	0	24
	Townhouse	52	24	0	76
	Churchills	12	0	0	12
	La Strada	14	0	0	14
	Toast	19	40	0	59
	Tallulah	0	42	0	42
	Pernoi	0	0	26	26
	Mad Hatter	24	0	0	24
	EM Bistro	24	0	28	52
	Bloom	36	0	0	36
	Whistle Stop	28	0	0	28
	Japan Sushi	16	0	0	16
CLASS C/OTHER LL - 589 SEATS	Griffin Claw	0	0	62	62
	Big Rock	0	0	97	97
	Dick O' Dows	36	24	0	60
	Townsend Hotel (Rugby Grille)	16	0	4	20
	220	0	0	78	78
	Phoenicia	0	26	0	26
	Hazels	0	0	22	22
	Streetside Seafood	8	12	0	20
	The Morrie	14	32	0	46
	Birmingham Pub	30	0	0	30
	Shift, Sidecar, Slice	90	0	0	90
	Mare Mediterranean	14	24	0	38
NON-LL - 214 SEATS	Be Well	0	0	12	12
	Birmingham Roast	24	0	0	24
	Commonwealth	20	32	0	52
	Hunter House	0	0	18	18
	Papa Joes	0	0	18	18
	Canelle Patisserie	12	0	0	12
	7-Greens	8	0	0	8
	Birmingham Sushi Café	12	12	0	24
	Starbucks	24	0	0	24
	Work Company, LLC	6	0	0	6
	Planthropie	4	8	0	12
	Beyond Juice	4	0	0	4

Recently Approved Outdoor Dining

## Outdoor Dining Standards (OD)

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### Contents:

#### 4.44 OD-01 Outdoor Dining Standards

#### 4.44 OD-01 Outdoor Dining Standards

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This Outdoor Dining Standards section applies to the following districts:

**B1 B2 B2B B2C B3 B4 MX 01 02 T23**

The following outdoor dining standards apply:

- A. Outdoor Dining: Outdoor dining is permitted immediately next to the principal use, subject to Site Plan Review, and the following conditions:
1. Outdoor dining areas shall provide and service refuse containers within the outdoor dining area and maintain the area in good order.
  2. All outdoor activity must cease at the close of business or as noted in subsection 3 below.
  3. When an outdoor dining area is immediately adjacent to any single-family or multiple-family residential district, all outdoor activity must cease at the close of business or 10:00 p.m., whichever is earlier.
  4. Outdoor dining may be permitted on the sidewalk throughout the year with a valid Outdoor Dining License, provided that all outdoor dining fixtures and furnishings must be stored indoors each night between November 16 and March 31 to allow for snow removal.
  5. All tables and chairs provided in the outdoor dining area shall be constructed primarily of metal, wood, or material of comparable quality.
  6. Table umbrellas shall be considered under Site Plan Review and shall not impede sight lines into a retail establishment, pedestrian flow in the outdoor dining area, or pedestrian or vehicular traffic flow outside the outdoor dining area.
  7. For outdoor dining located in the public right-of-way:
    - a. All such uses shall be subject to a license from the city, upon forms provided by the Community Development Department, contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
    - b. In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 5 feet.
    - c. Outdoor dining is permitted to extend in the right-of-way in front of neighboring properties, with the written permission of the property owner(s) and with Planning Board approval, if such property is vacant or the first floor storefront(s) is/are vacant. Outdoor dining areas may extend up to 50% of the width of the neighboring lot(s) storefront(s), or up to 50% of the lot(s) frontage, if such lot is vacant.
    - d. City Commission approval is also required for outdoor dining extensions onto neighboring property if the establishment making such a request holds a bistro license.
    - e. An elevated, ADA compliant, enclosed platform may be erected on the street in front of an eating establishment to create an outdoor dining area from April 1 through November 15 only if the Engineering Department determines there is sufficient space available for this purpose given parking and traffic conditions.
    - f. No such facility shall erect or install permanent fixtures in the public right-of-way.
  8. Outdoor dining is permitted in a B1 District at a rate of 4 seats for every 12 linear feet of store frontage, with no more than 12 seats total per building; no elevated enclosed platforms on the street are permitted in a B1 District.



## **Downtown Birmingham Overlay District**

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### **Contents:**

#### **3.01 Purpose**

#### **3.02 Applicability**

#### **3.03 General Standards**

#### **3.04 Specific Standards**

#### **3.04 Specific Standards**

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A. Building Height Overlay: The various elements of building height shall be determined as follows for the various zones designated on the Regulating Plan:

1. D2 Zone (two or three stories):

- a. Eave line for sloped roofs shall be no more than 34 feet.
- b. Peak or ridge of any sloped roof shall be no more than 46 feet as measured to the average grade.
- c. Maximum overall height including the mechanical and other equipment shall be no more than 56 feet.
- d. A third story is permitted if it is used only for residential.
- e. All buildings in D2 Zone containing a third story should be designed harmoniously with adjacent structures in terms of mass, scale and proportion, to the best extent possible.
- f. A third story shall continue in a different plane, beginning at the eave line, not greater than 45 degrees measured to the horizontal or setback 10 feet from any building facade.
- g. All buildings constructed in the D2 Zone shall have a minimum eave height of 20 feet.

2. D3 Zone (three or four stories):

- a. Eave line for sloped roofs shall be no more than 46 feet.
- b. Peak or ridge of any sloped roof shall be no more than 58 feet as measured to the average grade.
- c. Maximum overall height including the mechanical and other equipment shall be no more than 68 feet.
- d. A fourth story is permitted if it is used only for residential.
- e. All buildings in D3 Zone containing a fourth story should be designed harmoniously with adjacent structures in terms of mass, scale and proportion, to the best extent possible.
- f. The fourth story shall continue in a different plane, beginning at the eave line, no greater than 45 degrees measured to the horizontal or setback 10 feet from any building facade.
- g. All buildings constructed in a D3 Zone shall contain a minimum of 2 stories and must have a minimum eave height of 20 feet.

3. D4 Zone (four or five stories):

- a. Eave line shall be no more than 58 feet.
- b. Peak or ridge of any sloped roof shall be no more than 70 feet as measured to the average grade.
- c. Maximum overall height including mechanical and other equipment shall be no more than 80 feet.
- d. The fifth story is permitted if it is used only for residential.
- e. All buildings containing a fifth story should be designed harmoniously with adjacent structures in terms of mass, scale and proportion, to the best extent possible.
- f. The fifth story shall continue in a different plane, beginning at the eave line, no greater than 45 degrees measured to the horizontal or set back 10 feet from any building facade.
- g. All buildings constructed in the D4 Zone shall contain a minimum of 2 stories and must have a minimum eave height of 20 feet.

4. D5 Zone (over 5 stories):

- a. All existing buildings located in the D5 Zone on November 1, 2016 are deemed legal, conforming buildings with regards to setbacks, number of stories and height.
- b. All existing buildings located in this zone district on November 1, 2016 may be extended or enlarged only if the property owner elects to develop the extended or enlarged portion of the building under the provisions of the

Downtown Birmingham Overlay District and the extension or enlargement meets all of the requirements of the Downtown Birmingham Overlay District and the D4 Zone.

- c. New buildings constructed or additions to existing buildings in the D5 Zone must meet the requirements of the Downtown Birmingham Overlay District and the D4 Zone, except that the height of any addition and new construction in the D5 Zone may be over the maximum building height up to, but not exceeding, the height of an existing building on a directly abutting D5 Zone property if the property owner agrees to the construction of the building under the provisions of a Special Land Use Permit. For the purposes of this section, private properties separated by public property (including public right-of-way and public vias), will not be deemed abutting.

5. C and P Zone: Downtown Birmingham Overlay District building height shall comply with the underlying height restrictions listed in each two-page layout in [Article 2](#) of the Zoning Ordinance, but may be negotiated by the Planning Board.
6. Stories at sidewalk level shall be a minimum of 10 feet in height from finished floor to finished ceiling. The Planning Board may reduce this standard for renovations to existing buildings that do not meet this standard.
7. A transition line shall be provided between the first and second stories. The transition shall be detailed to facilitate an awning.
8. The maximum width of all dormers per street elevation on buildings may not exceed 33% of the width of the roof plane on the street elevation on which they are located.

B. Building Placement: Buildings and their elements shall be placed on lots as follows:

1. Front building facades at the first story shall be located at the frontage line, except the Planning Board may adjust the required front yard to the average front setback of any abutting building.
2. In the absence of a building facade, a screenwall shall be built along the frontage line and aligned with the adjacent building facade. Screenwalls shall be between 2.5 and 3.5 feet in height and made of brick, stone or other masonry material matching the building. Upon approval by the Planning Board, screenwalls may be a continuous, maintained evergreen hedge or metal fencing. Screenwalls may have openings a maximum of 25 feet to allow vehicular and pedestrian access.
3. Side setbacks shall not be required.
4. A minimum of 10 foot rear yard setback shall be provided from the midpoint of the alley, except that the Planning Board may allow this setback to be reduced or eliminated. In the absence of an alley, the rear setback shall be equal to that of an adjacent, preexisting building.
5. First-floor awnings may encroach upon the frontage line and public sidewalk, but must avoid the street trees; provide at least 8 feet of clearance above the sidewalk; and be set back a minimum of 2 feet from the road curb.
6. Upper-floor awnings shall be permitted only on vertically proportioned windows, provided that the awning is only the width of the window, encroaches upon the frontage line no more than 3 feet, and is not used as a backlit sign.
7. Loading docks and service areas shall be permitted only within rear yards. Doors for access to interior loading docks and service areas shall not face a public street.
8. All buildings shall have their principal pedestrian entrance on a frontage line.

C. Building Use: Buildings shall accommodate the following range of uses for the various designations on the Regulating Plan of the Downtown Birmingham Overlay District:

1. Uses shall be limited to those allowed in each underlying zoning district, unless otherwise specifically provided for herein.
2. The following uses and conditions are prohibited:
  - a. Automatic food and drink vending machines outdoors;
  - b. Drive-in facilities or any commercial use that encourages patrons to remain in their automobiles while receiving goods or services;
  - c. Outdoor advertising.
3. Community uses (C).
4. Those sites designated as parking uses (P) on the Regulating Plan shall be premises used primarily for parking, except retail frontages shall be encouraged at the first floor level.
5. Those sites designated D2 Zone, D3 Zone, or D4 Zone on the Regulating Plan may be used for any commercial, office or residential use as allowed in the underlying zoning district. Upper story uses may be commercial, office or residential, provided that no commercial or office use shall be located on a story above a residential use.

6. Buildings that have frontage along the required retail frontages, as specified on the Regulating Plan, shall consist of retail with a minimum depth of 20 feet from the frontage line within the first story. Lobbies for hotels, offices, and multiple-family dwellings may be considered as part of the required retail frontage, provided that any such lobby occupies no more than 50% of the frontage of said building.
7. Retail, office or residential uses are required to have minimum depth of 20 feet from the frontage line on all stories. The remaining depth may be used for off-street parking. Parking access on a frontage line shall be an opening a maximum of 25 feet wide. Openings for parking garage access shall repeat the same rhythm and proportion as the rest of the building to maintain a consistent streetscape.
8. In any D2 Zone, D3 Zone, or D4 Zone, the first floor shall consist of retail with a minimum depth of 20 feet from the frontage line where designated on the Regulating Plan as a retail frontage line in conformance with Section 3.04(C)(5) and Section 3.04(C)(6).
9. Office use is limited to one story, except:
  - a. In any D3 Zone or D4 Zone, a two-story building dedicated to office use is permissible; and
  - b. In a D4 Zone, two stories may be dedicated to office use when the Planning Board permits a fifth story.
10. Bistros are permitted with a valid Special Land Use Permit with the following conditions:
  - a. No direct connect additional bar permit is allowed and the maximum seating at a bar cannot exceed 10 seats;
  - b. Alcohol is served only to seated patrons, except those standing in a defined bar area;
  - c. No dance area is provided;
  - d. Only low key entertainment is permitted;
  - e. Bistros must have tables located in the storefront space lining any street, or pedestrian passage;
  - f. A minimum of 70% glazing must be provided along building facades facing a street or pedestrian passage between 1 foot and 8 feet in height;
  - g. All bistro owners must execute a contract with the City outlining the details of the operation of the bistro; and
  - h. Outdoor dining must be provided, weather permitting, along an adjacent street or passage during the months of May through October each year. Outdoor dining is not permitted past 12:00 a.m. If there is not sufficient space to permit such dining on the sidewalk adjacent to the bistro, an elevated, ADA compliant, defined platform must be erected on the street adjacent to the bistro to create an outdoor dining area if the Engineering Department determines there is sufficient space available for this purpose given parking and traffic conditions.
  - i. Enclosures facilitating year round dining outdoors are not permitted.
  - j. Railings, planters or similar barriers defining outdoor dining platforms may not exceed 42" in height.
  - k. Outdoor rooftop dining is permitted with the conditions that surrounding properties are not impacted in a negative manner and adequate street level dining is provided as determined by the Planning Board and City Commission. Rooftop dining seats will count towards the total number of permissible outdoor dining seats.
11. Establishments operating with a liquor license obtained under Chapter 10, Alcoholic Liquors, Article II, Division 3, Licenses for Economic Development, are permitted with a valid Special Land Use Permit only on those parcels on Woodward Avenue identified on Exhibit 1; Appendix C.

#### D. Parking requirements.

1. For all nonresidential uses located within the parking assessment district, parking on the site shall not be required, provided such site is in full compliance with the requirements of the parking assessment district.
2. For all residential uses located within the parking assessment district, the on-site parking requirements contained in Section 4.46, Section 4.49, Section 4.50 and Section 4.51 may be complied with through leasing the required spaces from an off-site parking area, provided the requirements of Section 4.45(G) are met and all parking is supplied on site or within 300 feet of the residential lobby entrance of the building
3. For all sites located outside of the parking assessment district, off-street parking must be provided in accordance with the requirements of Article 4 for parking, loading and screening.
4. Notwithstanding the above regulations, residential dwelling units within the existing second and third floors of landmark buildings, as defined in Section 62-87 of the Birmingham City Code, located within the central business historic district are exempt from required off-street parking requirements.
5. Off-street parking contained in the first story shall not be permitted within 20 feet of any building facade on a frontage line or between the building facade and the frontage line.
6. The placement of two abutting off-street parking lots with continuous street frontages shall not be permitted.

E. Architectural standards. All buildings shall be subject to the following physical requirements:

1. At least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood. Dryvit or E.F.I.S is prohibited.
2. The primary colors of building exteriors shall be compatible with the colors of adjacent buildings and in character with the surrounding area, although the trim may be of a contrasting color.
3. Blank walls shall not face a public street. Walls facing a public street shall include windows and architectural features customarily found on the front facade of a building, such as awnings, cornice work, edge detailing or decorative finish materials.
4. Storefronts shall be directly accessible from public sidewalks. Each storefront must have transparent areas, equal to 70% of its portion of the facade, between one and eight feet from the ground. The wood or metal armature (structural elements to support canopies or signage) of such storefronts shall be painted, bronze, or powder-coated.
5. Storefronts shall have mullion systems, with doorways and signage integrally designed. Mullion systems shall be painted, powder-coated, or stained.
6. The glazed area of a facade above the first floor shall not exceed 35% of the total area, with each facade being calculated independently.
7. Clear glazing is required on the first floor. Lightly tinted glazing is permitted on upper floors only. Windows shall not be blocked with opaque materials or the back of shelving units or signs.
8. Facade openings, including porches, windows, and colonnades, shall be vertical in proportion.
9. Sliding doors and sliding windows are prohibited along frontage lines.
10. (Reserved for future use.)
11. Cantilevered mansard roofs are prohibited.
12. Balconies, railings, and porch structures shall be glass, metal, wood, cast concrete, or stone. All materials must be compatible with each other and with the building, as determined by the Planning Board, Design Review Board or Historic District Commission.
13. Facades may be supplemented by awnings, which shall be straight sheds without side flaps, not cubed or curved. Awnings shall be between 8 and 12 feet above sidewalk grade at the lower drip edge.
14. Outside dining tables and chairs shall be primarily metal, wood, or similar material. Plastic outside dining tables and chairs shall be prohibited.
15. Any building that terminates a view, as designated on the Regulating Plan, shall provide distinct and prominent architectural features of enhanced character and visibility, which reflect the importance of the building's location and create a positive visual landmark.
16. Flat roofs shall be enclosed by parapets. Rooftop mechanical and other equipment shall be limited, positioned and screened to minimize views from adjacent properties and public rights-of-way in accordance with the regulations set forth in Section 4.16, Section 4.18, and Section 4.54.

(Ord. No. 2242, 07/24/2017; Ord. No. 2307, 02/11/2019; Ord. No. 2310, 09/17/2018; Ord. No. 2322, 06/24/2019; Ord. No. 2342, 01/13/2020)

Effective on: 2/2/2020

## Activation Overlay District

### Contents:

#### 3.13 Purpose

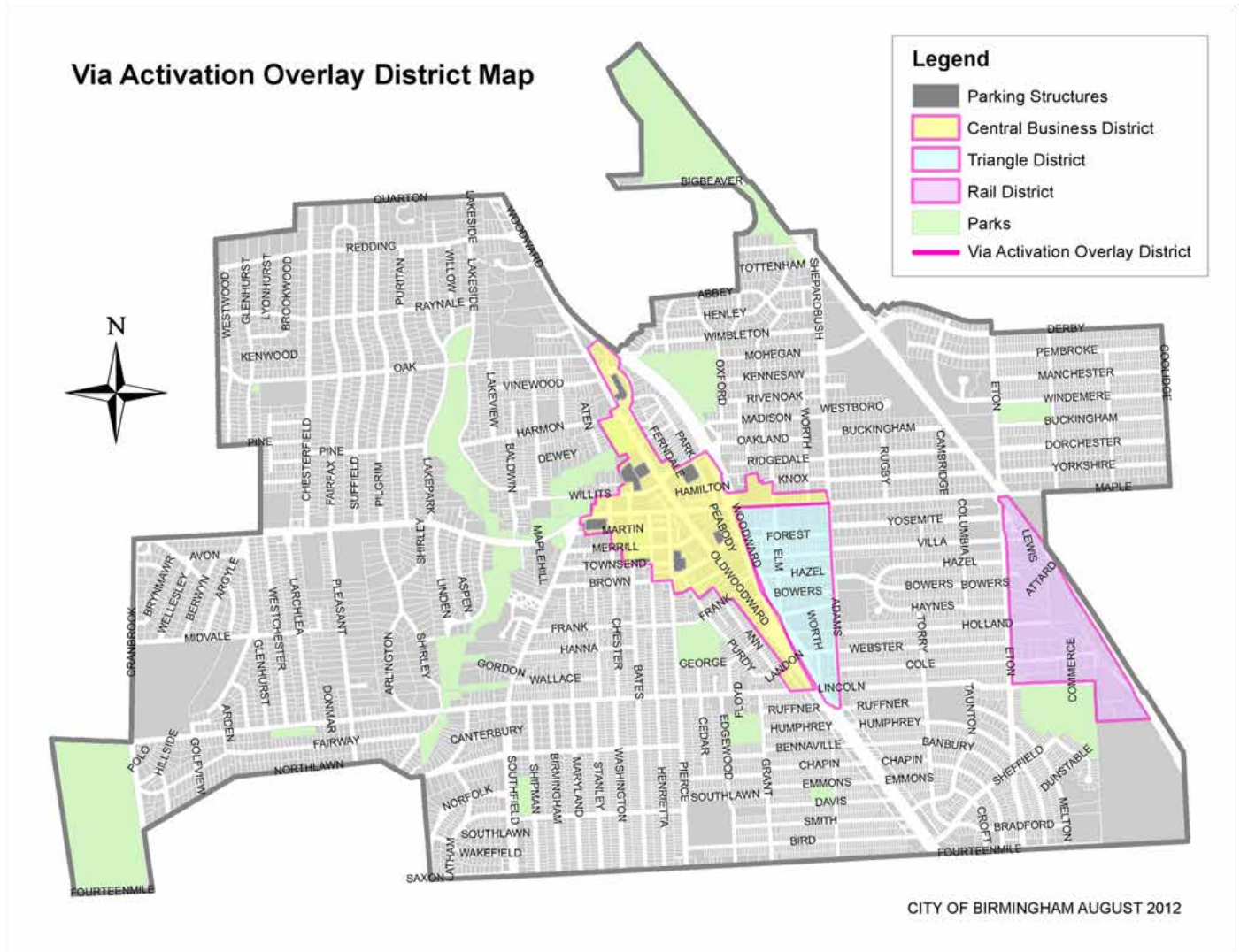
#### 3.14 Applicability

#### 3.15 General Standards

#### 3.16 Specific Standards

### 3.14 Applicability

- A. The Via Activation Overlay District shall be an overlay district that applies to all existing and future vias in all zoning districts within the areas identified below:



- B. Use and development of land within the Via Activation Overlay District shall be regulated as follows:

1. Any existing use shall be permitted to continue and the use shall be subject to the underlying zoning requirements and not the Via Activation Overlay District.
2. Where an existing use within a building is proposed to be expanded by more than 50% of its size, the use shall be subject to the building use standards of the Via Activation Overlay District to the maximum extent practical, as determined by the Planning Board.
3. Any expansion to an existing building that expands the area of the building by more than 40% of the existing building area shall subject the entire building to the requirements of the Via Activation Overlay District and shall



be brought into compliance with the requirements of the Via Activation Overlay District to the maximum extent practical, as determined by the Planning Board.

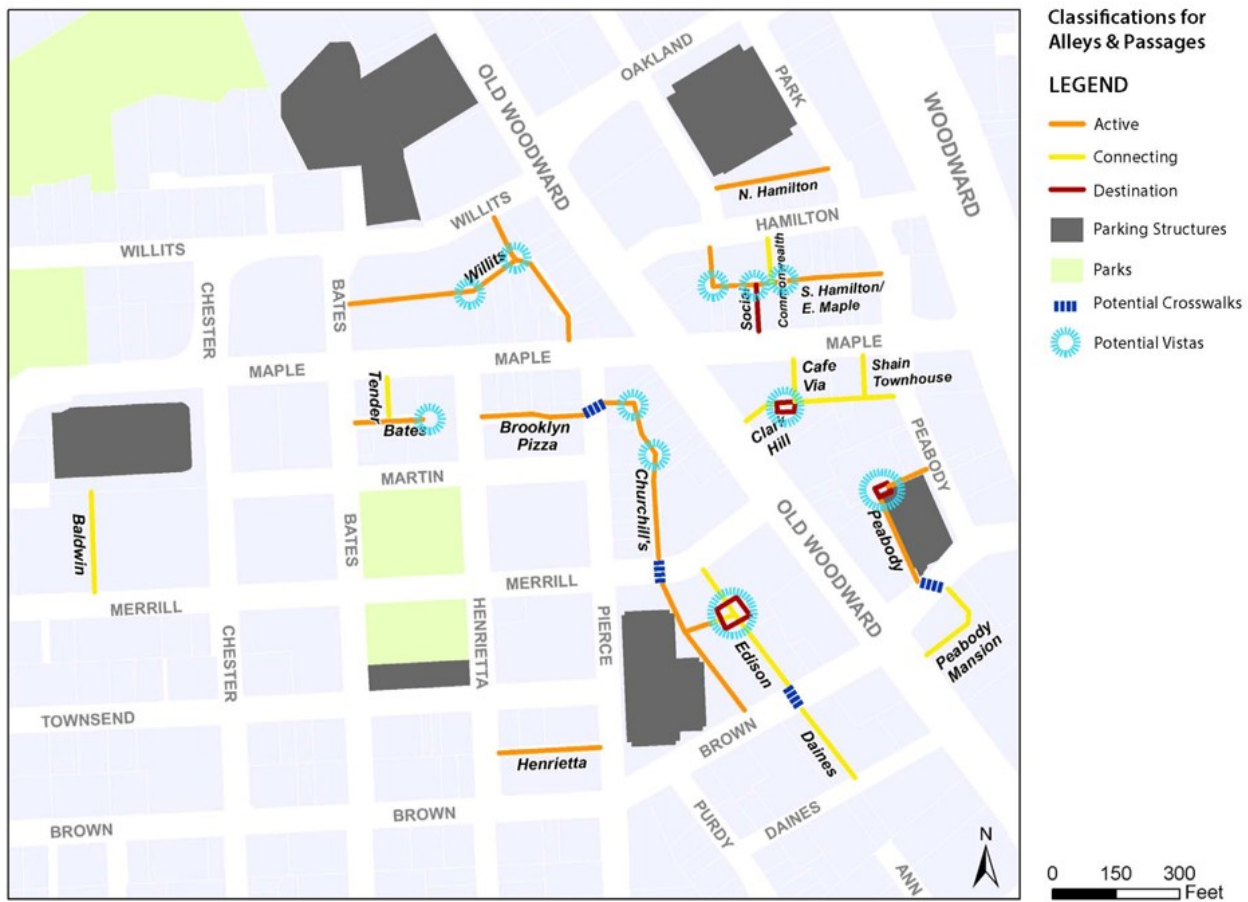
4. Where a new building is proposed, the use and site shall be subject to the requirements of the Via Activation Overlay District.

C. Development applications within the Via Activation Overlay District shall be required to follow the Site Plan Review and Design Review standards contained in [Article 7](#).

D. Activating Urban Space: A Strategy for Alleys & Passages has been adopted that divides Birmingham's alleys and passages into distinct classifications. Each classification designated in the Activating Urban Space: A Strategy for Alleys & Passages, prescribes requirements for building form, design and use as follows:

- Active Via: An alley with a mix of uses and activities used by pedestrians/bicyclists for travel, some commercial activities, pausing for respite, **outdoor dining**, etc. with shared use by service vehicles (deliveries, trash removal, etc.).
- Connecting Via: A passage that provides a through-block connection for pedestrians and/or bicyclists only.
- Destination Via: Alleys or passages that people are drawn to as a destination for participating in cultural activities, commercial activities, recreational activities, special events, and other activities.

Alley and passage classifications for Birmingham's existing network within the Via Activation Overlay District are identified as follows:



E. While not required, any improvements to vias or uses for vias that are permitted in the Via Activation Overlay District regulations are also permitted in existing or future vias located throughout the City in all zoning districts, with approval of the Planning Board.

### 3.16 Specific Standards

A. Permitted and Prohibited Uses: To enhance the amenity and character of vias, to enhance visual interest and encourage surveillance of urban spaces, active uses should be provided at the ground floor level along the majority of the edges of buildings located adjacent to vias. While buildings should accommodate these



uses, care must be taken to avoid conflict with pedestrian movement in the via. To specifically encourage the activation of vias, the following uses are permitted within Active, Connecting, and Destination Vias:

1. Retail sales and display;
2. Public plazas and informal gathering spaces;
3. Art display; and
4. Community Gardens.

In addition, the following uses are also permitted within Connecting and Destination Vias:

1. Outdoor dining; and
2. Special Events.

The following are specifically prohibited in all vias:

1. Automatic food and drink vending machines outdoors;
2. Drive-in facilities or any commercial use that encourages patrons to remain in their automobiles while receiving goods or services;
3. Unscreened trash receptacles; and
4. Unscreened outdoor storage.

B. Parking Requirements: To encourage active use of vias, the following parking standards apply in vias:

1. Additional parking spaces shall not be required for the square footage of any via used for any of the permitted uses listed in Section 3.16(A) above that extend from inside buildings into a via.
2. Openings for parking garage access from vias shall repeat the same rhythm and proportion as the rest of the building to maintain a consistent look on all facades facing a via.

C. Side and Rear Setbacks: Buildings and their elements shall be placed on lots as follows:

1. Side setbacks shall not be required where side lot lines adjoin a via;
2. A minimum 10 foot rear yard setback must be provided from the midpoint of the via, except that the Planning Board may allow this setback to be reduced or eliminated; and
3. Awnings and/or canopies are encouraged to project into a via, but must provide at least 8 feet of clearance above the via, and may not encroach the clear zone for service vehicles.

D. Multi-Modal Access: To encourage broad use and multi-modal, 24 hour access to vias as corridors for local travel and social interaction, while providing safe travel for all users, the following standards apply:

1. To maintain access for service vehicles, a 10 foot wide clear zone (extending 22 feet in height), must be maintained for all Active Vias;
2. In Active vias, signs must be posted indicating:
  - a. Entire via is a shared access corridor, and
  - b. Maximum speed for motor vehicles is 5 mph (walking pace);
3. In all vias, the use of vehicle parking gates, fencing and other similar barriers to access are prohibited; and
4. The addition of crosswalks is encouraged where vias intersect streets, particularly in locations with another via entry on the other side of the street.

E. Viascape Standards: To enhance the appearance of vias without stifling creative design, the following standards apply:

1. For publicly owned vias:
  - a. Broom finish concrete with exposed aggregate paving accents must be used for visual interest in all vias;
  - b. All furniture and finishes used are required to match the streetscape requirements of the district in which the via is located, except if located within an area leased for private use; and
  - c. Furniture placement should consider available space, potential for use and proximity to activity centers;
2. For privately owned vias:
  - a. Paving materials and furniture may be selected to suit adjacent private development, subject to approval by the appropriate board or commission; and
  - b. Furniture placement should consider available space, potential for use and proximity to activity centers.

3. In all vias, chain link enclosures of stairs, windows, entrances or other features, and other similar barriers are prohibited.

F. Landscaping: To enhance the appearance and drainage of all vias, the following standards apply:

1. The planting of Boston Ivy and /or other climbing vegetation is encouraged on all facades of buildings adjoining a via. Planting pockets must extend a minimum of 9 inches from the edge of all building facades, and must exceed 2 feet in length;
2. The planting of trees and shrubs is required along the edge of vias where the reviewing board or commission determines that sufficient space exists;
3. Where sufficient space is not available for planting beds, the use of planter boxes, trellises and/or green screens are encouraged; and
4. The use of porous concrete and green pavers is encouraged.

G. Lighting: To ensure the use of appropriate lighting for safety, security, visibility, and architectural enhancement, the following standards apply:

1. Via lighting must be provided by adjoining property owners where needed to ensure the safety of pedestrians. The need for such lighting and the type of lighting to be provided will be determined by the reviewing board or commission;
2. Surface lighting of building facades lining a via is encouraged over freestanding pathway lighting;
3. The scale, color, design and material of all luminaires must enhance the via in which it is located, as well as be compatible with the surrounding buildings and urban space; and
4. Where lighting is used for architectural enhancement of building features, art or landscaping, appropriate methods shall be used to minimize reflection and glare.

H. Design Standards: All portions of buildings and sites directly adjoining a via must maintain a human scale and a fine grain building rhythm that provides architectural interest for pedestrians and other users, and provide windows and doors overlooking the via to provide solar access, visual interaction and surveillance of the via. To improve the aesthetic experience and to encourage pedestrians to explore vias, the following design standards apply for all properties with building facades adjoining a via:

1. Blank walls shall not face a via. Walls facing vias shall include windows and architectural features customarily found on the front facade of a building, such as awnings, cornice work, edge detailing or decorative finish materials. Awnings shall be straight sheds without side flaps, not cubed or curved, and must be at least 8 feet above the via at the lowest drip edge;
2. First floor retail, restaurant and office uses are encouraged to be directly accessible to the public from adjoining vias;
3. Glass shall be clear or lightly tinted only. Opaque applications shall not be applied to any glass surfaces facing a via unless specifically approved by the Planning Board to screen electrical, plumbing or mechanical equipment;
4. Creative designs and bold use of color is encouraged; and
5. Any building facade that terminates a view, as designated on the Via Activation Plan, shall provide distinct and prominent architectural features of enhanced character and visibility or artistic elements, which reflect the importance of the building's location and create a positive visual landmark within the via system.

I. Commercial Signage: To encourage creativity, to add color and to activate the urban space in vias, the following sign standards apply for all properties with building facades immediately adjoining alleys or passages:

1. All doors adjoining alleys or passages are required to provide signage identifying the first floor business(es) contained therein;
2. All first floor uses with rear or side entrances onto alleys or passages must provide pedestrian scaled projecting signs mounted perpendicular to the corresponding facade. One projecting sign is required for each facade with an entrance onto a via. Projecting signs may extend no more than 4 feet from the building facade, projecting banners may extend no more than 6 feet from the building facade, and neither may encroach the clear zone for service vehicles;
3. The lowest point of all projecting signage must be a minimum of 8 feet above grade;
4. Alley and passage commercial signage must be reviewed in accordance with the procedure contained in [Article 2](#) of the Birmingham Sign Ordinance (Chapter 86 of the City Code), but is intended to be bolder and more graphic in nature than storefront signage; and
5. The square footage of the required alley and passage commercial signage required in this section will not count against the maximum total signage permitted on the site.

J. Wayfinding Signage: To encourage the use of all urban space by attracting businesses to vias, and by engaging pedestrians to explore vias, the following wayfinding sign standards apply for all properties with building facades immediately adjoining any entrance to a via:

1. A directory sign is required to be mounted on at least one of the building facades adjoining an entrance to a via. Directory signs must identify all businesses contained within or along a via. Where more than one building facade adjoins an entrance to a via, the board or commission reviewing the signage and/or site plan shall select the best facade(s) for this purpose;
2. An approved City-standard passage wayfinding identification sign must be provided at each entrance to a via, and at all connection points where alleys or passages converge, intersect or end.
3. All alley and passage wayfinding signage must be reviewed in accordance with the procedure contained in [Article 2](#) of the Birmingham Sign Ordinance (Chapter 86 of the City Code); and
4. The square footage of the required alley and passage wayfinding signage required in this section will not count against the maximum total signage permitted on site.



## MEMORANDUM

Planning Division

**DATE:** December 8, 2021

**TO:** Planning Board

**FROM:** Nicholas Dupuis, City Planner

**SUBJECT:** Outdoor Dining Ordinance – Study Session #6

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On December 7, 2020, the City Commission discussed amending the Zoning Ordinance to consider allowing the enclosure of outdoor dining areas during the winter months. The City Commission asked the Planning Board to consider this issue, and any regulations they may recommend should outdoor dining enclosures be permitted.

On June 21<sup>st</sup>, 2021, the City Commission and Planning Board met at a joint meeting to further discuss outdoor dining, and to get a clear direction as to what elements of outdoor dining should be addressed. In general, the City Commission and Planning Board discussed several topics spanning from enclosures to private vs. public space, but ultimately asked the Planning Board to take a comprehensive look at the entire outdoor dining ordinance.

On June 23<sup>rd</sup>, 2021, the Planning Board discussed outdoor dining in further detail based on the joint meeting two days prior. The Planning Board settled on a list of goals that they would like to focus on in the ordinance review process, which includes the following:

- Incentivize outdoor off-season dining;
- Review the placement of decks and enclosures;
- Ensure that additional outdoor off-season dining does not become an extension of the indoor space;
- Solicit feedback from restaurateurs of all types in the City;
- Seek possible ideas from local, national and international examples;
- Review the current ordinance for issues;
- Review tickets that were given out to temporary outdoor dining operations;
- Review photos of the variety of temporary outdoor dining structures that were used around the City;
- Explore options for maintaining permanent aspects of outdoor dining structures even if the parts of the structures come down in different seasons;
- Discuss potential differences in policy for outdoor dining on public versus private property;
- Solicit feedback from Public Services and the BSD;

- Review agreements from temporary outdoor dining to see if any of the temporary policies might be worth integrating;
- Consider aspects like sidewalk widths and snow clearing in writing the policy;
- Maintain the current seating allowances for differently-sized establishments and maintain the differences for establishments holding different kinds of licenses for alcoholic beverage service; and,
- Recommend a permanent solution so that restaurateurs do not have to continue to adapt to changing policies.

### **Study Session #1 Summary**

On July 14<sup>th</sup>, 2021, the Planning Board reviewed a high-level report on outdoor dining to guide future discussion. The topics included observations as to what constitutes “good” outdoor dining with national and local examples, as well as a local ordinance review for outdoor dining. The Planning Board discussed next steps and emphasized the need to (1) hear from different City Departments (code issues, retail neighbor conflicts, streetscape), (2) review available codes and ordinances from other areas of the country (enclosures, public vs. private, year-round), and (3) analyze information from national downtown associations or other related organizations (trends, social districts, success stories).

### **Study Session #2 Summary**

On August 11<sup>th</sup>, 2021, the Planning Board reviewed another high-level report in which the Planning Division presented various departmental comments on outdoor dining, a national outdoor dining ordinance review, conversations with local cities, and a study of national organization input and trends. The Planning Division also provided some public feedback from Engage Birmingham, which surveyed the public for their opinion of the COVID-19 temporary outdoor dining expansions, which were overwhelmingly positive. Moving forward, the Planning Board expressed interest in getting into more detail on seasonal/year round dining and its effect on street activation, public versus public space, the potential for regulating different restaurants/licenses differently, and defining and establishing a purpose of outdoor dining in the City.

### **Study Session #3 Summary**

On September 9<sup>th</sup>, the Planning Board discussed the report which contained comments from the Advisory Parking Committee, common issues with outdoor dining patios, information on the temporary COVID-19 patios, and also discussed the purpose of outdoor dining. In addition, the Planning Board was able to review an example of how the outdoor dining ordinance could look based on comments up to that point. Ultimately, the conversation started to get more granular with specific ordinance-related ideas ranging from an official stance on enclosures to material guidelines to patio placement. There were several other requests for information including a review of Michigan Liquor Control Commission guidelines for outdoor dining, a review of the concept of windbreak versus wall, and the possibility of regulating outdoor dining by zones.

### **Study Session #4 Summary**

On September 23<sup>rd</sup>, the Planning Board discussed the MLCC rules for outdoor dining patios, the concept of a windbreak and whether or not they should be permitted, and also explored the different zoning districts in which outdoor dining is permitted. These topics led to more conversation about how overhead weather protection will interact with said overhead coverings, and what type of overhead protection the Planning Board should permit. The Planning Board expressed an interest in taking a deeper dive into overhead weather protection and reviewing different options.

### **Study Session #5 Summary**

On October 27<sup>th</sup>, 2021, the Planning Board focused much their conversation on overhead weather protection and which types may be considered within the new ordinance language, and what different issues might arise with the different styles. In addition, the Birmingham Fire Chief Paul Wells gave a brief overview of the fire code as it relates to overhead weather protection, and offered some guidance to the Planning Board regarding fire suppression and other aspects of outdoor dining. In addition to overhead weather protection, the Planning Board provided some clear direction on the subjects of windbreaks, year-round dining, and the role of outdoor dining decks.

### **Study Session #6**

The Planning Division has received the highly anticipated comments regarding outdoor dining from the Birmingham Shopping District (BSD). As the BSD plays a unique role in the City, and its constituents are comprised of retail and restaurant uses alike, it was important for the BSD to thoroughly vet their comments and recommendations through each of their sub-committees so that they may offer a consistent and well-represented response to the Planning Division's request for input. The attached document offers several recommendations, as well as a background of the thought processes and some of the opposing viewpoints that were expressed during their meetings.

In addition to the BSD comments, the Fire Department has also included updated comments for the Planning Board review based on their additional research into the Fire Code. These updated comments are intended to keep the Planning Board current with the most up-to-date codes and processes relating to all aspects of outdoor dining patios. As it follows, new comments were added regarding enclosures/coverings, smoke detectors, structures attached to buildings, and propane storage.

## **Article 4, Section 4.44 – Outdoor Dining Standards**

This Outdoor Dining Standards section applies to the following districts:

**B1 B2 B2B B2C B3 B4 MX O1 O2 TZ3**

The following outdoor dining standards apply:

- A. Purpose and Intent: The purpose of this section is to provide an appropriate balance for outdoor dining patios across the city, and to encourage better spaces to support public health, activate public space, foster economic development, safeguard the use of public property, and provide flexibility for current trends and future demands for outdoor dining.
- B. Outdoor Dining – General: Outdoor dining is permitted immediately adjacent to the principal use, subject to review by the Planning Board, or by the Planning Division at the discretion of the Planning Director, and the following conditions
  - 1. All outdoor activity must cease at the close of business or as noted in subsection 2 below.
  - 2. When an outdoor dining patio is immediately adjacent to any single-family or multiple-family zoned residential district, all outdoor activity must cease at the close of business or 10:00 p.m., whichever is earlier.
  - 3. The review of outdoor dining patios shall include, but are not limited to, the following elements: tables, chairs, umbrellas, portable heating elements, barriers, service stations, landscaping/plantings, awnings, canopies, lighting, host/hostess stands, and entertainment.
  - 4. Outdoor dining may be permitted on public property throughout the year with a valid Outdoor Dining License, provided that the following conditions are met:
    - i. Approval of an Outdoor Dining License shall be contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
    - ii. Operators of outdoor dining patios shall be responsible for snow and ice removal, and shall remove of such in a manner consistent with that of the Department of Public Services.
    - iii. Portable patio elements such as tables, chairs, heaters and umbrellas must be stored indoors each night between December 1 and March 1 to allow for complete snow and ice removal.
    - iv. An ADA compliant platform may be erected in the on-street parking space(s) in front of an eating establishment to create an outdoor dining patio from April 1 through November 1, subject to a review by the Advisory Parking Committee.
  - 5. All outdoor patios shall be designed to meet the requirements of this section, as well as all applicable building and fire codes.
- C. Outdoor Dining – Design: All outdoor dining patios are subject to the following design standards:



1. All tables and chairs provided in the outdoor dining patio shall be constructed primarily of metal, wood, or a material of comparable quality as determined by the Planning Board.
2. Outdoor dining patios shall provide and service refuse containers within the outdoor dining patio and maintain the area in good order.
3. Outdoor dining patios shall not contain enclosures as defined in Article 9, Section 9.02 of the Zoning Ordinance.
4. In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 6 ft.
5. No such facility shall erect or install permanent fixtures in the public right-of-way.
6. Table umbrellas or other overhead weather protection shall not (1) impede sight lines into a retail establishment, (2) obstruct pedestrian flow in the outdoor dining area, (3) obstruct pedestrian or vehicular traffic flow outside the outdoor dining area, or (4) contain signage or advertising.
7. Barriers defining outdoor patios shall be constructed of a quality and durable material, and shall be maintained and placed in a consistent and organized fashion. Barriers shall be secured to the ground and/or building to maintain an immovable, clearly defined patio space. Barriers may not exceed 42 inches in height with the exception of planting material.
8. Windbreaks are permitted within outdoor dining patios and shall be affixed to a barrier. The total combined height of a barrier and windbreak shall not exceed 60 inches. Windbreaks must be constructed of a clear and durable material.
9. Portable heating elements must be maintained and kept in an orderly fashion. Propane or other fuels may not be stored on public property, and are subject to the Storage and Display Standards outlined in Article 4, Section 4.67 of the Zoning Ordinance.
10. Ancillary elements such as service stations or host/hostess stands must be located within the approved outdoor dining patio, contained, and kept in a neat and orderly fashion. Service stations and host/hostess stands may not exceed 4 feet in height. The storage of dirty dishware is prohibited.

## **Article 9, Section 9.02 – Definitions**

**Enclosure (outdoor dining):** An area that may or may not contain a roof and as few as one wall, panel, or material that provides relief from weather and impedes physical and/or visual access to the space. For the purposes of this definition, enclosure does not include exterior building walls, windbreaks or landscaping.

**Outdoor Dining Patio:** A defined outdoor area accessory to an existing food and drink establishment designated for consumption of food and/or drink prepared within the establishment and subject to the provisions of this ordinance.

**Permanent Fixture (outdoor dining):** Any element within an outdoor dining patio containing a foundation or other rigid attachment that prevents removal or that which requires extensive modifications to the public right-of-way.



## MEMORANDUM

Planning Division

**DATE:** December 8, 2021

**TO:** Planning Board

**FROM:** Nicholas Dupuis, City Planner

**SUBJECT:** Outdoor Dining Ordinance – Study Session #6

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- Review photos of the variety of temporary outdoor dining structures that were used around the City;
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- Maintain the current seating allowances for differently-sized establishments and maintain the differences for establishments holding different kinds of licenses for alcoholic beverage service; and,
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### **Study Session #1 Summary**

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#### **Study Session #5 Summary**

#### **Study Session #6**

## **Article 4, Section 4.44 – Outdoor Dining Standards**

This Outdoor Dining Standards section applies to the following districts:

**B1 B2 B2B B2C B3 B4 MX O1 O2 TZ3**

The following outdoor dining standards apply:

- A. Purpose and Intent: The purpose of this section is to provide an appropriate balance for outdoor dining patios across the city, and to encourage better spaces to support public health, activate public space, foster economic development, safeguard the use of public property, and provide flexibility for current trends and future demands for outdoor dining.
- B. Outdoor Dining – General: Outdoor dining is permitted immediately adjacent to the principal use, subject to review by the Planning Board, or by the Planning Division at the discretion of the Planning Director, and the following conditions
  - 1. All outdoor activity must cease at the close of business or as noted in subsection 2 below.
  - 2. When an outdoor dining patio is immediately adjacent to any single-family or multiple-family zoned residential district, all outdoor activity must cease at the close of business or 10:00 p.m., whichever is earlier.
  - 3. The review of outdoor dining patios shall include, but are not limited to, the following elements: tables, chairs, umbrellas, portable heating elements, barriers, service stations, landscaping/plantings, awnings, canopies, lighting, host/hostess stands, and entertainment.
  - 4. Outdoor dining may be permitted on public property throughout the year with a valid Outdoor Dining License, provided that the following conditions are met:
    - i. Approval of an Outdoor Dining License shall be contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
    - ii. Operators of outdoor dining patios shall be responsible for snow and ice removal, and shall remove of such in a manner consistent with that of the Department of Public Services.
    - iii. Portable patio elements such as tables, chairs, heaters and umbrellas must be stored indoors each night between December 1 and March 1 to allow for complete snow and ice removal.
    - iv. An ADA compliant platform may be erected in the on-street parking space(s) in front of an eating establishment to create an outdoor dining patio from April 1 through November 1, subject to a review by the Advisory Parking Committee.
  - 5. All outdoor patios shall be designed to meet the requirements of this section, as well as all applicable building and fire codes.
- C. Outdoor Dining – Design: All outdoor dining patios are subject to the following design standards:

1. All tables and chairs provided in the outdoor dining patio shall be constructed primarily of metal, wood, or a material of comparable quality as determined by the Planning Board.
2. Outdoor dining patios shall provide and service refuse containers within the outdoor dining patio and maintain the area in good order.
3. Outdoor dining patios shall not contain enclosures as defined in Article 9, Section 9.02 of the Zoning Ordinance.
4. In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 6 ft.
5. No such facility shall erect or install permanent fixtures in the public right-of-way.
6. Table umbrellas or other overhead weather protection shall not (1) impede sight lines into a retail establishment, (2) obstruct pedestrian flow in the outdoor dining area, (3) obstruct pedestrian or vehicular traffic flow outside the outdoor dining area, or (4) contain signage or advertising.
7. Barriers defining outdoor patios shall be constructed of a quality and durable material, and shall be maintained and placed in a consistent and organized fashion. Barriers shall be secured to the ground and/or building to maintain an immovable, clearly defined patio space. Barriers may not exceed 42 inches in height with the exception of planting material.
8. Windbreaks are permitted within outdoor dining patios and shall be affixed to a barrier. The total combined height of a barrier and windbreak shall not exceed 60 inches. Windbreaks must be constructed of a clear and durable material.
9. Portable heating elements must be maintained and kept in an orderly fashion. Propane or other fuels may not be stored on public property, and are subject to the Storage and Display Standards outlined in Article 4, Section 4.67 of the Zoning Ordinance.
10. Ancillary elements such as service stations or host/hostess stands must be located within the approved outdoor dining patio, contained, and kept in a neat and orderly fashion. Service stations and host/hostess stands may not exceed 4 feet in height. The storage of dirty dishware is prohibited.

## **Article 9, Section 9.02 – Definitions**

**Enclosure (outdoor dining):** An area that may or may not contain a roof and as few as one wall, panel, or material that provides relief from weather and impedes physical and/or visual access to the space. For the purposes of this definition, enclosure does not include exterior building walls, windbreaks or landscaping.

**Outdoor Dining Patio:** A defined outdoor area accessory to an existing food and drink establishment designated for consumption of food and/or drink prepared within the establishment and subject to the provisions of this ordinance.

**Permanent Fixture (outdoor dining):** Any element within an outdoor dining patio containing a foundation or other rigid attachment that prevents removal or that which requires extensive modifications to the public right-of-way.



## MEMORANDUM

Planning Division

**DATE:** September 23<sup>rd</sup>, 2021

**TO:** Planning Board

**FROM:** Nicholas Dupuis, City Planner

**SUBJECT:** Outdoor Dining Ordinance – Study Session #4

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On December 7, 2020, the City Commission discussed amending the Zoning Ordinance to consider allowing the enclosure of outdoor dining areas during the winter months. The City Commission asked the Planning Board to consider this issue, and any regulations they may recommend should outdoor dining enclosures be permitted.

On June 21<sup>st</sup>, 2021, the City Commission and Planning Board met at a joint meeting to further discuss outdoor dining, and to get a clear direction as to what elements of outdoor dining should be addressed. In general, the City Commission and Planning Board discussed several topics spanning from enclosures to private vs. public space, but ultimately asked the Planning Board to take a comprehensive look at the entire outdoor dining ordinance.

On June 23<sup>rd</sup>, 2021, the Planning Board discussed outdoor dining in further detail based on the joint meeting two days prior. The Planning Board settled on a list of goals that they would like to focus on in the ordinance review process, which includes the following:

- Incentivize outdoor off-season dining;
- Review the placement of decks and enclosures;
- Ensure that additional outdoor off-season dining does not become an extension of the indoor space;
- Solicit feedback from restaurateurs of all types in the City;
- Seek possible ideas from local, national and international examples;
- Review the current ordinance for issues;
- Review tickets that were given out to temporary outdoor dining operations;
- Review photos of the variety of temporary outdoor dining structures that were used around the City;
- Explore options for maintaining permanent aspects of outdoor dining structures even if the parts of the structures come down in different seasons;
- Discuss potential differences in policy for outdoor dining on public versus private property;
- Solicit feedback from Public Services and the BSD;



- Review agreements from temporary outdoor dining to see if any of the temporary policies might be worth integrating;
- Consider aspects like sidewalk widths and snow clearing in writing the policy;
- Maintain the current seating allowances for differently-sized establishments and maintain the differences for establishments holding different kinds of licenses for alcoholic beverage service; and,
- Recommend a permanent solution so that restaurateurs do not have to continue to adapt to changing policies.

### **Study Session #1 Summary**

On July 14<sup>th</sup>, 2021, the Planning Board reviewed a high-level report on outdoor dining to guide future discussion. The topics included observations as to what constitutes “good” outdoor dining with national and local examples, as well as a local ordinance review for outdoor dining. The Planning Board discussed next steps and emphasized the need to (1) hear from different City Departments (code issues, retail neighbor conflicts, streetscape), (2) review available codes and ordinances from other areas of the country (enclosures, public vs. private, year-round), and (3) analyze information from national downtown associations or other related organizations (trends, social districts, success stories).

### **Study Session #2 Summary**

On August 11<sup>th</sup>, 2021, the Planning Board reviewed another high-level report in which the Planning Division presented various departmental comments on outdoor dining, a national outdoor dining ordinance review, conversations with local cities, and a study of national organization input and trends. The Planning Division also provided some public feedback from Engage Birmingham, which surveyed the public for their opinion of the COVID-19 temporary outdoor dining expansions, which were overwhelmingly positive. Moving forward, the Planning Board expressed interest in getting into more detail on seasonal/year round dining and its effect on street activation, public versus public space, the potential for regulating different restaurants/licenses differently, and defining and establishing a purpose of outdoor dining in the City.

### **Study Session #3 Summary**

On September 9<sup>th</sup>, the Planning Board discussed the report which contained comments from the Advisory Parking Committee, common issues with outdoor dining patios, information on the temporary COVID-19 patios, and also discussed the purpose of outdoor dining. In addition, the Planning Board was able to review an example of how the outdoor dining ordinance could look based on comments up to that point. Ultimately, the conversation started to get more granular with specific ordinance-related ideas ranging from an official stance on enclosures to material guidelines to patio placement. There were several other requests for information including a review of Michigan Liquor Control Commission guidelines for outdoor dining, a review of the concept of windbreak versus wall, and the possibility of regulating outdoor dining by zones.

## Study Session #4

### Michigan Liquor Control Commission (MLCC)

In conversations regarding enclosures, it was suggested that the Planning Board review the MLCC rules for enclosures so that the ordinance language amendments do not conflict or confuse outdoor dining patio operators who would have to then juggle two separate rules. At this time, it appears as though the MLCC rules regarding outdoor patios are simple:

R 436.1419 - Outdoor service without approval prohibited; requirements for outdoor service if approval is granted.

- (1) An on-premises licensee shall not have outdoor service without the prior written approval of the commission.
- (2) If approval for outdoor service is granted, then the on-premises licensee shall ensure that the outdoor service area is well-defined and clearly marked and the on-premises licensee shall not sell, or allow the consumption of, alcoholic liquor outdoors, except in the defined area.
- (3) The commission may issue up to 12 daily temporary outdoor service permits to a licensee each calendar year upon written request of the licensee and approval of the chief law enforcement officer who has jurisdiction.

It is clear that the Planning Board would do well to include that language in new ordinance language, but also be safe to define enclosures as they see fit.

### Windbreak versus Wall

As the Planning Board has decided their approach to outdoor dining will *not* include allowing enclosures, the board did express interest in exploring some options for relief from wind. Windbreak is generally defined as “a thing, such as a row of trees or a fence, wall, or screen, that provides shelter or protection from the wind.” At this point, it is also helpful to review definitions for a couple of other concepts:

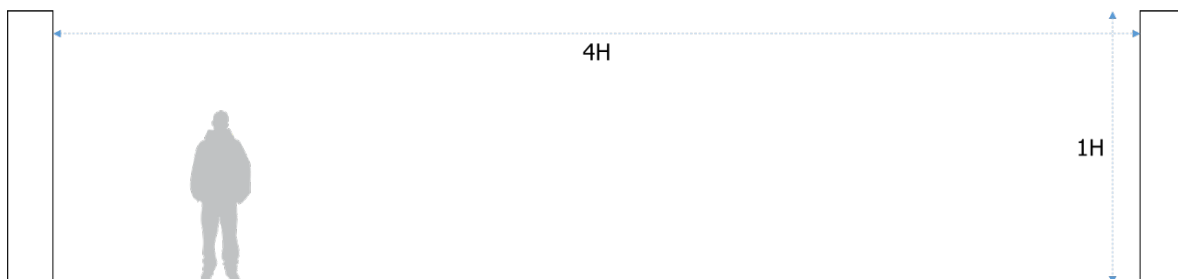
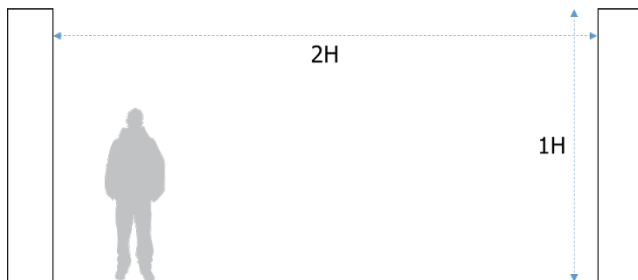
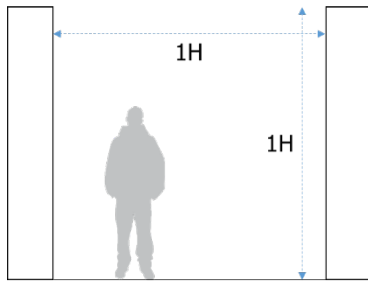
- **Wall:** Structural element used to divide or enclose, and, in building construction, to form the periphery of a room or a building. ([Britannica](#))
- **Room:** A part of the inside of a building that is separated from other parts by walls, floor, and ceiling. ([Cambridge](#))
- **Building:** Any structure having a roof, including but not limited to tents, awning, carports, and such devices as house trailers, which have a primary function other than being a means of conveyance. ([Article 9, Section 9.02](#))

As the Planning Division understood the conversation at the Planning Board, there seems to be a line where a windbreak could become something closer to a wall, and the Planning Board is interested in discussing what that point may be. To help guide that conversation, the Planning Division considered the following:

### Degree of Enclosure

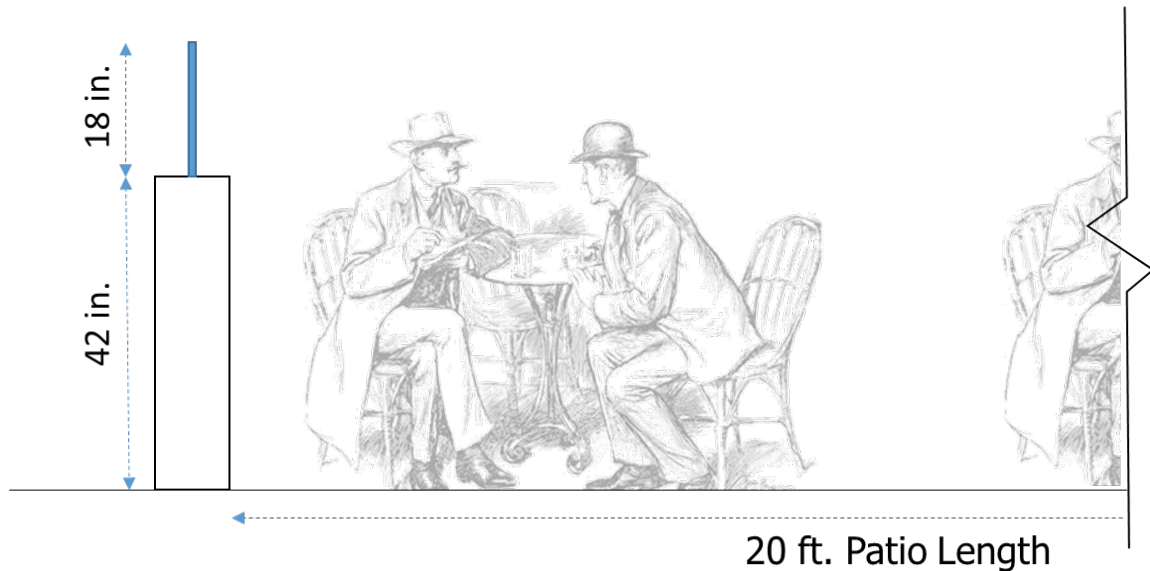
The concept of [degree of enclosure](#) is an urban design principle that revolves around a person's perception of enclosure within a space, which is based on a horizontal to vertical ratio. In general, the principle suggests that a person begins to perceive a sense of enclosure at a 3:1 ratio, and

more of a sense of enclosure as that ratio decreases. Ratios of 4:1 or greater generate no sense of enclosure.

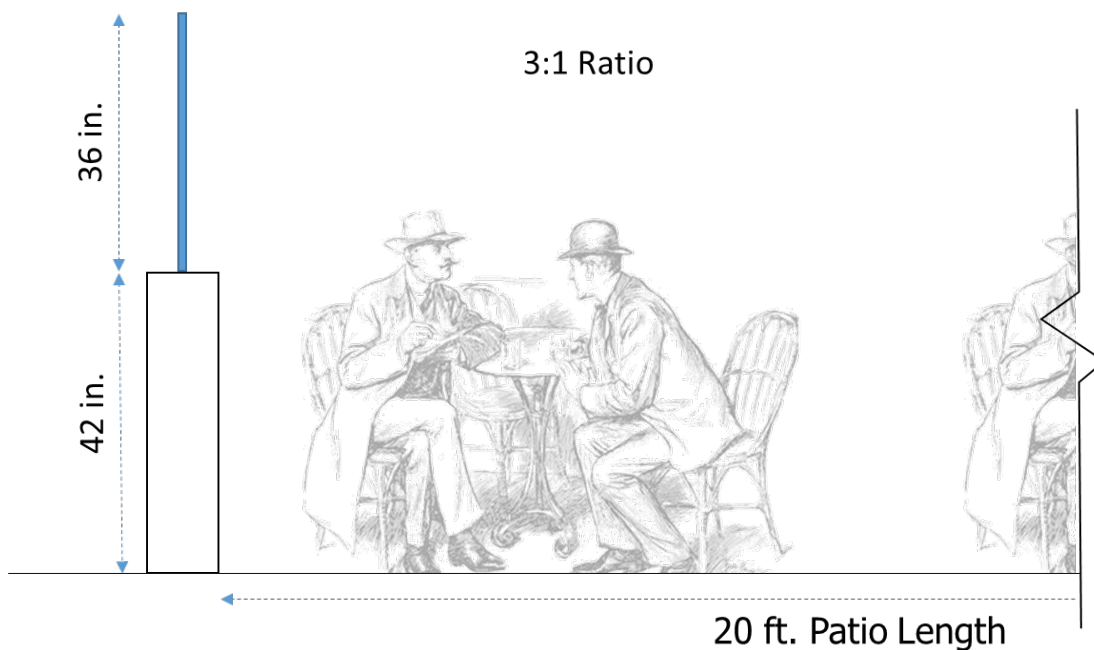


Could this concept be transposed and used to determine the appropriate height for a windbreak in an outdoor dining patio? For example, using the 4:1 ratio in an outdoor dining patio that measures 20 ft. in length (the typical length of a platform in the right-of-way), a barrier with a wind break would be permitted at no greater than 5 ft. (60 in.). A barrier with windbreak for the same 20 ft. patio at a 3:1 ratio would permit a roughly 6 ft. 6 in. (78 in.) barrier and windbreak. The following drawings were created under the assumption that the patio barrier would be 42 in. tall as currently permitted under the Zoning Ordinance:

#### 4:1 Ratio

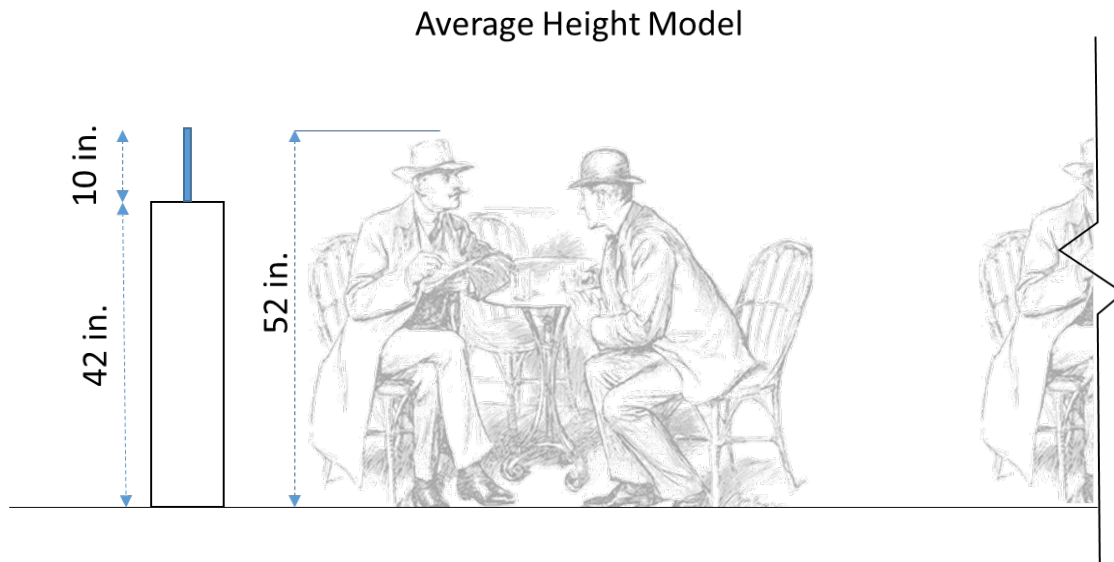


#### 3:1 Ratio



### Average Height

Alternatively, if a more standard height is preferred based on the ease and consistency of review and enforcement, the Planning Board could consider the average height of Americans. According to the [Center for Disease Control](#), the average height of a male is 5 ft. 9 in. (69 in.), while the average height for a female is 5 ft. 4 in. (64 in.) An analysis of the seat height of 10 different outdoor patio chairs yielded an average seat height of 17.5 in. Using a simple proportion of 50/50 for the average human, we can assume that we should consider 50% of a person's height in determining the overall height of a person sitting in a chair. Using these figures, the average male should measure around 52 in. tall while sitting, and the average female would measure 49.5 in. tall while sitting.



Interestingly enough, if the Planning Board were to account for different seat and person height, the windbreak could be close in height to the 4:1 ratio model presented above.

In addition to height, the Planning Board was also interested in what typed of materials to consider for windbreaks. Based on research, different materials for windbreaks could include glass/plastic, landscaping, screens, wood, metal or canvas/cloth. However, the most common windbreaks observed in outdoor dining patios appear to be glass/plastic:













**Outdoor Dining Regulations by Zoning District**

At this time, outdoor dining is permitted in all business and office zones within the city (B1, B2, B2B, B2C, B3, B4, O1, O2, MX) as well as the TZ3 transitional zone. Out of the 43 establishments with outdoor dining, 64% are located within the B4 zoning district, while the next highest share is located in O2 at 14%.

Please see attached maps for reference.

**Draft Ordinance Language**

*(See next page)*

## **Article 4, Section 4.44 – Outdoor Dining Standards**

This Outdoor Dining Standards section applies to the following districts:

**B1 B2 B2B B2C B3 B4 MX O1 O2 TZ3**

The following outdoor dining standards apply:

- A. Purpose and Intent: The purpose of this section is to provide an appropriate balance for outdoor dining patios across the city, and to encourage better spaces to support public health, activate public space, foster economic development, safeguard the use of public property, and provide flexibility for current trends and future demands for outdoor dining.
- B. Outdoor Dining – General: Outdoor dining is permitted immediately adjacent to the principal use, subject to review by the Planning Board, or by the Planning Division at the discretion of the Planning Director, and the following conditions
  - 1. All outdoor activity must cease at the close of business or as noted in subsection 3 below.
  - 2. When an outdoor dining patio is immediately adjacent to any single-family or multiple-family zoned residential district, all outdoor activity must cease at the close of business or 10:00 p.m., whichever is earlier.
  - 3. The review of outdoor dining patios shall include, but are not limited to, the following elements: tables, chairs, umbrellas, portable heating elements, barriers, service stations, landscaping/plantings, awnings, canopies, lighting, host/hostess stands, and entertainment.
  - 4. Outdoor dining may be permitted on public property throughout the year with a valid Outdoor Dining License, provided that the following conditions are met:
    - i. Approval of an Outdoor Dining License shall be contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
    - ii. Operators of outdoor dining patios shall be responsible for snow and ice removal, and shall remove of such in a manner consistent with that of the Department of Public Services.
    - iii. Portable patio elements such as tables, chairs, heaters and umbrellas must be stored indoors each night between December 1 and March 1 to allow for complete snow and ice removal.
    - iv. An ADA compliant platform may be erected in the on-street parking space(s) in front of an eating establishment to create an outdoor dining patio from April 1 through November 1, subject to a review by the Advisory Parking Committee.
  - 5. All outdoor patios shall be designed to meet the requirements of this section, as well as all applicable building and fire codes.
- C. Outdoor Dining – Design: All outdoor dining patios are subject to the following design standards:

1. All tables and chairs provided in the outdoor dining patio shall be constructed primarily of metal, wood, or a material of comparable quality as determined by the Planning Board.
2. Outdoor dining patios shall provide and service refuse containers within the outdoor dining patio and maintain the area in good order.
3. Outdoor dining patios shall not contain enclosures as defined in Article 9, Section 9.02 of the Zoning Ordinance.
4. In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 6 ft.
5. No such facility shall erect or install permanent fixtures in the public right-of-way.
6. Table umbrellas or other freestanding overhead weather protection shall not (1) impede sight lines into a retail establishment, (2) obstruct pedestrian flow in the outdoor dining area, (3) obstruct pedestrian or vehicular traffic flow outside the outdoor dining area, or (4) contain signage or advertising.
7. Barriers defining outdoor patios shall be constructed of a quality and durable material, and shall be maintained and placed in a consistent and organized fashion. Barriers shall be secured to the ground and/or building to maintain an immovable, clearly defined patio space. Barriers may not exceed 42 inches in height with the exception of planting material.
8. Windbreaks are permitted within outdoor dining patios and shall not exceed 60 inches in height and must be constructed of a clear material. Windbreaks placed atop a barrier shall not exceed 18 in. in height.
9. Portable heating elements must be maintained and kept in an orderly fashion. Propane or other fuels may not be stored on public property, and are subject to the Storage and Display Standards outlined in Article 4, Section 4.67 of the Zoning Ordinance.
10. Ancillary elements such as service stations or host/hostess stands must be located within the approved outdoor dining patio, contained, and kept in a neat and orderly fashion. Service stations and host/hostess stands may not exceed 4 feet in height. The storage of dirty dishware is prohibited.

#### **Article 9, Section 9.02 – Definitions**

**Enclosure (outdoor dining):** An area that may or may not contain a roof and as few as one wall, panel, or material that provides relief from weather and impedes physical and/or visual access to the space. For the purposes of this definition, enclosure does not include exterior building walls, windbreaks or landscaping.

**Outdoor Dining Patio:** A defined outdoor area accessory to an existing food and drink establishment designated for consumption of food and/or drink prepared within the establishment and subject to the provisions of this ordinance.

**Permanent Fixture (outdoor dining):** Any element within an outdoor dining patio containing a foundation or other rigid attachment that prevents removal or that which requires extensive modifications to the public right-of-way.



## MEMORANDUM

Planning Division

**DATE:** September 9<sup>th</sup>, 2021

**TO:** Planning Board

**FROM:** Nicholas Dupuis, City Planner

**SUBJECT:** Outdoor Dining Ordinance – Study Session #3

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On December 7, 2020, the City Commission discussed amending the Zoning Ordinance to consider allowing the enclosure of outdoor dining areas during the winter months. The City Commission asked the Planning Board to consider this issue, and any regulations they may recommend should outdoor dining enclosures be permitted.

On June 21<sup>st</sup>, 2021, the City Commission and Planning Board met at a joint meeting to further discuss outdoor dining, and to get a clear direction as to what elements of outdoor dining should be addressed. In general, the City Commission and Planning Board discussed several topics spanning from enclosures to private vs. public space, but ultimately asked the Planning Board to take a comprehensive look at the entire outdoor dining ordinance.

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- Incentivize outdoor off-season dining;
- Review the placement of decks and enclosures;
- Ensure that additional outdoor off-season dining does not become an extension of the indoor space;
- Solicit feedback from restaurateurs of all types in the City;
- Seek possible ideas from local, national and international examples;
- Review the current ordinance for issues;
- Review tickets that were given out to temporary outdoor dining operations;
- Review photos of the variety of temporary outdoor dining structures that were used around the City;
- Explore options for maintaining permanent aspects of outdoor dining structures even if the parts of the structures come down in different seasons;
- Discuss potential differences in policy for outdoor dining on public versus private property;
- Solicit feedback from Public Services and the BSD;

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- Consider aspects like sidewalk widths and snow clearing in writing the policy;
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- Recommend a permanent solution so that restaurateurs do not have to continue to adapt to changing policies.

### **Study Session #1 Summary**

On July 14<sup>th</sup>, 2021, the Planning Board reviewed a high-level report on outdoor dining to guide future discussion. The topics included observations as to what constitutes “good” outdoor dining with national and local examples, as well as a local ordinance review for outdoor dining. The Planning Board discussed next steps and emphasized the need to (1) hear from different City Departments (code issues, retail neighbor conflicts, streetscape), (2) review available codes and ordinances from other areas of the country (enclosures, public vs. private, year-round), and (3) analyze information from national downtown associations or other related organizations (trends, social districts, success stories).

### **Study Session #2 Summary**

On August 11<sup>th</sup>, 2021, the Planning Board reviewed another high-level report in which the Planning Division presented various departmental comments on outdoor dining, a national outdoor dining ordinance review, conversations with local cities, and a study of national organization input and trends. The Planning Division also provided some public feedback from Engage Birmingham, which surveyed the public for their opinion of the COVID-19 temporary outdoor dining expansions, which were overwhelmingly positive. Moving forward, the Planning Board expressed interest in getting into more detail on seasonal/year round dining and its effect on street activation, public versus public space, the potential for regulating different restaurants/licenses differently, and defining and establishing a purpose of outdoor dining in the City.

### **Study Session #3**

#### **Advisory Parking Committee Comments**

During the August 4<sup>th</sup>, 2021 meeting of the Advisory Parking Committee, the committee expressed an interest in being involved in the process for the current outdoor dining study. The Planning Division brought the issue to the September 1<sup>st</sup>, 2021 meeting to solicit some comments for the Planning Board to consider. Their comments arose from their role in reviewing outdoor dining platforms, and their effect on parking specifically. Their comments may be summarized in the following bullet points:

- Regulating the number of platforms per block.
- Begin the platform review at the APC instead of Planning Board.
- Finding a balance between two desired commodities: outdoor dining and parking.
- Annual review of outdoor dining decks.
- Different uses, different rules.

- Platforms open at all hours of the day to foster activation, avoid empty decks/wasted space.
- The possibility of different outdoor dining districts.

### **Common Ordinance Issues**

During Study Session #2, Planning Board members expressed an interest in reviewing some of the issues that arose during the temporary COVID-19 outdoor dining expansions, and which of the expansions received enforcement for violations of the temporary ordinance. Before reviewing these issues, the Planning Division felt it important to outline some of the more regular and/or routine issues with approved outdoor dining patios that are observed on a day-to-day basis:

- Maintenance of the required 5 ft. minimum clear path.
- Maintaining a valid outdoor dining license.
- Adherence to the approved outdoor dining/site plans.
- Exceeding approved/permitted outdoor dining seat counts.

These four issues come up on a regular basis during the outdoor dining season, but also a typically become a focal point during the annual liquor license review process for those establishments serving alcoholic beverages, which occurs in January/February every year. When it comes to the required 5 ft. minimum clear path, there are a number of variables to consider. For outdoor dining patios with more modular barriers separating the dining patio from the sidewalk, these barrier elements tend to migrate outward more easily, causing issues with pedestrian passage (or in the case of alleys, vehicular passage). Those dining patios that are enclosed with a more rigid barrier such as a fixed metal railing are better suited to maintain the required clear path, but may not offer as many opportunities for beautification/plantings.

In the absence of barriers, tables and chairs also have a tendency to migrate. In some recent reviews for outdoor dining proposals, it was observed that outdoor dining plans often show tables and chairs neat and tucked in without considerations for the space a person takes up after sitting at the table. While a 5 ft. clear path is often shown on the plans as required, reality is often observed to be different. To combat this, the Planning Division is considering either widening the required clear path to 6 ft. or more, or requiring outdoor dining plans to show a buffer around each table to reduce the likelihood of encroachments into the clear path. Finally, it has been noted by the Engineering Division that the exposed aggregate concrete in the streetscape amenity zones throughout Birmingham may not be considered ADA compliant and thus, may not be considered as clear path for the purposes of this ordinance.

The issue of maintaining a valid outdoor dining license also contains many layers. The outdoor dining license is an annual license required for all outdoor dining patios located on public property. The applicant is required to submit the application, as well as complete and sign an Outdoor Café License Agreement outlining their responsibilities in using public property. The Planning Division is currently reviewing the Outdoor Café License Agreement for any potential areas of improvement, but it has been observed over the years that there are often inconsistencies with the information entered by applicants in terms of their tables and chairs, and whether or not any changes have occurred from previous years.

The inconsistencies described above, along with other factors, often result in outdoor dining patios that do not adhere to the approved outdoor dining plans on file within the Planning Division.

Table and chair numbers, umbrellas, heaters, planters, and service stations are often added or changed without any approval from the Planning Division or Planning Board. These types of changes and the requirements for changes to the outdoor patio space is expected to be clarified in new ordinance language.

The deviations from the approved number of tables and chairs can become an issue not only for certain uses who are permitted to have a maximum seat count, but we now know that outdoor seating matters when it comes to the plumbing code and required restroom facilities.

### **Temporary COVID-19 Enforcements**

The temporary COVID-19 outdoor dining expansions offered some new complications on top of what is typically observed in outdoor dining patios. During the pandemic, and through various emergency orders by state and local governments, the Police Department performed regular checks on restaurants to monitor all of the COVID-19 regulations associated with the emergency orders, as well as compliance with the temporary resolution adopted by the City Commission. A full log of checks is attached for your review containing comments from the Police and Fire Departments, as well as the Building Division. When the end date for the temporary resolution came up in June 2021, the Police Department also created a summary presentation for the City Commission with general information on some of the challenges that the City was facing in regards to the temporary patio expansions. Some of the main issues were as follows:

- ADA standards and requirements were compromised.
- Expansions encroached further into sidewalks, yellow curb zones, and streets.
- Expansions impaired access to neighboring retailers.
- Propane heaters and storage of propane tanks posed safety concerns.

These issues, in conjunction with the state of the overall COVID-19 pandemic, were the main drivers in ending the temporary resolution and bringing the City's outdoor dining patios back into compliance with pre-COVID outdoor dining plans. The Police Department presentation is also attached for your review.

In addition, the Fire Department performed an inspection of the temporary outdoor dining expansion and provided some photographs to the Planning Division which are attached to this report. Finally, the Planning Division kept a spreadsheet of which restaurants applied for expansions and recorded data on the outdoor dining conditions on site, which is also attached to this report. In most cases, due to the social distancing requirements, the number of outdoor dining seats pre-COVID and expansion related were comparable. However, the square footage of total outdoor dining space was not.

### **Purpose of Outdoor Dining**

Also discussed at length during Study Session #2 was the need for the Planning Board to consider the purpose of the outdoor dining ordinance, and the potential to codify this purpose within the ordinance language. From an urban planning/urban design perspective, outdoor dining is beneficial in many ways:

- Outdoor dining is trendy, but also a permanent fixture;
- Spending time outdoors is beneficial to overall public health;
- Increased seating options frees up indoor space for the rapid growth in carry-out business;



- Added business fosters economic development;
- Well-designed patios activate public space;
- Outdoor dining offers more options for diners, including pet owners;

A purpose statement for outdoor dining could include any or all of these benefits, as well as general statements regarding the health, safety and welfare of the public. Other areas of our current Zoning Ordinance contain purpose statements, including the following:

- Screening Standards: The purpose of this section is to require a barrier, capable of containing noise, vehicular lights, visual disarray, debris and other factors detrimental to the health, safety and welfare of the community, between an open parking station, outdoor storage, dumpsters and adjacent properties. Flexibility in the materials, size, height and placement of walls is permitted in order to allow architectural harmony and usable open space and to accomplish a unified design.
- Landscaping Standards: Landscaping is an essential part of the design and development of a site. Landscape plantings are a benefit to the environment, public health, air quality, safety, comfort, convenience and general welfare of the community. These standards will result in the reduction of storm water runoff, heat buildup and will filter and reduce glare from car headlights. They may reduce energy costs in structures and will improve the aesthetics of the community.
- Alternative Energy: The purpose and intent of the city is to balance the need for clean and renewable energy resources with the necessity to protect the public health, safety and welfare of the city, as well as to preserve the integrity, character, property values, and aesthetic quality of the community at large.

Below is an example of how the outdoor dining purpose statement could look:

- Outdoor Dining: The purpose of this section is to provide an appropriate balance for outdoor dining patios across the city, and to encourage better spaces to improve public health, activate public space, foster economic development, and provide flexibility for current trends and future demands for outdoor dining.

## **Draft Ordinance Language**

*(See next page)*

## **Article 4, Section 4.44 – Outdoor Dining Standards**

This Outdoor Dining Standards section applies to the following districts:

**B1 B2 B2B B2C B3 B4 MX O1 O2 TZ3**

The following outdoor dining standards apply:

- A. Purpose and Intent: The purpose of this section is to provide an appropriate balance for outdoor dining patios across the city, and to encourage better spaces to improve public health, activate public space, foster economic development, and provide flexibility for current trends and future demands for outdoor dining.
- B. Outdoor Dining – General: Outdoor dining is permitted immediately adjacent to the principal use, subject to review by the Planning Board, or by the Planning Division at the discretion of the Planning Director, and the following conditions
  - 1. Outdoor dining patios shall provide and service refuse containers within the outdoor dining patio and maintain the area in good order.
  - 2. All outdoor activity must cease at the close of business or as noted in subsection 3 below.
  - 3. When an outdoor dining patio is immediately adjacent to any single-family or multiple-family zoned residential district, all outdoor activity must cease at the close of business or 10:00 p.m., whichever is earlier.
  - 4. The review of outdoor dining patios shall include, but are not limited to, the following elements: tables, chairs, umbrellas, portable heating elements, barriers, service stations, landscaping/plantings, awnings, canopies, lighting, host/hostess stands, and entertainment.
  - 5. Outdoor dining patios shall not contain enclosures as defined in Article 9, Section 9.02 of the Zoning Ordinance.
  - 6. All outdoor patios shall be designed to meet the requirements of this section, as well as all applicable building and fire codes.
- C. Outdoor Dining – Public Property: Outdoor dining located on public property such as sidewalks, alleys and passages, and streets, shall be subject to the following requirements:
  - 1. Outdoor dining may be permitted on public property throughout the year with a valid Outdoor Dining License, provided that the following conditions are met:
    - i. Approval of an Outdoor Dining License shall be contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
    - ii. Operators of outdoor dining patios shall be responsible for snow and ice removal, and shall remove of such in a manner consistent with that of the Department of Public Services.
    - iii. Portable patio elements such as tables, chairs, heaters and umbrellas must be stored indoors each night between December 1 and March 1 to allow for complete snow and ice removal.

- iv. An ADA compliant platform may be erected in the on-street parking space(s) in front of an eating establishment to create an outdoor dining patio from April 1 through November 1, subject to a review by the Advisory Parking Committee.

2. Design: Outdoor dining patios located on public property are subject to the following design standards:

- i. All tables and chairs provided in the outdoor dining patio shall be constructed primarily of metal, wood, or a material of comparable quality as determined by the Planning Board.
- ii. In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 6 ft.
- iii. No such facility shall erect or install permanent fixtures in the public right-of-way.
- iv. Table umbrellas or other freestanding overhead weather protection shall not (1) impede sight lines into a retail establishment, (2) obstruct pedestrian flow in the outdoor dining area, (3) obstruct pedestrian or vehicular traffic flow outside the outdoor dining area, or (4) contain signage or advertising.
- v. Barriers delineating outdoor patios shall be constructed of a quality and durable material, and shall be maintained and placed in a consistent and organized fashion. Barriers may not exceed 42 inches in height, with the exception of planting material.
- vi. Portable heating elements must be maintained and kept in an orderly fashion. Propane or other fuels may not be stored on public property, and are subject to the Storage and Display Standards outlined in Article 4, Section 4.67 of the Zoning Ordinance.
- vii. Ancillary elements such as service stations or host/hostess stands must be located within the approved outdoor dining patio, contained, and kept in a neat and orderly fashion. Service stations and host/hostess stands may not exceed 4 feet in height. The storage of dirty dishware is prohibited.

D. Outdoor Dining – Private Property: Outdoor dining located on private property such as general private property, porches, recesses, courtyards decks and rooftops, shall be subject to the following conditions:

1. Design: Outdoor dining patios located on private property are subject to the following design standards:

- i. All tables and chairs provided in the outdoor dining patio shall be constructed primarily of metal, wood, or a material of comparable quality as determined by the Planning Board.
- ii. Table umbrellas or other freestanding overhead weather protection shall not (1) impede sight lines into a retail establishment, (2) obstruct pedestrian flow in the outdoor dining area, (3) obstruct pedestrian or

- vehicular traffic flow outside the outdoor dining area, or (4) contain signage or advertising.
- iii. Barriers delineating outdoor patios shall be constructed of a quality and durable material, and shall be maintained and placed in a consistent and organized fashion. Barriers may not exceed 42 inches in height, with the exception of planting material.
  - iv. Portable heating elements must be maintained and kept in an orderly fashion. The storage of propane or other fuels shall be subject to the Storage and Display Standards outlined in Article 4, Section 4.67 of the Zoning Ordinance.
  - v. Ancillary elements such as service stations or host/hostess stands must be located within the approved outdoor dining patio, contained and kept in an orderly fashion. Service stations and host/hostess stands may not exceed 4 feet in height. The storage of dirty dishware is prohibited.

## **Article 9, Section 9.02 – Definitions**

**Enclosure (outdoor dining):** An area that may or may not contain a roof and as few as one wall, panel, or material that provides relief from weather and impedes physical and/or visual access to the space. For the purposes of this definition, enclosure does not include exterior building walls or landscaping.

**Outdoor Dining Patio:** A defined outdoor area accessory to an existing food and drink establishment designated for consumption of food and/or drink prepared within the restaurant and subject to the provisions of this ordinance.

**Permanent Fixture (outdoor dining):** Any element within an outdoor dining patio containing a foundation or other rigid attachment that prevents removal or that which requires extensive modifications to the public right-of-way.



## MEMORANDUM

Planning Division

**DATE:** August 11<sup>th</sup>, 2021

**TO:** Planning Board

**FROM:** Nicholas Dupuis, City Planner

**SUBJECT:** Outdoor Dining Ordinance – Study Session #2

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On December 7, 2020, the City Commission discussed amending the Zoning Ordinance to consider allowing the enclosure of outdoor dining areas during the winter months. The City Commission asked the Planning Board to consider this issue, and any regulations they may recommend should outdoor dining enclosures be permitted.

On June 21<sup>st</sup>, 2021, the City Commission and Planning Board met at a joint meeting to further discuss outdoor dining, and to get a clear direction as to what elements of outdoor dining should be addressed. In general, the City Commission and Planning Board discussed several topics spanning from enclosures to private vs. public space, but ultimately asked the Planning Board to take a comprehensive look at the entire outdoor dining ordinance.

On June 23<sup>rd</sup>, 2021, the Planning Board discussed outdoor dining in further detail based on the joint meeting two days prior. The Planning Board settled on a list of goals that they would like to focus on in the ordinance review process, which includes the following:

- Incentivize outdoor off-season dining;
- Review the placement of decks and enclosures;
- Ensure that additional outdoor off-season dining does not become an extension of the indoor space;
- Solicit feedback from restaurateurs of all types in the City;
- Seek possible ideas from local, national and international examples;
- Review the current ordinance for issues;
- Review tickets that were given out to temporary outdoor dining operations;
- Review photos of the variety of temporary outdoor dining structures that were used around the City;
- Explore options for maintaining permanent aspects of outdoor dining structures even if the parts of the structures come down in different seasons;
- Discuss potential differences in policy for outdoor dining on public versus private property;
- Solicit feedback from Public Services and the BSD;

- Review agreements from temporary outdoor dining to see if any of the temporary policies might be worth integrating;
- Consider aspects like sidewalk widths and snow clearing in writing the policy;
- Maintain the current seating allowances for differently-sized establishments and maintain the differences for establishments holding different kinds of licenses for alcoholic beverage service; and,
- Recommend a permanent solution so that restaurateurs do not have to continue to adapt to changing policies.

### **Study Session #1 Summary**

On July 14<sup>th</sup>, 2021, the Planning Board reviewed a high-level report on outdoor dining to guide future discussion. The topics included observations as to what constitutes “good” outdoor dining with national and local examples, as well as a local ordinance review for outdoor dining. The Planning Board discussed next steps and emphasized the need to (1) hear from different City Departments (code issues, retail neighbor conflicts, streetscape), (2) review available codes and ordinances from other areas of the country (enclosures, public vs. private, year-round), and (3) analyze information from national downtown associations or other related organizations (trends, social districts, success stories).

### **Study Session #2**

#### **Departmental Comments**

Initially, the Planning Board requested that staff solicit comments from the Department of Public Services (DPS) and Birmingham Shopping District (BSD) regarding outdoor dining and its different aspects from their point of view. From the Department of Public Services, any issues surrounding snow removal, streetscape maintenance, or other relevant issues observed from DPS were topics of interest. As for the BSD, the Planning Board wanted to determine if expanded outdoor dining had any impact on neighboring, non-restaurant retail uses...positive or negative. During the discussion at the first study session, the Planning Board requested to include the Building Division, Fire Department, Police Department and Engineering Division for comments pertaining to their professions and expertise. Full comments from each department are attached.

- **Department of Public Services**

In general, the Department of Public Services has some issues with snow removal and streetscape maintenance. They noted that although the plows have managed to get by without major incident thus far, snow and ice accumulates in the hard-to-reach areas, which necessitates more salt and more maintenance to mitigate the hazard. In addition, although private businesses are responsible for clearing their own platforms or dining areas, the snow is often placed right back into the street or sidewalk, which creates more of the same conditions noted above. As far as streetscape maintenance, DPS notes that tree pruning/trimming becomes challenging while working around platforms and patios, and these dining areas often get in the way of other streetscape programs such as hanging baskets, tree lighting, and possibly even landscaping beds in the future.

- **Birmingham Shopping District**

The Birmingham Shopping District will make this a discussion item at their Board meeting in September. Comments will be provided to the Planning Board thereafter.

- **Engineering Division**

The Engineering Division provided important comments relating to stormwater, infrastructure elements such as fire hydrants, manhole covers, drains, and catch basins, and patio placement. For dining platforms specifically, Engineering requires a channel between the curb and the deck structure for the passage of stormwater during rain events. Large rain events like those we have experienced recently (and will continue to experience) may exacerbate any issues with drainage and the placement of storm sewers and other infrastructure. Furthermore, they indicate that these patios should have provisions in place for emergency events such as water/sewer main repairs. As far as patio placement, Engineering noted that a 5 ft. clear path should be maintained, but also explained that traffic lanes should not be impeded for larger vehicles such as emergency vehicles and busses, and that sign lines may be impacted by dining patios.

- **Building Division**

As far as Building Division comments go, they note that much of the outdoor dining elements, from patios to enclosures/coverings, must be built to the standards of the Michigan Building Code. In addition, the Building Division outlined some issues with encroachment into the pedestrian path of umbrellas, tents, awnings etc. as well as important points about the Michigan Plumbing Code and employee use of the pedestrian clear path.

- **Police Department**

The Police Department has indicated that they do not have many issues with outdoor dining, nor concerns about any changes at this time. There has been no loss of revenue from the parking meters for outdoor dining platforms, as the owners of the platforms pay a fee to cover the costs. Additionally, they have not considered the loss of parking spaces as an issue at this time.

- **Fire Department**

The Fire Department comments revolved heavily around heating elements, structures/coverings, and access for emergencies. When it came to portable outdoor heating elements, there are a laundry list of requirements that must be followed to meet the Fire Codes. These regulations include the size and storage of fuel tanks, clearance, and safety devices such as fire extinguishers and carbon monoxide detectors. In terms of structures/coverings, the Fire Department requires flame retardant certificates regardless of the presence of heating elements. For those structures attached to buildings, the Fire Department may require the facility to contain fire suppression.

## **National Ordinance Review**

The Planning Board expressed interest in finding out what other areas of the country may have ordinance wise. These areas include the Midwest and east coast, but also other areas with weather conditions that may necessitate unique outdoor dining solutions such as Colorado, Seattle, and warm weather cities. Several cities and the relevant facets of their Zoning Ordinances are provided below. In general it appears that most all cities require review of outdoor dining



proposals on both private and public space. Full enclosures of outdoor dining do not appear to be permitted on public space in any city reviewed.

- [Elmwood Park, IL](#) (Chicago Area)
  - Parking requirements for outdoor dining which requires the greater of one parking space for every two seats or 3.5 parking spaces per 100 square feet of indoor and outdoor dining area.
- [Highland Park, IL](#) (Chicago Area)
  - Table and chair limits determined by City Manager.
  - Temporary barrier required to keep tables and chairs from migrating into the requires 5 ft. clear path.
  - Tables and chairs removed every night.
- [Oak Brook, IL](#) (Chicago Area)
  - No live entertainment.
  - 5 ft. pedestrian path.
- [Columbus, OH](#)
  - "Outdoor patio" means an outdoor area, open to the air at all times, that is either: enclosed by a roof or other overhead covering and not more than two walls or other side coverings; or has no roof or other overhead covering at all regardless of the number of walls or other side coverings.
  - Parking is required for dining patios at a rate of 50% of ratio required for primary structure.
- [Edina, MN](#) (Minneapolis Area)
  - The patio shall not be enclosed in such a manner that the space becomes an indoor area.
  - Patio screening may be required if the premises is adjacent to a residential district.
- [Fishers, IN](#) (Indianapolis Area)
  - Outdoor dining areas shall be adjacent to their tenant space.
- [Columbia, MO](#) (St. Louis Area)
  - Outdoor patio plan with requirements to include any existing light poles, sidewalk grates, parking meters, or other facilities located in the right-of-way.
  - Any tables, chairs, posts, cordons or other furniture be portable and not fastened or affixed to or over the public sidewalk unless the owner has obtained right-of-use approval from the city council.
- [Arvada, CO](#) (Denver Area)
  - Outdoor dining areas shall not be located within 100 feet of a residential zoning district.
  - Outdoor dining areas are allowed and shall be set back as required for the principal building. Outdoor dining on public property permitted within specific district.
- [Golden, CO](#) (Denver Area)

- Portable seating, movable chairs, tables for cafes and other furniture should be of substantial materials; preferably metal or wood rather than plastic.
- Permanent outdoor seating is recommended in and along all publicly-accessible pathways and spaces.

### **Local Strategies**

Staff reviewed Ordinance requirements for local cities including Royal Oak, Rochester, Ferndale, Berkley, Northville, and Plymouth for the way outdoor dining was handled prior to the Covid-19 pandemic. The Planning Division was also able to speak with staff or an elected official from each of the localities. All cities mentioned above require board review and approval for restaurants proposing outdoor dining on private and/or public space. The only City that allows restaurants to rent an on-street parking space for outdoor dining is Northville. Full enclosures for outdoor dining on public property are not allowed in any of the cities mentioned. Rochester and Ferndale said they would allow a restaurant to have an enclosure such as a tent, igloo, or greenhouse on private property. Examples of private outdoor enclosures in Ferndale include igloos at Detroit Fleet and a tent on Rosie O'Grady's patio. Enclosure material on private space is not tightly regulated. The Planning Director of Berkley indicated full enclosures were not permitted on private property. In regards to placement, the outdoor dining on public property for all cities mentioned is required to stay within the frontage lines of the business, it may not extend in front of neighboring properties.

As in Birmingham, a number of Ordinance regulations mentioned above for outdoor dining were relaxed in a temporary resolution during the Covid-19 pandemic. All of the cities experimented with outdoor dining for on-street parking spaces and some allowed enclosures for outdoor dining on public sidewalks and/or streets. A number of the resolutions were extended into winter time 2021-2022 for the sampled cities and will be reviewed for what to extend, what to get rid of, and what to keep indefinitely.

### **Downtown/Restaurant Organizations**

The Planning Division looked to various national and local associations or organizations that could potentially provide some information on trends and happenings within national or local communities that may help guide discussions regarding outdoor dining in Birmingham. It is worth noting that in recent news, blogs or publications from these groups, it was difficult to separate outdoor dining and the COVID-19 pandemic. However, the Planning Board did indicate that they wish to discuss the temporary COVID-19 outdoor dining expansions that were built in Birmingham. Additionally, Engage Birmingham survey results (attached) appeared to indicate that many residents and business owners in Birmingham were supportive of the various expansions and/or enclosures that were erected in the City.

- **[Michigan Downtown Association](#)**

The Michigan Downtown Association has also provided some opinions on outdoor dining as an attraction for a downtown. In a 2021 article about [creative ways to bring residents downtown this summer and boost economic growth](#), it was noted that the Michigan Economic Development Corporation has supported outdoor dining expansion efforts across the state through Match on Main funding. Restaurants have seen the value of a quality outdoor dining space and have been investing in such to use into the future, and potentially year-round.

- **[Main Street America](#)**

Main Street America is an organization “committed to strengthening communities through preservation-based economic development in older and historic downtowns and neighborhood commercial districts.” Digging into their website, the Planning Division found an interesting article based on a 2021 Main Street Forward Award Winner in the Argenta District in North Little Rock, Arkansas. The award was given based on the efforts to create the Argenta Outdoor Dining District, a designated outdoor seating area that has helped local restaurants stay in business despite the pandemic. Although created for the pandemic, the district has plans underway to reopen in the spring. “Given its success, city leaders want to keep the district going even after the pandemic recedes, and Argenta’s restaurants are inspired to continue regular meetings to ensure the neighborhood’s future as a culinary destination.”

- **[National Restaurant Association](#)**

In general, the National Restaurant Association is an important resource in understanding trends and data regarding the restaurant industry. In reading through two documents, “2021 Restaurant Trends” and “Restaurant Industry 2030” (both attached), it was apparent that this particular group do not appear to be overly concerned about outdoor dining. Interestingly enough, this group found that restaurants would need to dedicate more space and capitol to *off-premise consumption* (i.e. takeout) as opposed to on premise indoor or outdoor dining. Additionally, when it comes to weather volatility, the group is finding that the concern lies in supply chains and food costs as opposed to protecting diners with coverings or enclosures.

- **[Independent Restaurant Coalition](#)**

The Independent Restaurant Coalition was created to “provide a strong, unified voice on legislative, regulatory, and policy issues that affect the restaurant industry; and provide advocacy, advice, networking and information to members.” In obtaining data from this group (attached), it is clear that the restaurant industry is an important industry that has unique struggles when it comes to situations like the pandemic. Restaurants and bars have large economic impacts in business and job creation, which could benefit from new outdoor dining regulations that could possibly expand outdoor dining, or add more comfort to outdoor dining patios.



## MEMORANDUM

Planning Division

**DATE:** July 14<sup>th</sup>, 2021

**TO:** Planning Board

**FROM:** Nicholas Dupuis, City Planner

**SUBJECT:** Outdoor Dining Ordinance – Study Session #1

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On December 7, 2020, the City Commission discussed amending the Zoning Ordinance to consider allowing the enclosure of outdoor dining areas during the winter months. The City Commission asked the Planning Board to consider this issue, and any regulations they may recommend should outdoor dining enclosures be permitted.

On June 21<sup>st</sup>, 2021, the City Commission and Planning Board met at a joint meeting to further discuss outdoor dining, and to get a clear direction as to what elements of outdoor dining should be addressed. In general, the City Commission and Planning Board discussed several topics spanning from enclosures to private vs. public space, but ultimately asked the Planning Board to take a comprehensive look at the entire outdoor dining ordinance.

On June 23<sup>rd</sup>, the Planning Board discussed outdoor dining in further detail based on the joint meeting two days prior. The Planning Board settled on a list of goals that they would like to focus on in the ordinance review process, which includes the following:

- Incentivize outdoor off-season dining;
- Review the placement of decks and enclosures;
- Ensure that additional outdoor off-season dining does not become an extension of the indoor space;
- Solicit feedback from restaurateurs of all types in the City;
- Seek possible ideas from local, national and international examples;
- Review the current ordinance for issues;
- Review tickets that were given out to temporary outdoor dining operations;
- Review photos of the variety of temporary outdoor dining structures that were used around the City;
- Explore options for maintaining permanent aspects of outdoor dining structures even if the parts of the structures come down in different seasons;
- Discuss potential differences in policy for outdoor dining on public versus private property;
- Solicit feedback from Public Services and the BSD;

- Review agreements from temporary outdoor dining to see if any of the temporary policies might be worth integrating;
- Consider aspects like sidewalk widths and snow clearing in writing the policy;
- Maintain the current seating allowances for differently-sized establishments and maintain the differences for establishments holding different kinds of licenses for alcoholic beverage service; and,
- Recommend a permanent solution so that restaurateurs do not have to continue to adapt to changing policies.

At this early stage, the Planning Division would like to begin with a high-level general review of outdoor dining beginning with research into what “good” outdoor dining may look like. By beginning with an example driven discussion, the Planning Division hopes to work towards several of the goals listed above and guide more pointed discussions in future study sessions.

Discussing personal experiences with outdoor dining across the world was a large part of the Planning Board and City Commission discussions prior to embarking on this study session. Considering this approach, the Planning Division reviewed [OpenTable's annual list 100 Best Al Fresco Restaurants in America for 2019](#). Naturally, California, Florida and Hawaii make up 67% of the list. However, the Midwest and Northeast (similar weather conditions to Birmingham) have strong representation on the list, making it an interesting place to start. Please see the following page for images of several outdoor dining spaces from restaurants present on the list.

Upon researching many of the outdoor dining patios on the list, the Planning Division made several observations:

1. Overhead coverings are common in the form of umbrellas, awnings, and pergola-type structures. Other covering methods such as canvas shade sails, retractable fabric shade canopies, and even trees/vegetation were observed as well.
2. Several rooftop patios made the list.
3. Heaters, lights, and fire tables/pits were very common.
4. Dining chairs appeared to be constructed of a myriad of materials, including plastic, wicker, and fabric.
5. Full enclosures (roof/covering plus walls or partial walls) were rare. Most cases of perceived enclosures included variables such as below-grade placement, placement next to building facades or screening from nuisances such as parking areas.
6. The majority of outdoor dining patios contained greenery and plantings.
7. Patio placement was observed in public and private property, and patio design elements were consistent between those that were on both.





**Cecconi's – Brooklyn, NY**



**Farmers Fishers Bakers – Washington D.C.**



**El Five – Denver, CO**



**The Mooring Restaurant – Newport, RI**



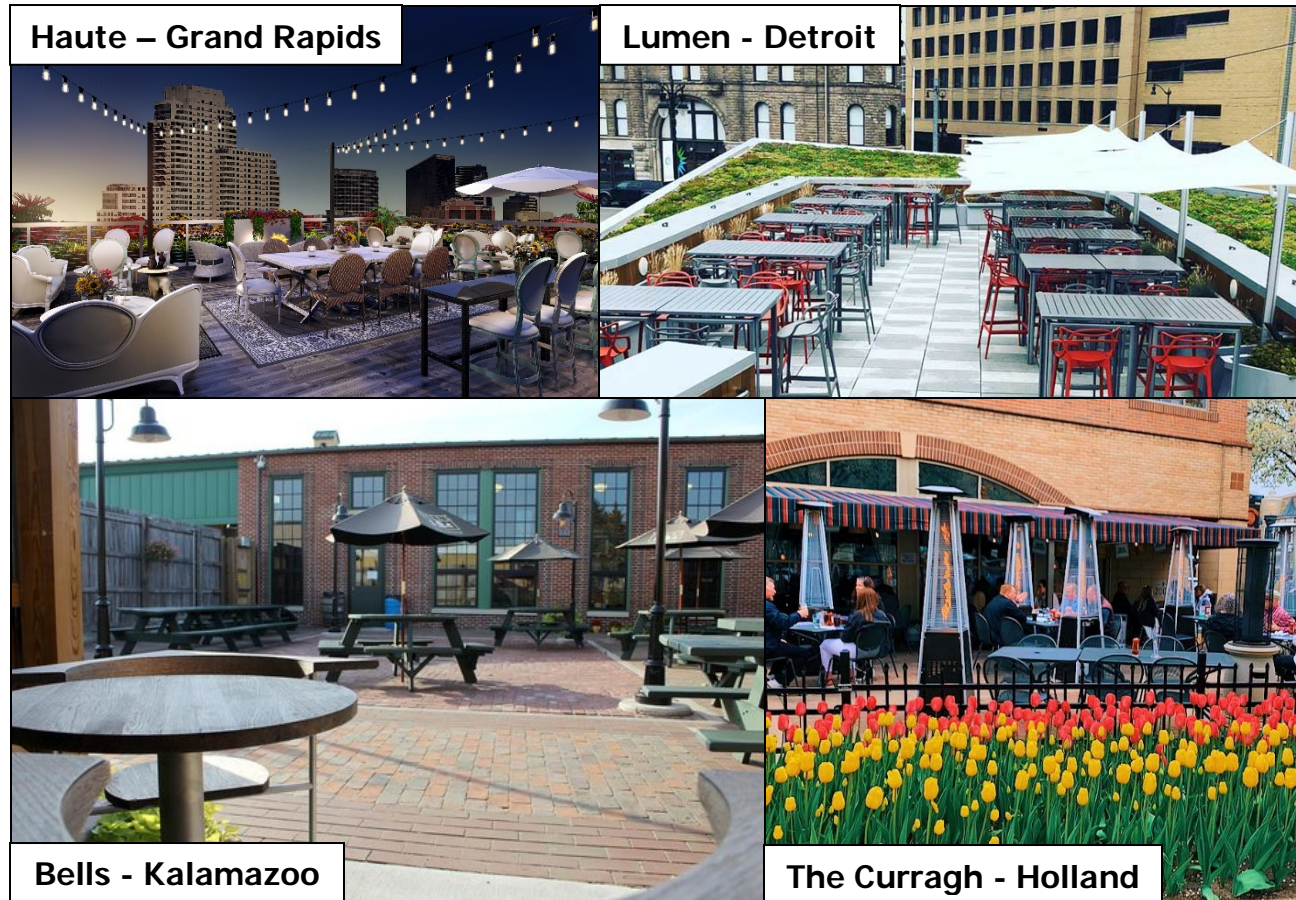
**Campfire – Carlsbad, CA**



**The Pink Door – Seattle, WA**



Similar observations were made while researching opinions of the “best” outdoor dining in Michigan. [Pure Michigan's Top Outdoor Patios for Dining in Michigan](#) and [M-Live's list of Michigan's Best Outdoor Dining](#) highlight several dining establishments that contain many of the same features.



On a more local level, Southeast Michigan contains several comparable cities with outdoor dining. The Planning Division was able to locate several cities that created specific regulations for outdoor dining within their Zoning Ordinances:

- [Berkley](#)
- [Royal Oak](#)
- [Plymouth](#)
- [Rochester Hills](#) (pg. 77)
- [Lake Orion](#) (pg. 60)

Other cities and Zoning Ordinances such as Northville, Detroit, Ferndale and Ann Arbor were also researched. However, the Zoning Ordinances of these cities either did not contain any specific ordinance language regarding outdoor dining, or proved too difficult to locate at this time. Of the above cities that yielded results, only one or two had detailed regulations regarding outdoor dining within their Zoning Ordinance. If requested, further research into the Zoning Ordinance regulations of other cities, local or national, will be provided for review. As a consequence, no



examples of different outdoor dining regulations for private versus public property, enclosures, maintenance, or other items from the list of goals above were discovered.



So how does the feedback from the City Commission, the Planning Board's current list of goals for the outdoor dining discussion, and the above high-level research relate to the current Outdoor Dining ordinance? At this time, there are outdoor dining standards spread across several areas of the Zoning Ordinance:

- [Article 4, Section 4.44 – Outdoor Dining Standards](#)
- [Article 3, Section 3.04 \(C\)\(10\) – Bistros](#)
- [Article 3, Section 3.14, 3.16 – Via Activation Overlay](#)
- [Article 9, Section 9.02 – Definitions \(Bistro, Outdoor Café\)](#)

This outdoor dining study affords an opportunity to ensure that ordinance language is consistent throughout, and addresses the issues of potentially regulating different restaurant and/or liquor license types (Bistro, Class C, Economic Development, Theaters & Hotels) separately, or affording them all the same outdoor dining standards, at least in terms of design. For example, rooftop dining is permitted for bistro license holders, but is not mentioned in the overall outdoor dining standards. Similarly, the bistro ordinance language prohibits enclosures facilitating year-round dining outdoors, but the Outdoor Dining Standards do not regulate enclosures.

Considering the information above, and before attempts are made at amending any zoning ordinance language, the Planning Division suggests a discussion based on the following questions and requests that the Planning Board provide some direction as to which items to move forward with for the next study session, including any that are not listed:

- Does the Planning Board want to see enclosures? If so, during what season(s)? Additionally, the City should define "enclosure" as a part of this study. This has also been advised by the City Attorney.
- Should restaurants be permitted to extend in front of neighboring properties on the sidewalk? In the street?
- Should a survey be created and sent to property owners to solicit feedback on several key discussion points before the Planning Board begins to draft ordinance amendments?
- Should the Planning Division do a broader ordinance search for other areas of the Midwest and/or Northeast? What should we be looking for?

## Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

APPROVED

10/18/21

PAA21-0109

### 1. Applicant

Name: Sam Surnow

Address: 320 Martin Street, Suite 100

Birmingham, mi 48009

Phone Number: 248.877.4000

Fax Number: \_\_\_\_\_

Email: sam@surnow.com

### Property Owner

Name: Chester Street Partners, LLC

Address: 320 Martin Street, Suite 100

Birmingham, mi 48009

Phone Number: 248.877.4000

Fax Number: \_\_\_\_\_

Email: \_\_\_\_\_

### 2. Applicant's Attorney/Contact Person

Name: Kevin Biddison, AIA

Address: 320 Martin Street, Suite 10

Birmingham, mi 48009

Phone Number: 248.554.9500

Fax Number: \_\_\_\_\_

Email: kb@biddison-ad.com

### Project Designer

Name: Kevin Biddison, AIA

Address: 320 Martin Street, Suite 10

Birmingham, mi 48009

Phone Number: 248.554.9500

Fax Number: \_\_\_\_\_

Email: kb@biddison-ad.com

### 3. Project Information

Address/Location of Property: 191 North Chester Street

Name of Development: The Jeffrey

Parcel ID #: \_\_\_\_\_

Current Use: Office-Commercial Building

Area in Acres: 0.40 Acres

Current Zoning: TZ2

Name of Historic District site is in, if any: \_\_\_\_\_

Date of HDC Approval, if any: \_\_\_\_\_

Date of Application for Preliminary Site Plan: \_\_\_\_\_

Date of Preliminary Site Plan Approval: \_\_\_\_\_

Date of Application for Final Site Plan: \_\_\_\_\_

Date of Final Site Plan Approval: \_\_\_\_\_

Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Digital Copy of plans

- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

### 5. Details of the Request for Administrative Approval

Proposed Rooftop Patio west-end of building 2nd floor. (see attached drawings)

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

Date: 10/12/21

Application #: PAA21-0109

Office Use Only  
Date Received: 10/12/21

Fee: \$100

Date of Approval: 10/18/21

Date of Denial: N/A

Reviewed by: \_\_\_\_\_





### CONSENT OF PROPERTY OWNER

I, SAM SURNOW, OF THE STATE OF MICHIGAN AND  
(Name of Property Owner)

COUNTY OF OAKLAND COUNTY STATE THE FOLLOWING:

1. That I am the owner of real estate located at 191 North Chester Street, Birmingham MI;  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: SAM SURNOW;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

**By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.**

Name of Owner (Printed): SAM SURNOW

Signature of Owner: [Signature] Date: 10/12/21





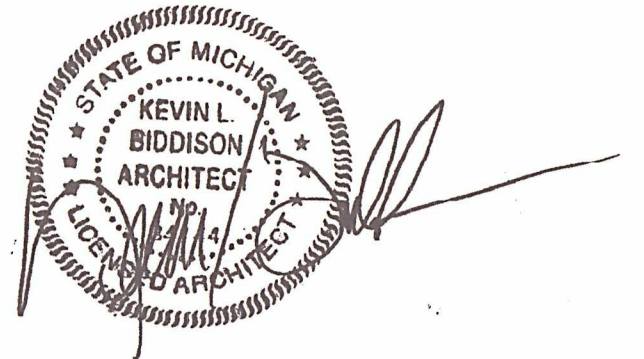


PROPOSED BUILDOUT FOR:

191 N Chester St  
Birmingham, Michigan 48009

PRELIM. OWNER REVIEW	08.02.21
REVIEW	08.19.21
PERMITS	08.27.21
BULLETIN #1	09.17.21

## EXTERIOR ELEVATIONS



Sheet no.

A.202



SCALE: 3/16"=1'-0"



INTERIOR WALL LEGEND

1. PROVIDE A LEVEL IV FINISH AT ALL GYP. BOARD SURFACES. REFER TO CHAPTER 5 OF USG GYPSUM CONSTRUCTION HANDBOOK FOR FINISH DEFINITIONS.

2. ALL GYP. BD. WALLS WITH VINYL WALL COVERINGS TO RECEIVE A LEVEL 5 FINISH TYP.

TYPE 1: (4 1/2" INTERIOR PARTITION WALLS TO 10'-0" AFF)  
5/8" GYP. BD. EACH SIDE OF 20 GAUGE 3 1/2" METAL STUD FRAMING @ 16" O.C. EXTEND WALL ASSEMBLY TO 10'-0" AFF. - PROVIDE ACOUSTIC BATT INSULATION TYP. ALL WALLS

TYPE 2: (7 1/2" INTERIOR PARTITION WALLS TO 10'-0" AFF)  
5/8" GYP. BD. EACH SIDE OF 25 GAUGE 6" METAL STUD FRAMING @ 16" O.C. EXTEND WALL ASSEMBLY TO 10'-0" AFF

TYPE 3: (4 1/2" INTERIOR PARTITION WALLS TO DECK)  
5/8" GYP. BD. EACH SIDE OF 20 GAUGE STRUCTURAL 3 1/2" METAL STUD FRAMING @ 16" O.C. EXTEND WALL ASSEMBLY TO UNDERSIDE OF BEAM, JOIST, OR DECK PROVIDE SLIP TRACK

TYPE 4: (7 1/2" INTERIOR PARTITION WALL TO DECK)  
5/8" GYP. BD. EACH SIDE OF 6" METAL STUD FRAMING @ 16" O.C. EXTEND WALL ASSEMBLY TO UNDERSIDE OF BEAM, JOIST, OR DECK PROVIDE SLIP TRACK

NOTE:  
CONFIRM SIZES OF ALL APPLIANCES WITH TENANT AND/OR OWNER PRIOR TO ORDERING CABINETS.

NOTE:  
SAFETY GLAZING MUST HAVE PERMANENT IDENTIFICATION IN ACCORDANCE WITH SECTION 2408.1.1 OF THE 2015 MICHIGAN BUILDING CODE.

NOTE:  
ALL INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO MATERIALS IN EXIT ACCESS CORRIDORS, OTHER EXITWAYS, ROOMS, AND ENCLOSED SPACES IN USE GROUPS "B" AND "S" IN SPRINKLED BUILDINGS ARE REQUIRED TO HAVE AT LEAST A CLASS C FLAME SPREAD 75-200; SMOKE DEVELOPED 0-450; RATING AS LISTED IN TABLE 605.4 OF THE 2015 MICHIGAN BUILDING CODE.

NOTE:  
PROVIDE AND INSTALL USG "MOLD-TOUGH" MOLD RESISTANT SHEETROCK GYPSUM PANELS OR EQUAL AT THE FOLLOWING WET WALLS:  
- ALL GYPSUM BOARD WALLS IN TOILET ROOMS  
- ALL WALLS DIRECTLY ADJACENT TO COUNTER TOPS WITH SINKS AT BREAK ROOM, COFFEE AREAS, ETC.

WET WALLS TO BE COVERED WITH A SMOOTH, HARD, NONABSORBENT SURFACE TO A HEIGHT OF 4'-0". FURNISH AND INSTALL FRP AT MCP SINK

NOTE:  
REFER TO PLUMBING PLAN FOR ALL DRAINS

NOTE:  
FIRE SUPPRESSION HEADS IN GYP. TO BE CONCEALED FLUSH BUTTON HEADS

NOTE:  
ALL APPLIANCES TO BE PROVIDED TO COMPLY WITH ADA REQUIREMENTS. DISHWASHERS MUST FIT UNDER A 34" HIGH (32-1/4" CLEAR UNDER) COUNTERTOP, FULL HT. REFRIGERATORS MUST BE A SIDE-BY-SIDE OR BOTTOM FREEZER UNIT, AND ALL MICROWAVE CONTROLS TO BE NO HIGHER THAN 48" A.F.F. TO MEET OBSTRUCTED HIGH SIDE REACH REQUIREMENTS.

NOTE:  
TV DENOTES WALL MTD. TV PROVIDE 3'-0" X 6'-0" AREA OF NON-COMB BLOCKING AT GYP WALLS

NOTE:  
FIRE EXTINGUISHER CABINET: SEMI-RECESSED, LOCATIONS @ MAX SPACING OF 75' APART PER CODE. EXACT LOCATION AND SIZE TO BE AT THE DIRECTION OF THE FIRE MARSHAL.

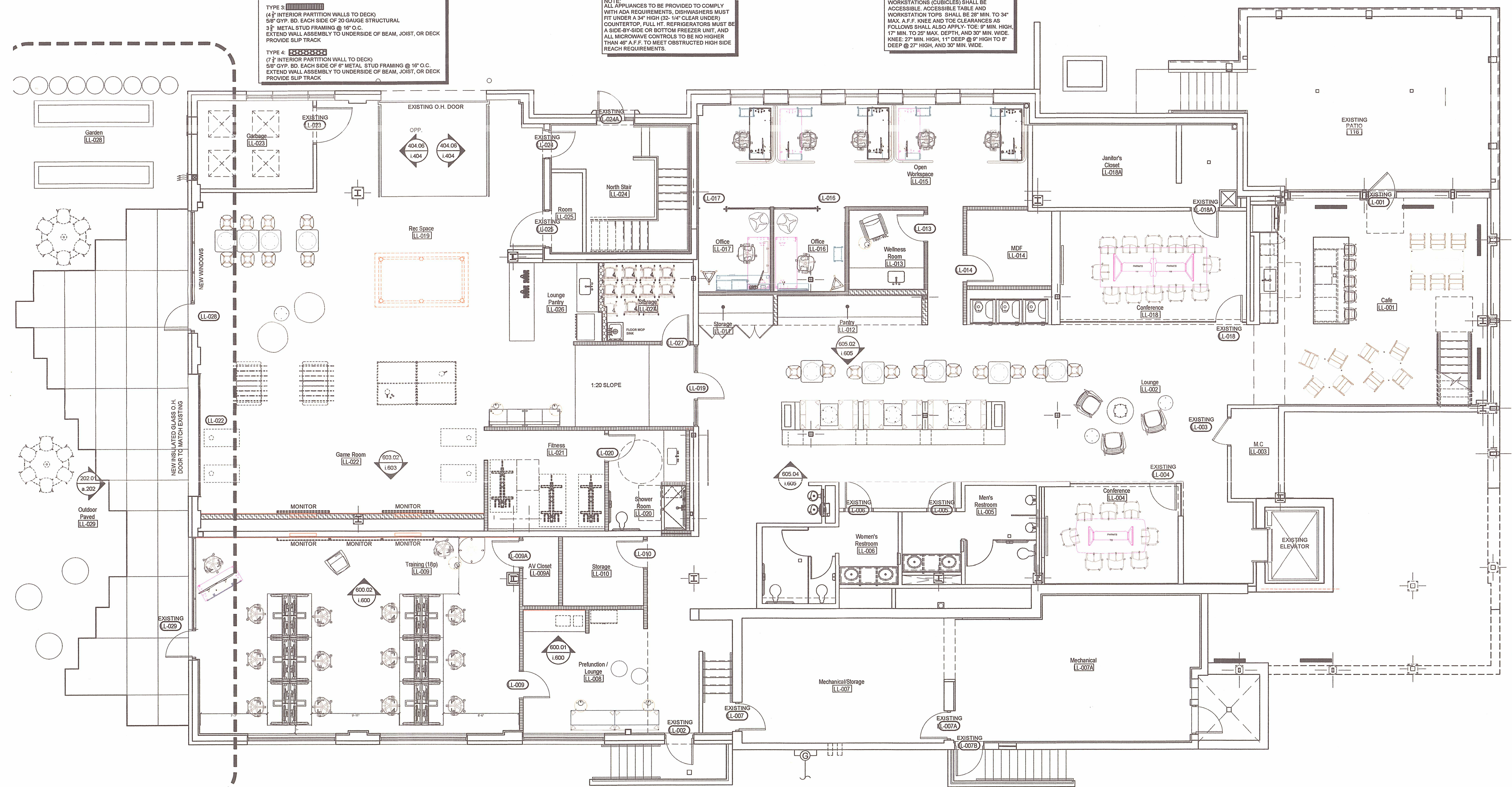
NOTE:  
FURNISH AND INSTALL WOOD BLOCKING FOR MILLWORK, TOILET PARTITIONS, ACCESSORIES, AND DOOR BUMPERS. SEE PLAN FOR LOCATIONS OF NEW FLAT SCREENS (BY TENANT) - VERIFY HEIGHT, SIZE, AND FUTURE LOCATIONS W/ TENANT

NOTE:  
DRYWALL SOFFITS AND BULKHEADS TO BE CONSTRUCTED WITH METAL FRAMING

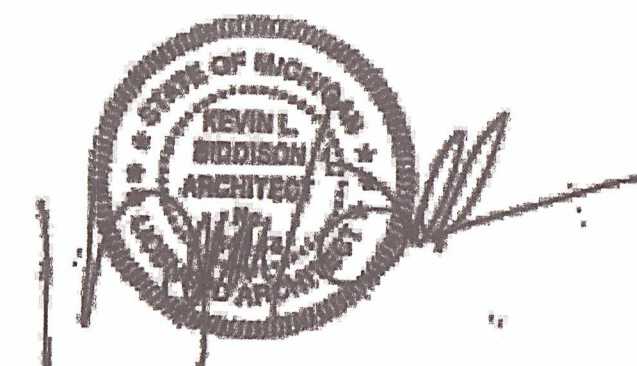
NOTE:  
ALL INTERIOR PARTITION WALLS TO BE PAINTED GYP. BD. ON STUD FRAMING.

NOTE:  
ALL COLUMNS TO BE WRAPPED WITH GYP. BD. UNO

NOTE:  
ALL FURNITURE & EQUIPMENT TO COMPLY WITH ADA REQUIREMENTS AND TO BE PROVIDED BY TENANT - SHOWN FOR LAYOUT PURPOSES ONLY - A MINIMUM OF 5%, BUT NOT LESS THAN (1) OF THE LUNCHROOM TABLES AND EMPLOYEE WORKSTATIONS (CUBICLES) SHALL BE ACCESSIBLE ACCESSIBLE TABLE AND WORKSTATION TOPS SHALL BE 28" MIN. TO 34" MAX. A.F.F. KNEE AND TOE CLEARANCES AS FOLLOWS SHALL ALSO APPLY: TOE: 9" MIN. HIGH, 17" MIN. TO 25" MAX. DEPTH, AND 30" MIN. WIDE. KNEE: 27" MIN. HIGH, 11" DEEP @ 9" HIGH TO 8" DEEP @ 27" HIGH, AND 30" MIN. WIDE.







### INTERIOR WALL LEGEND

1. PROVIDE A LEVEL IV FINISH AT ALL GYP. BOARD SURFACES. REFER TO CHAPTER 5 OF USG GYPSUM CONSTRUCTION HANDBOOK FOR FINISH DEFINITIONS.

2. ALL GYP. BD. WALLS WITH VINYL WALL COVERINGS TO RECEIVE A LEVEL 5 FINISH TYP.

TYPE 1: [Pattern] (4" INTERIOR PARTITION WALLS TO 10'-0" AFF)  
5/8" GYP. BD. EACH SIDE OF 20 GAUGE 3" METAL STUD FRAMING @ 16" O.C. EXTEND WALL ASSEMBLY TO 10'-0" AFF. - PROVIDE ACOUSTIC BATT INSULATION TYP. ALL WALLS

TYPE 2: [Pattern] (7" INTERIOR PARTITION WALLS TO 10'-0" AFF)  
5/8" GYP. BD. EACH SIDE OF 25 GAUGE 6" METAL STUD FRAMING @ 16" O.C. EXTEND WALL ASSEMBLY TO 10'-0" AFF

TYPE 3: [Pattern] (4" INTERIOR PARTITION WALLS TO DECK)  
5/8" GYP. BD. EACH SIDE OF 20 GAUGE STRUCTURAL 3" METAL STUD FRAMING @ 16" O.C. EXTEND WALL ASSEMBLY TO UNDERSIDE OF BEAM, JOIST, OR DECK. PROVIDE SLIP TRACK

TYPE 4: [Pattern] (7" INTERIOR PARTITION WALL TO DECK)  
5/8" GYP. BD. EACH SIDE OF 6" METAL STUD FRAMING @ 16" O.C. EXTEND WALL ASSEMBLY TO UNDERSIDE OF BEAM, JOIST, OR DECK. PROVIDE SLIP TRACK

NOTE:  
CONFIRM SIZES OF ALL APPLIANCES WITH TENANT AND/OR OWNER PRIOR TO ORDERING CABINETS.

NOTE:  
SAFETY GLAZING MUST HAVE PERMANENT IDENTIFICATION IN ACCORDANCE WITH SECTION 2408.1.1 OF THE 2015 MICHIGAN BUILDING CODE.

NOTE:  
ALL INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO MATERIALS IN EXIT ACCESS CORRIDORS, OTHER EXITWAYS, ROOMS, AND ENCLOSED SPACES IN USE GROUPS "B" AND "S" IN SPRINKLED BUILDINGS ARE REQUIRED TO HAVE AT LEAST A CLASS C, FLAME SPREAD 75-200, SMOKE DEVELOPED 0-45% RATING AS LISTED IN TABLE 803.4 OF THE 2015 MICHIGAN BUILDING CODE.

NOTE 1:  
PROVIDE AND INSTALL USG "MOLD-TOUGH" MOLD RESISTANT SHEETROCK GYPSUM PANELS OR EQUAL AT THE FOLLOWING WET WALLS:  
- ALL GYPSUM BOARD WALLS IN TOILET ROOMS  
- ALL WALLS DIRECTLY ADJACENT TO COUNTER TOPS WITH SINKS AT BREAK ROOM, COFFEE AREAS, ETC.  
WET WALLS TO BE COVERED WITH A SMOOTH, HARD, NONABSORBENT SURFACE TO A HEIGHT OF 4'-0". FURNISH AND INSTALL FRP AT MOP SINK

NOTE:  
REFER TO PLUMBING PLAN FOR ALL DRAINS

NOTE:  
FIRE SUPPRESSION HEADS IN GYP TO BE CONCEALED FLUSH BUTTON HEADS

NOTE:  
ALL APPLIANCES TO BE PROVIDED TO COMPLY WITH ADA REQUIREMENTS. DISHWASHERS MUST FIT UNDER A 34" HIGH (32-1/4" CLEAR UNDER) COUNTERTOP, FULL HT. REFRIGERATORS MUST BE A SIDE-BY-SIDE OR BOTTOM FREEZER UNIT, AND ALL MICROWAVE CONTROLS TO BE NO HIGHER THAN 48" A.F.F. TO MEET OBSTRUCTED HIGH SIDE REACH REQUIREMENTS.

NOTE:  
TV DENOTES WALL MTD. TV PROVIDE 3'-0" X 6'-0" TO BE CONSTRUCTED WITH METAL FRAMING AND NON-COMB WD.

NOTE:  
FIRE EXTINGUISHER CABINET: SEMI-RECESSED, LOCATIONS @ MAX SPACING OF 75' APART PER CODE. EXACT LOCATION AND SIZE TO BE AT THE DIRECTION OF THE FIRE MARSHAL.

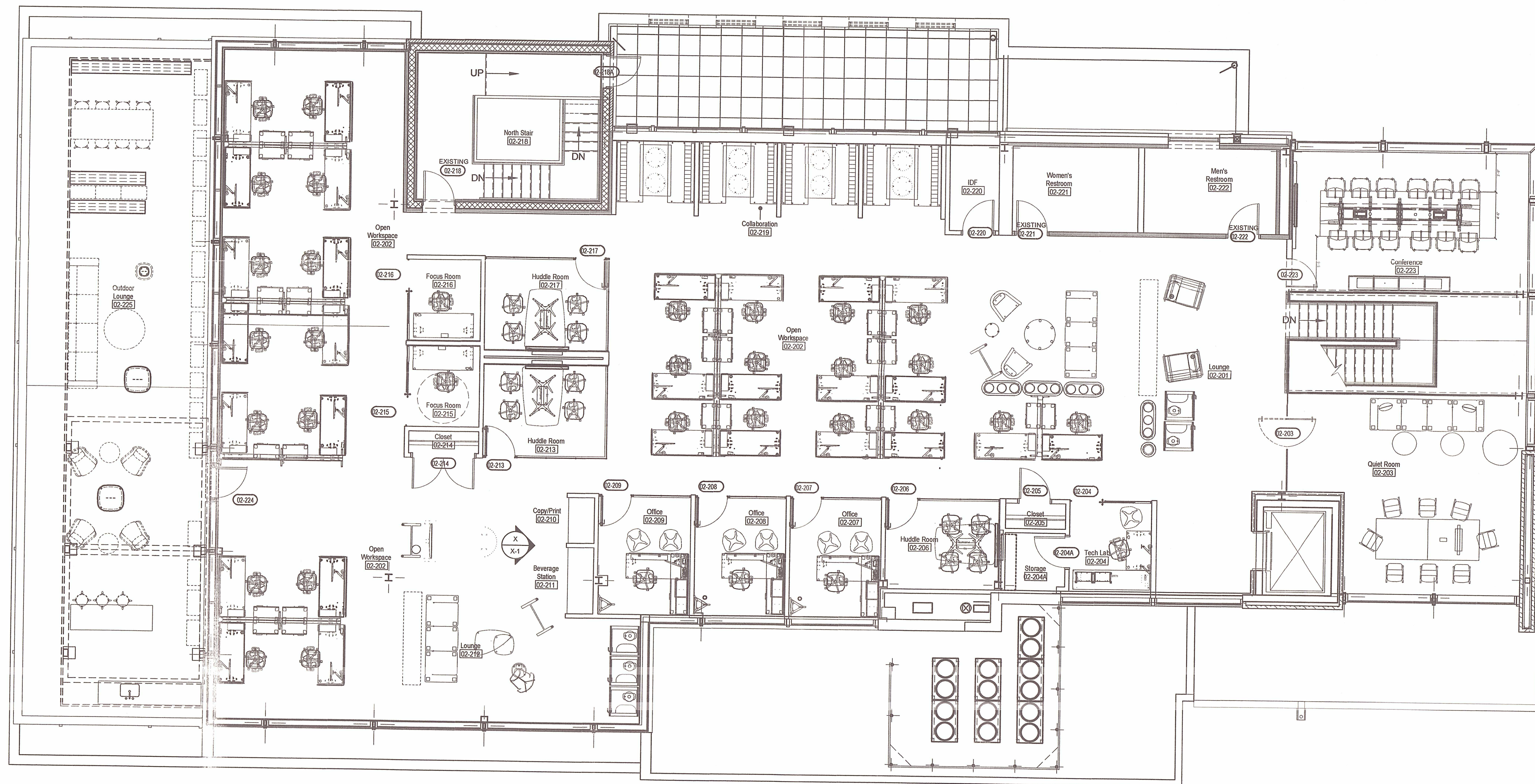
NOTE:  
FURNISH AND INSTALL WOOD BLOCKING FOR MILLWORK, TOILET PARTITIONS, ACCESSORIES, AND DOOR BUMPERS. SEE PLAN FOR LOCATIONS OF NEW FLAT SCREENS (BY TENANT) - VERIFY HEIGHT, SIZE, AND FUTURE LOCATIONS W/ TENANT

NOTE:  
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NOTE:  
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NOTE:  
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NOTE:  
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Consultant

Project title

PROPOSED TENANT BUILD-OUT FOR:  
**OneStream**

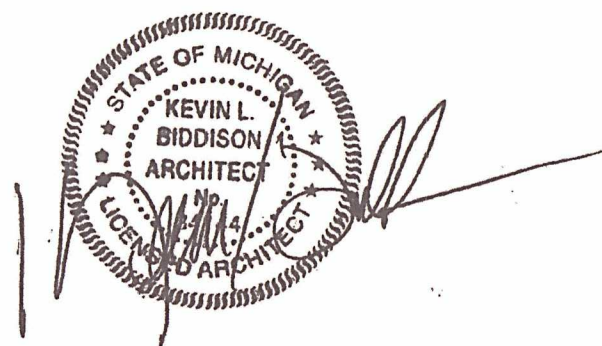
191 N Chester St  
Birmingham, Michigan 48009

Issued d/r/c

PRELIM. OWNER REVIEW 08.02.21  
REVISED PLAN 08.04.21  
REVIEW 08.19.21  
PERMITS 08.27.21

Sheet title

**ENLARGED  
LL WEST PATIO**

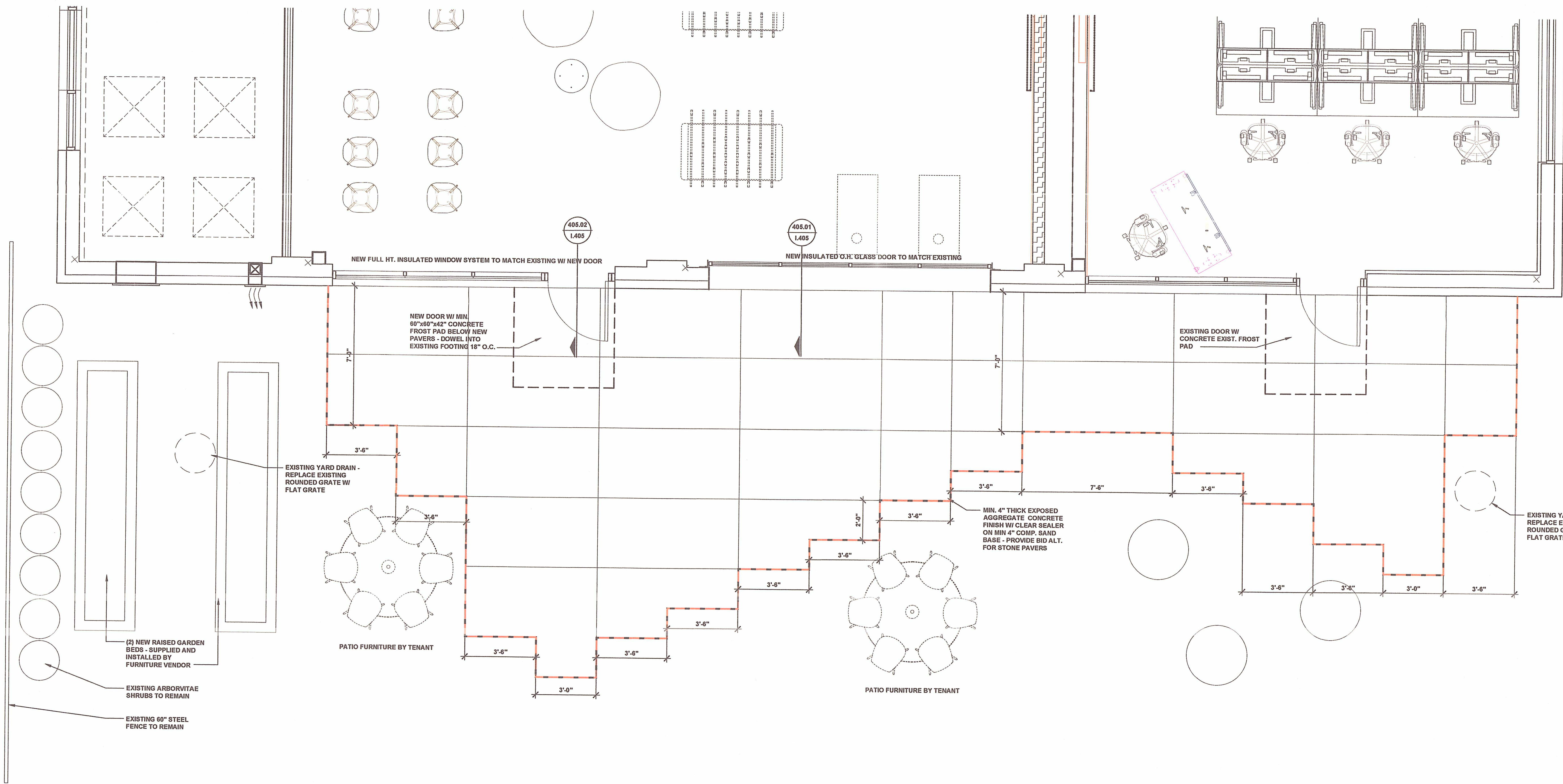


Project no

1997.17

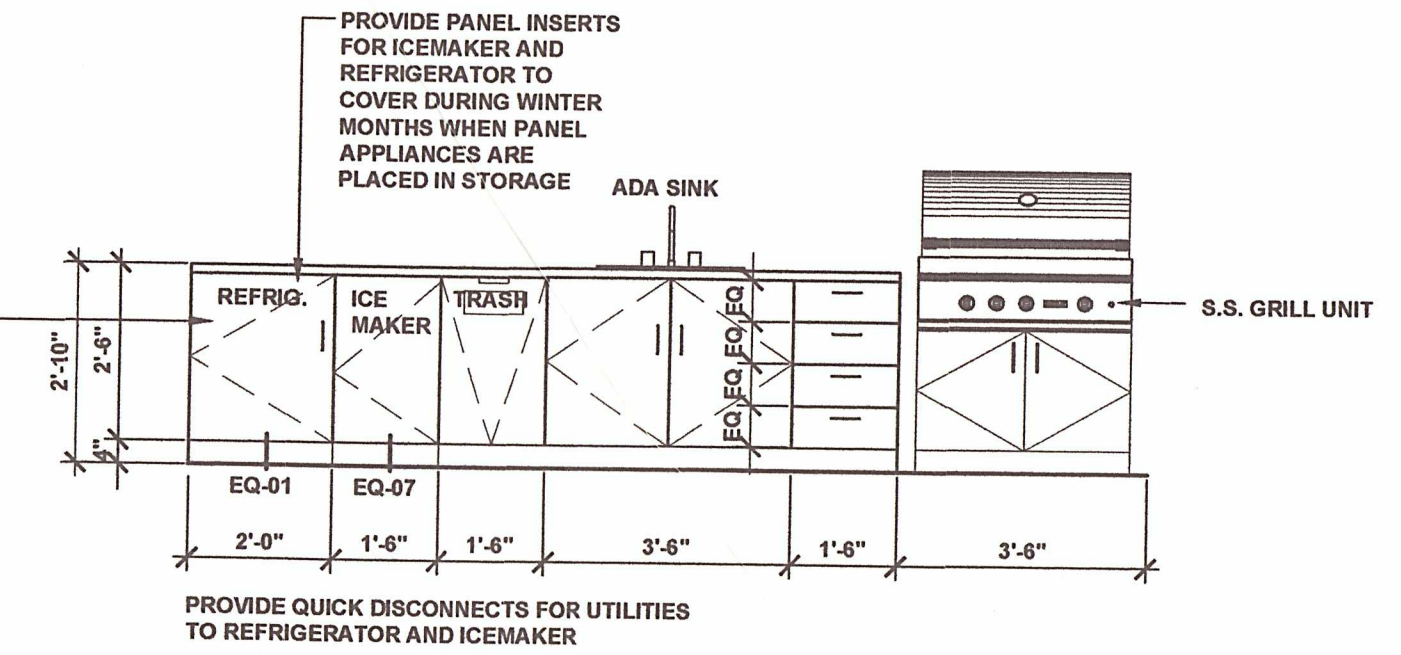
Sheet no

i.401

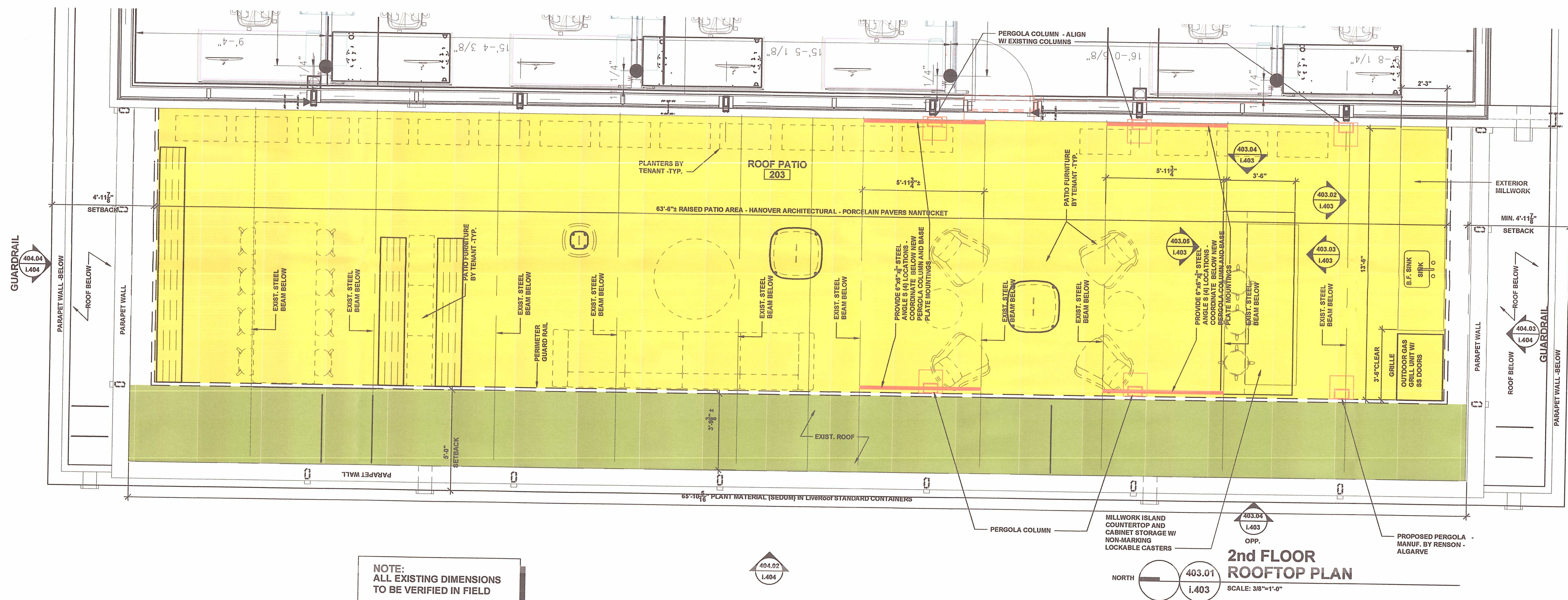


**ENLARGED  
LL WEST PATIO PLAN**  
SCALE: 3/8"=1'-0"





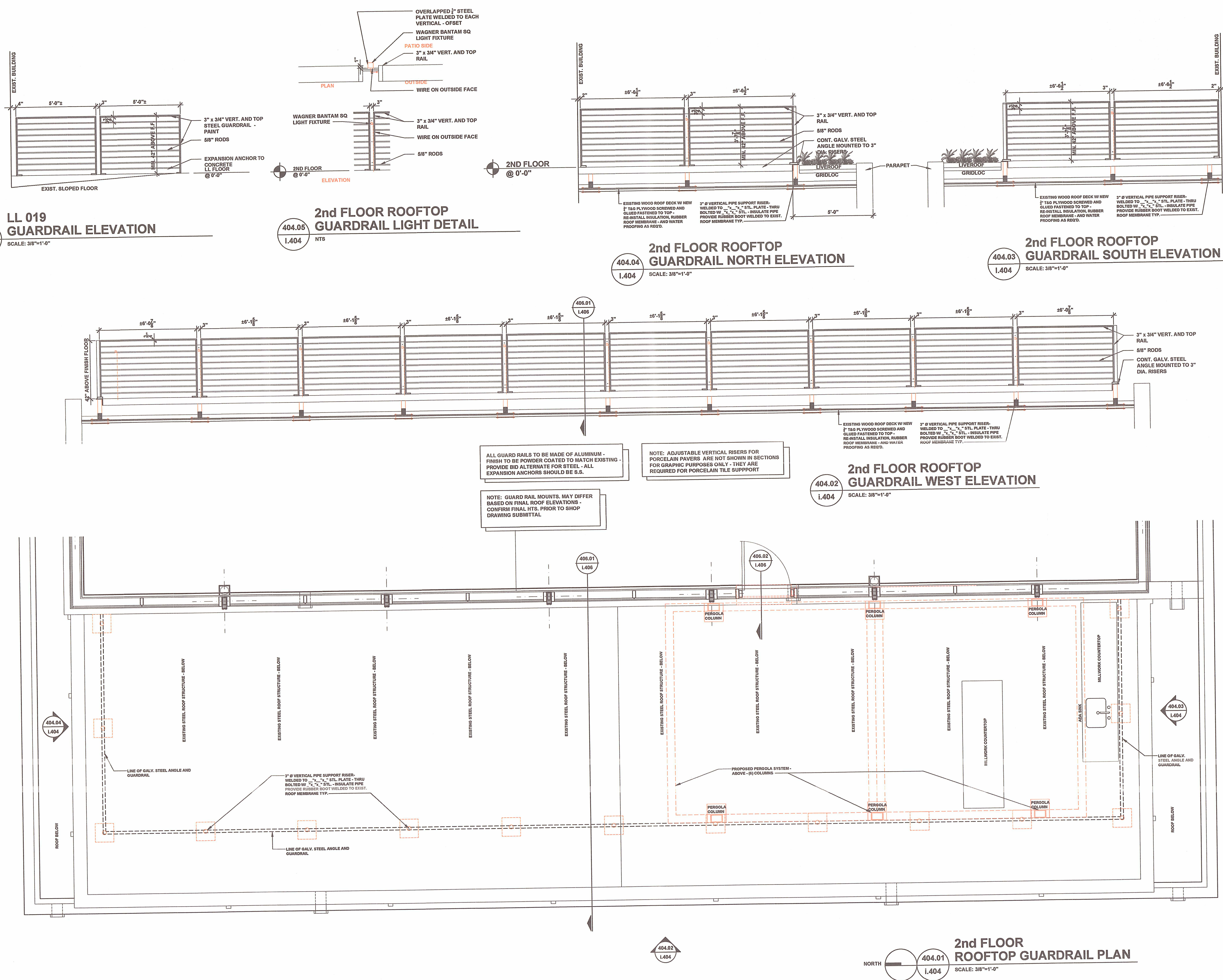
**2nd FLOOR  
ROOFTOP MILLWORK ELEVATION**



**NOTE:**  
ALL EXISTING DIMENSIONS  
TO BE VERIFIED IN FIELD

LIVEROOF.COM







Consultant

Project title

PROPOSED TENANT BUILD-OUT FOR:  
**OneStream**

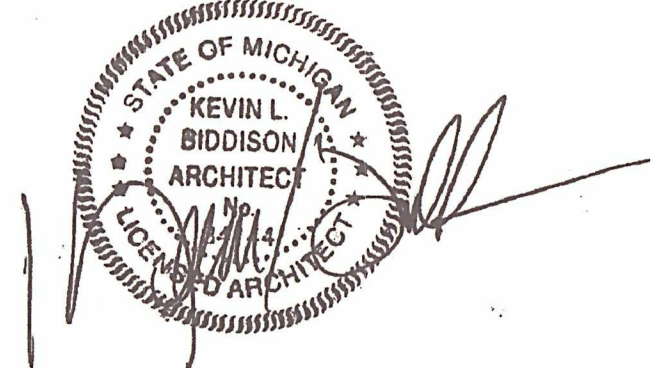
191 N Chester St  
Birmingham, Michigan 48009

Issued dr/c

PRELIM. OWNER REVIEW	08.02.21
REVISED SECTIONS	08.04.21
REVIEW	08.19.21
PERMITS	08.27.21

Sheet title

**ENLARGED  
LL WEST PATIO**

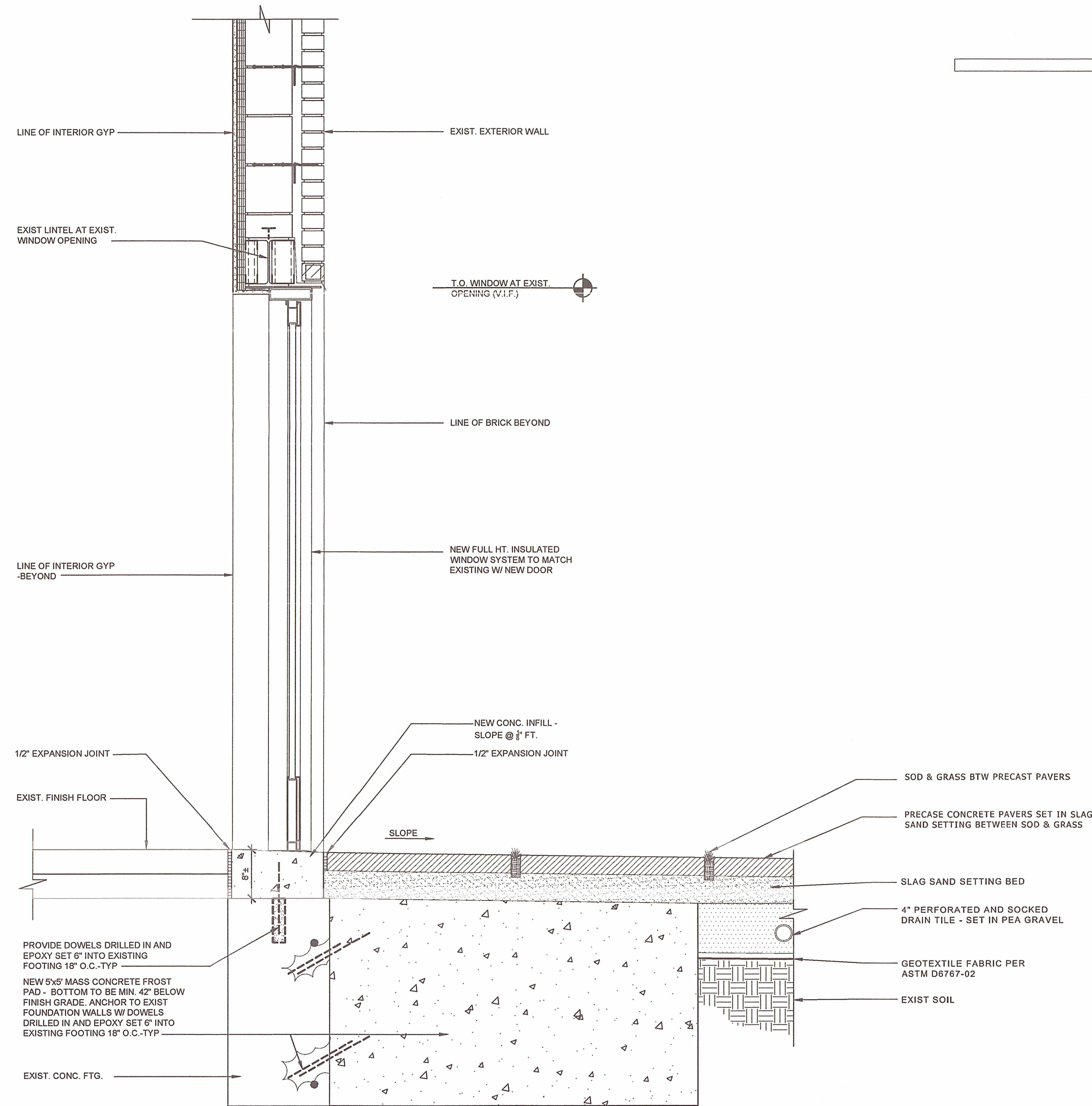


Project no

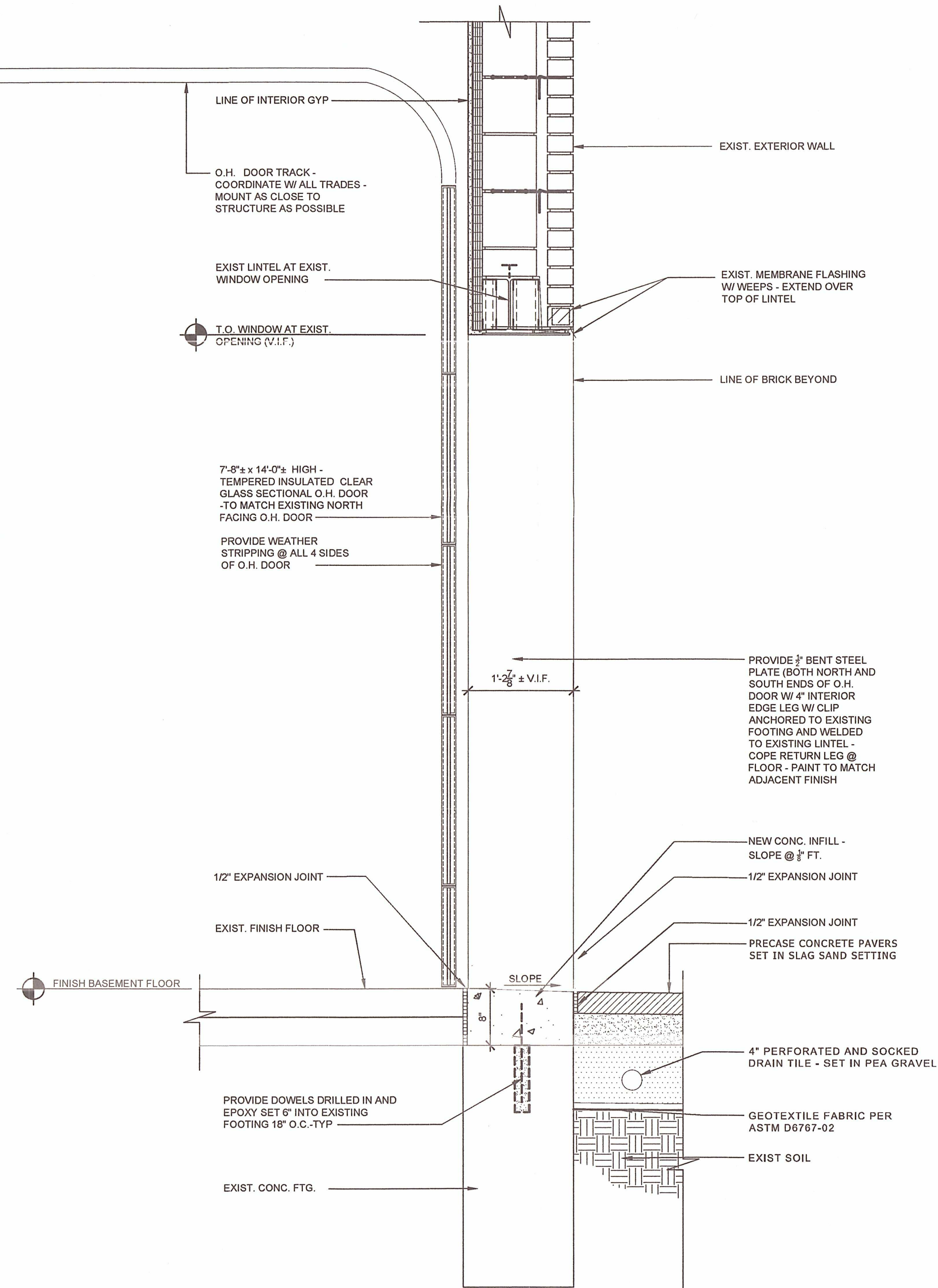
1997.17

Sheet no

i.405

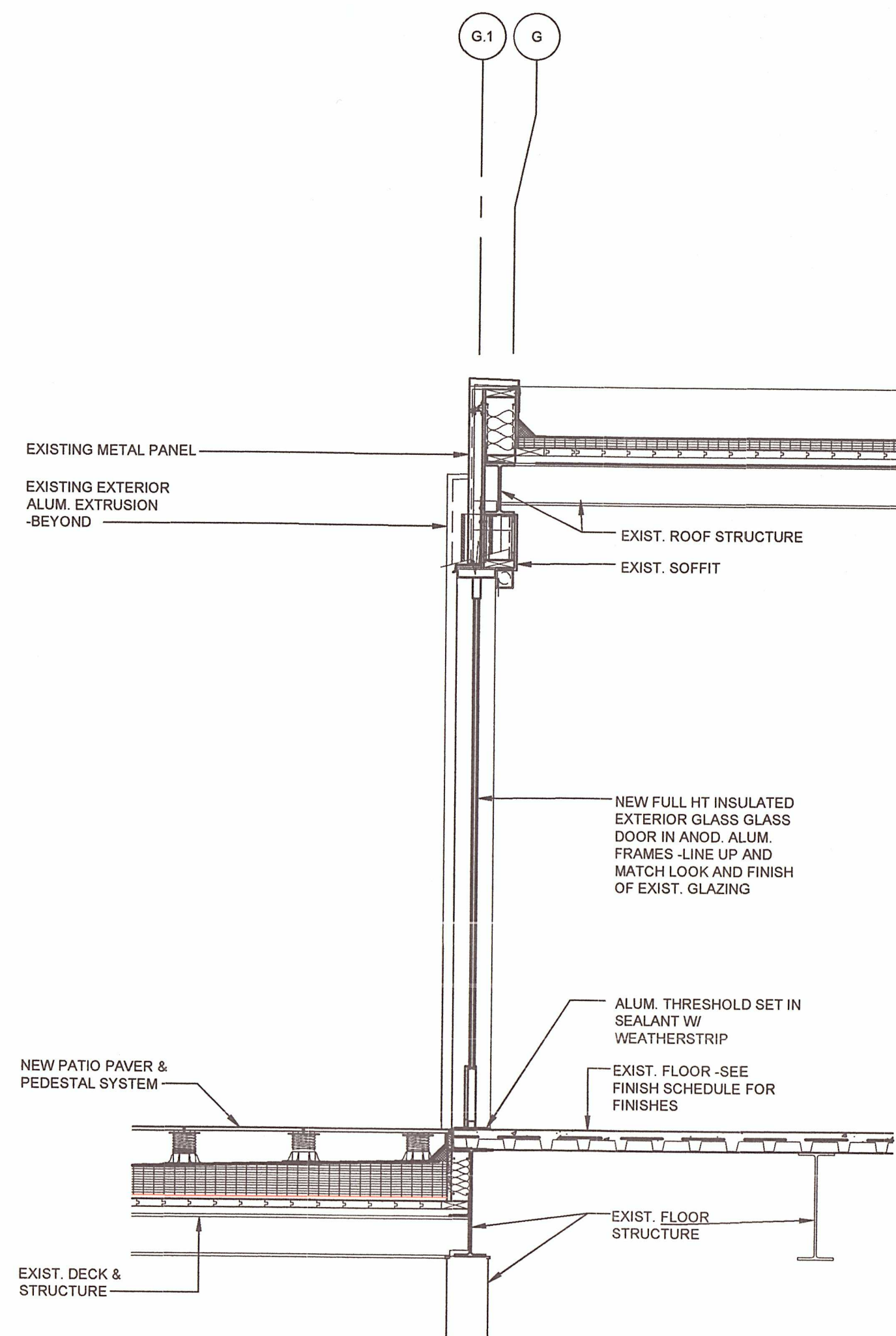


402.01 FULL HT. WINDOW SECTION  
i.401 SCALE: 1"=1'-0"



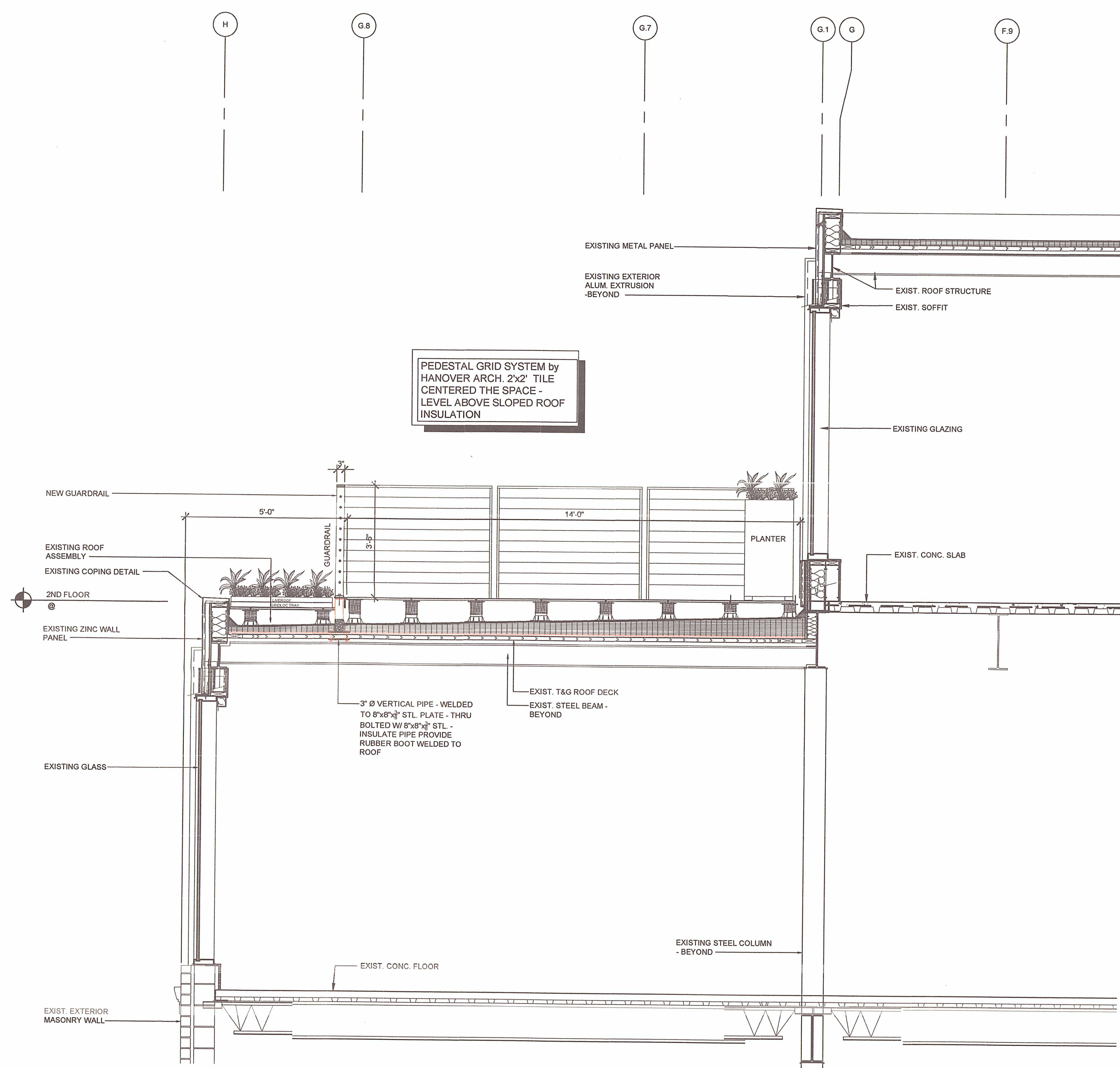
402.01 O.H. DOOR SECTION  
i.401 SCALE: 1"=1'-0"





WEST ROOF  
DOOR SECTION

406.02  
i.406  
SCALE: 1/2"=1'-0"



WEST ROOF  
PATIO SECTION

406.01  
i.406  
SCALE: 1/2"=1'-0"



Consultant

Project title

PROPOSED BUILD-OUT FOR:

OneStream

191 N Chester St  
Birmingham, Michigan 48009

Issued dr/c

PRELIM PRICING	07.27.21
PRELIM. OWNER REVIEW	08.19.21
REVIEW	08.19.21
PERMITS	08.27.21

Sheet title

PERGOLA  
DETAILS



Project no

1997.17

Sheet no

i.407

PERGOLA SYSTEM

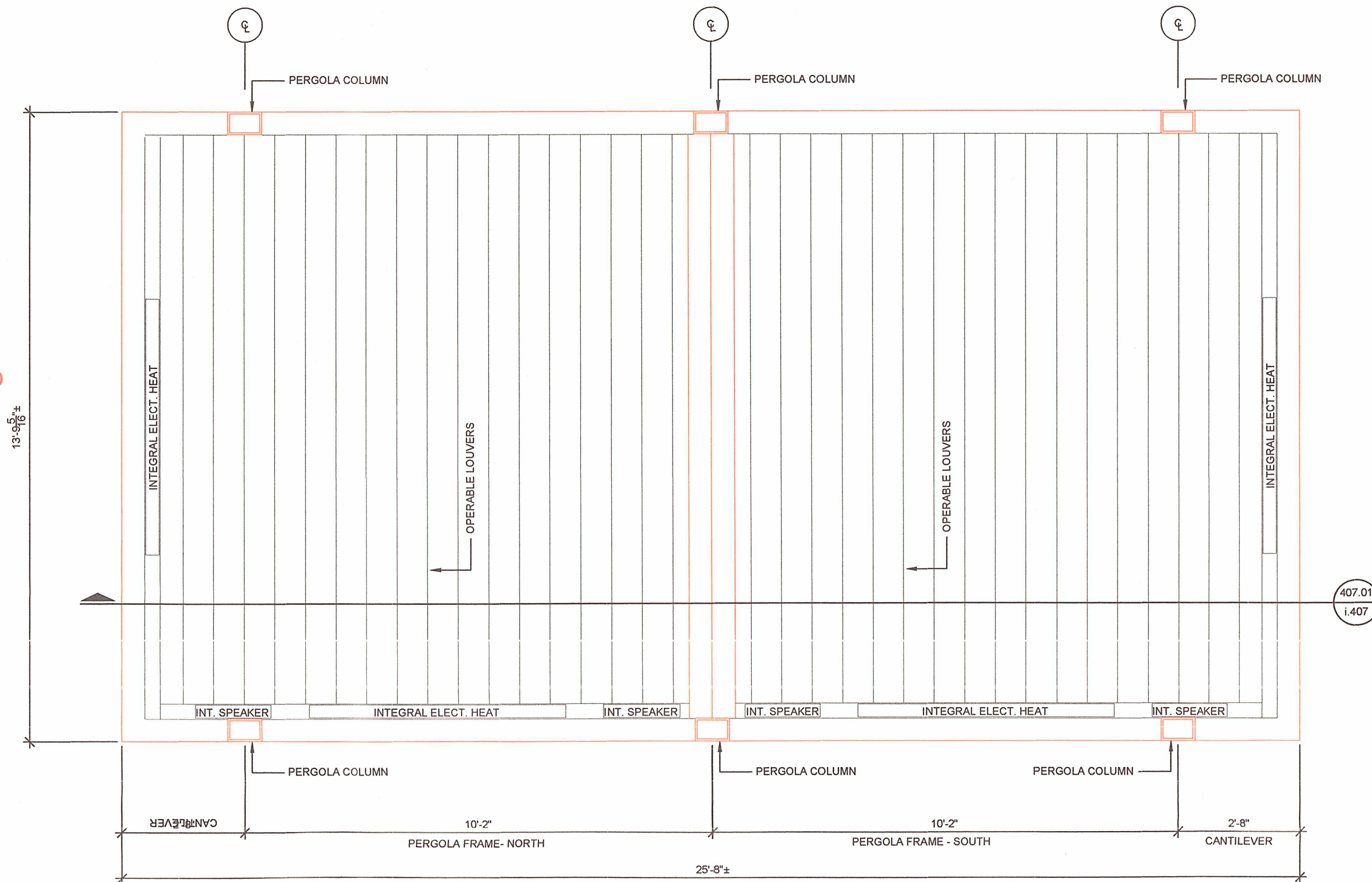
MANUF.: RENSON  
MODEL: ALGARVE

FEATURES: OPERABLE LOUVERS, HEAT AND  
SPEAKERS

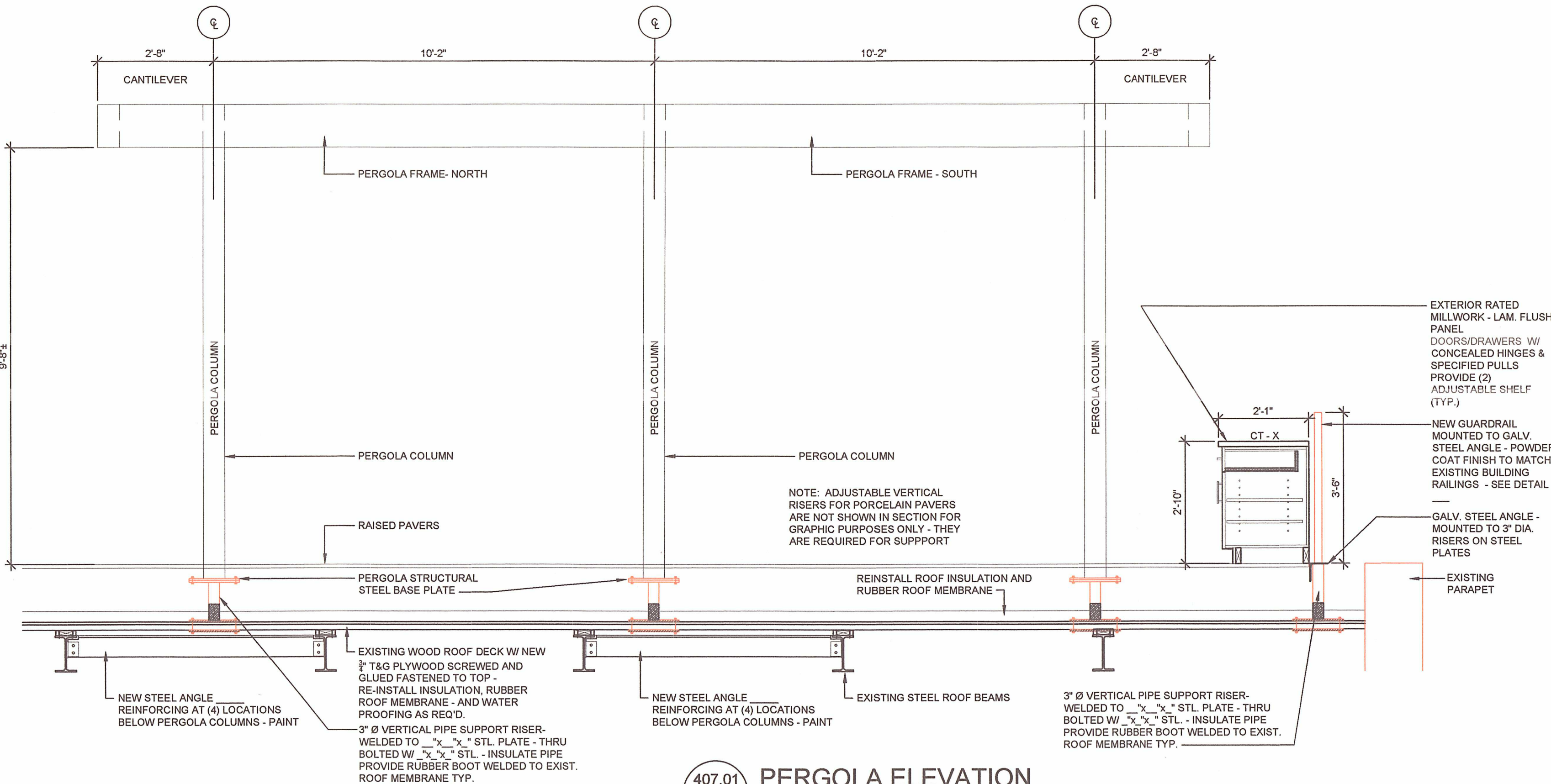
FINISH: POWDER COAT, COLOR TBD

CONTACT:  
David Torres  
Blindtek Designer Systems, Inc.  
466 Saw Mill River Road, Floor 2  
Ardsley, NY 10502

914 347-7100 x7210  
914 330-4632 Cell  
David@bds-blindtek.com



407.02  
i.407  
SCALE: 1/2"=1'-0"  
PERGOLA REFLECTED PLAN



407.01  
i.407  
SCALE: 1/2"=1'-0"  
PERGOLA ELEVATION





## Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out.

**APPROVED**  
10/19/21  
PAA21-0107

### 1. Applicant

Name: Maple Elm Development Company 2 LLC  
Address: 31731 Northwestern Highway, Suite 250W  
Farmington Hills MI, 48334  
Phone Number: 248-737-6175  
Fax Number: 248-737-6177  
Email Address: mhighlen@beztak.com

### 2. Property Owner

Name: Maple Elm Development Company 2 LLC  
Address: Same as Applicant  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 3. Applicant's Attorney/Contact Person

Name: Mark Highlen - Land Development Project Manager  
Address: 31731 Northwestern Highway, Suite 250W  
Farmington Hills MI, 48334  
Phone Number: 248-737-6175 desk, 248-506-9398 mobile  
Fax Number: 248-737-6177  
Email Address: mhighlen@beztak.com

### 4. Project Designer/Developer

Name: Alexander Bogaerts & Associates  
Address: 2445 Franklin Road  
Bloomfield Hills, MI 48302  
Phone Number: 248-334-5000  
Fax Number: N/A  
Email Address: tmarszalec@bogaerts.us

### 5. Project Information

Address/Location of Property: 219 Elm Street  
Birmingham MI  
Name of Development: All Seasons of Birmingham 2  
Parcel ID#: 19-36-227-028  
Current Use: office (vacant)  
Area in Acres: 0.35 acres  
Current Zoning: MU3 / O-2 in the Triangle District

Name of Historic District if any: n/a  
Date of HDC Approval, if any: n/a  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

### 7. Details of the Request for Administrative Approval

request administrative approval of minor changes to the previously approved building facade. Changes due to detailed building design work, site considerations, and area context.

Please note that no changes are proposed for building materials

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

Date: October 5, 2021

#### Office Use Only

Application #: PAA21-0107

Date Received: 10/8/2021

Fee: \$100.00

Date of Approval: 10/18/21

Date of Denial: N/A

Reviewed By: \_\_\_\_\_





**CONSENT OF PROPERTY OWNER**

I, **N/A - Owner is Applicant**, OF THE STATE OF \_\_\_\_\_ AND  
(Name of Property Owner)

COUNTY OF \_\_\_\_\_ STATE THE FOLLOWING:

1. That I am the owner of real estate located at \_\_\_\_\_;  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: \_\_\_\_\_;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

**Name of Owner (Printed):** \_\_\_\_\_

**Signature of Owner:** \_\_\_\_\_ **Date:** \_\_\_\_\_

OAKLAND COUNTY TREASURERS CERTIFICATE  
This is to certify that there are no delinquent property  
taxes as of this date owed to our office on this property.  
No representation is made as to the status of any taxes,  
tax liens or titles owed to any other entities.

JAN 23 2020

5.00

ANDREW E. MEISNER, County Treasurer  
Sec. 135, Act 206, 1893 as amended

20340  
LIBER 53766 PAGE 529  
\$26.00 DEED - COMBINED  
\$4.00 REMONUMENTATION  
01/28/2020 02:30:55 P.M. RECEIPT# 15833  
PAID RECORDED - OAKLAND COUNTY  
LISA BROWN, CLERK/REGISTER OF DEEDS

## WARRANTY DEED

Corporate (Platted/Condominium)

**Drafted By:**

Mark S. Turnbull  
Kelly Crossing, LLC  
10124 Bertram Lane  
Fort Myers, FL 33919

**Return To:**

Maple Elm Development Company II LLC  
31731 Northwestern Highway, Ste 250 W  
Farmington Hills, MI 48334

**Send Tax Bills To:**

Maple Elm Development Company II LLC  
31731 Northwestern Highway, Ste 250 W  
Farmington Hills, MI 48334

Recording Fee: \$  
File Number: 863232BH

State Transfer Tax: \$REVTA Filed  
County Transfer Tax: \$REVTA Filed  
Tax Parcel No.: 19-36-227-028

Know All Persons by These Presents: That **Kelly Crossing, LLC, a Florida limited liability company**  
whose address is 10124 Bertram Lane, Fort Myers, FL 33919

Convey(s) and Warrant(s) to **Maple Elm Development Company II LLC, a Michigan limited liability company**  
whose address is 31731 Northwestern Highway, Ste 250 W, Farmington Hills, MI 48334

the following described premises situated in the City of **Birmingham**, County of **Oakland**, State of Michigan, to wit:

(SEE ATTACHED EXHIBIT A)

More commonly known as: **219 Elm Street, Birmingham, MI 48009**

For the full consideration of: **Real Estate Transfer Valuation Affidavit on File**

**Subject To:**

Existing building and use restrictions, easements of record, and zoning ordinances, if any.

First American Title



First American Title Insurance Company

REVENUE TO BE AFFIXED  
AFTER RECORDING

RETURN TO:  
First American Title  
10291 E Grand River, Ste B  
Brighton, MI 48116

2020 JAN 16 PM 12:38  
LIBER 25102 PAGE 237  
30000

OKLB

**(Attached to and becoming a part of Warranty Deed dated: January 10<sup>th</sup>, 2020 between Kelly Crossing, LLC, a Florida limited liability company, as Seller(s) and Maple Elm Development Company II LLC, a Michigan limited liability company, as Purchaser(s).)**

Dated this 10<sup>th</sup> day of January, 2020.

**Seller(s):**

Kelly Crossing, LLC, a Florida limited liability company

By: Synergy Commercial Group LLC, a Florida limited liability company

Its: Sole Member

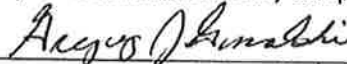
By: 

Name: Mark S. Turnbull

Title: Manager

State of Michigan  
County of OAKLAND

The foregoing instrument was acknowledged before me this 10<sup>th</sup> day of January, 2020 by Mark S. Turnbull, Manager of Synergy Commercial Group, LLC, a Florida limited liability company, Sole Member of Kelly Crossing, LLC, a Florida limited liability company.



Notary Public: GREGORY J. GAMALSKI

Notary County/State: 1 OAKLAND COUNTY, MICHIGAN

County Acting In: OAKLAND COUNTY

Commission Expires: 12/07/2020

*(Attached to and becoming a part of Warranty Deed dated: January 10, 2020 between Kelly Crossing, LLC, a Florida limited liability company, as Seller(s) and Maple Elm Development Company II LLC, a Michigan limited liability company, as Purchaser(s).)*

## **EXHIBIT A**

Land situated in the City of Birmingham, County of Oakland, State of Michigan, described as follows:

Lot 1, EXCEPT the North 158.70 feet, also EXCEPT the South 13.65 feet of the North 172.35 feet of the East 4.52 feet; also the West 9.50 feet of the South 124.68 feet of Lot 2 of ASSESSOR'S PLAT NO. 31, according to the plat thereof recorded in Liber 99 of Plats, Pages 16 and 17 of Oakland County Records.

Tax Parcel Number: 19-36-227-028

c/k/a 219 Elm Street, Birmingham, MI





## BUILDING FACADE AREA CALCULATIONS

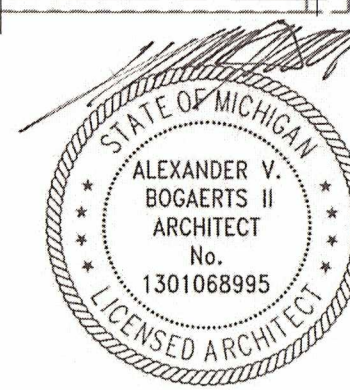
WEST (FRONT) ELEVATION - FIRST FLOOR  
WINDOWS 564 SF  
SKIN 1408 SF  
TOTAL: 1972 SF

FLOORS 2 THROUGH ROOF  
WEST (FRONT) ELEVATION  
WINDOWS 2172 SF  
SKIN 4099 SF  
TOTAL: 6271 SF

NORTH ELEVATION  
WINDOWS 197 SF  
SKIN 2806 SF  
TOTAL: 3003 SF

EAST ELEVATION  
WINDOWS 1850 SF  
SKIN 4421 SF  
TOTAL: 6271 SF

SOUTH ELEVATION  
WINDOWS 286 SF  
SKIN 2714 SF  
TOTAL: 3002 SF



NOTE TO BUILDING OFFICIAL:  
THIS DRAWING IS NOT VALID  
UNLESS THE SIGNATURE AND  
SEAL ARE IN BLUE INK.

APPROVED  
10/16/21  
19A21-0107

Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design

CLIENT PROJECT  
Bezak Companies  
All Seasons of Birmingham Ph2  
Birmingham MI

2445 Franklin Road  
Bloomfield Hills, MI 48302

West Elevator (Elm Street)

248 • 334 • 5000

© COPYRIGHT 2021  
ALEXANDER V. BOGAERTS + ASSOC.

PRELIMINARY  
01-18-2021

BIDS  
08-27-2021

PERMITS  
03-29-2021

CONSTRUCTION  
08-27-2021

REVISIONS  
City Comm 02-26-21  
50% CD 03-01-21  
PERMIT 03-29-21  
CITY RESP VOID 07-23-21  
CONSTRUCTION 08-27-21  
CITY RESPONSE 08-27-21

DRAWN BY  
Author

FILE NAME  
BM 300 JAH Seasons  
Birmingham  
Seasons.rvt

CHECKED BY  
Checker

JOB NUMBER  
1975

DATE

SHEET NUMBER  
A401



<p>Sheet Title _____</p>
<p>North (Left Side) Elevation</p>

LIENTI PROJECT  
 Bestak Companies  
 All Seasons of Birmingham Ph2  
 Birmingham MI

© COPYRIGHT 2021  
ALEXANDER V.  
BOGAERTS + ASSOC.

PRELIMINARY  
01-18-2021

☒ BIDS

<input checked="" type="checkbox"/> PERMITS 03-29-2021
---

☒ CONSTRUCTION  
08-27-2021

REVISIONS	
City Comm	02-26-21
50% CD	03-01-21
PERMIT	03-29-21
CITY RESP VOID	07-23-21
CONSTRUCTION	08-27-21
CITY RESPONSE	08-27-21

DRAWN BY \_\_\_\_\_

Author	
FILE NAME	BIM 360://All Seasons Birmingham/All Seasons.rvt
CHECKED BY	

Checker

JOB NUMBER \_\_\_\_\_

DATE \_\_\_\_\_

100

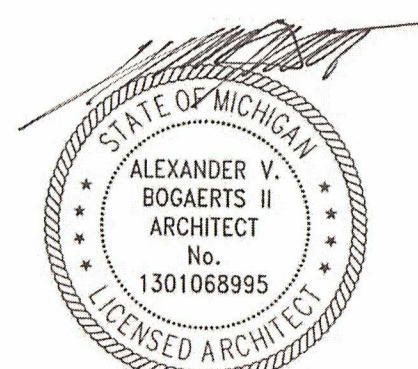
A 402

7402



25% WALL OPENINGS PER TBL. 705.8  
AT RECESSED WALL ABOVE ENTRY

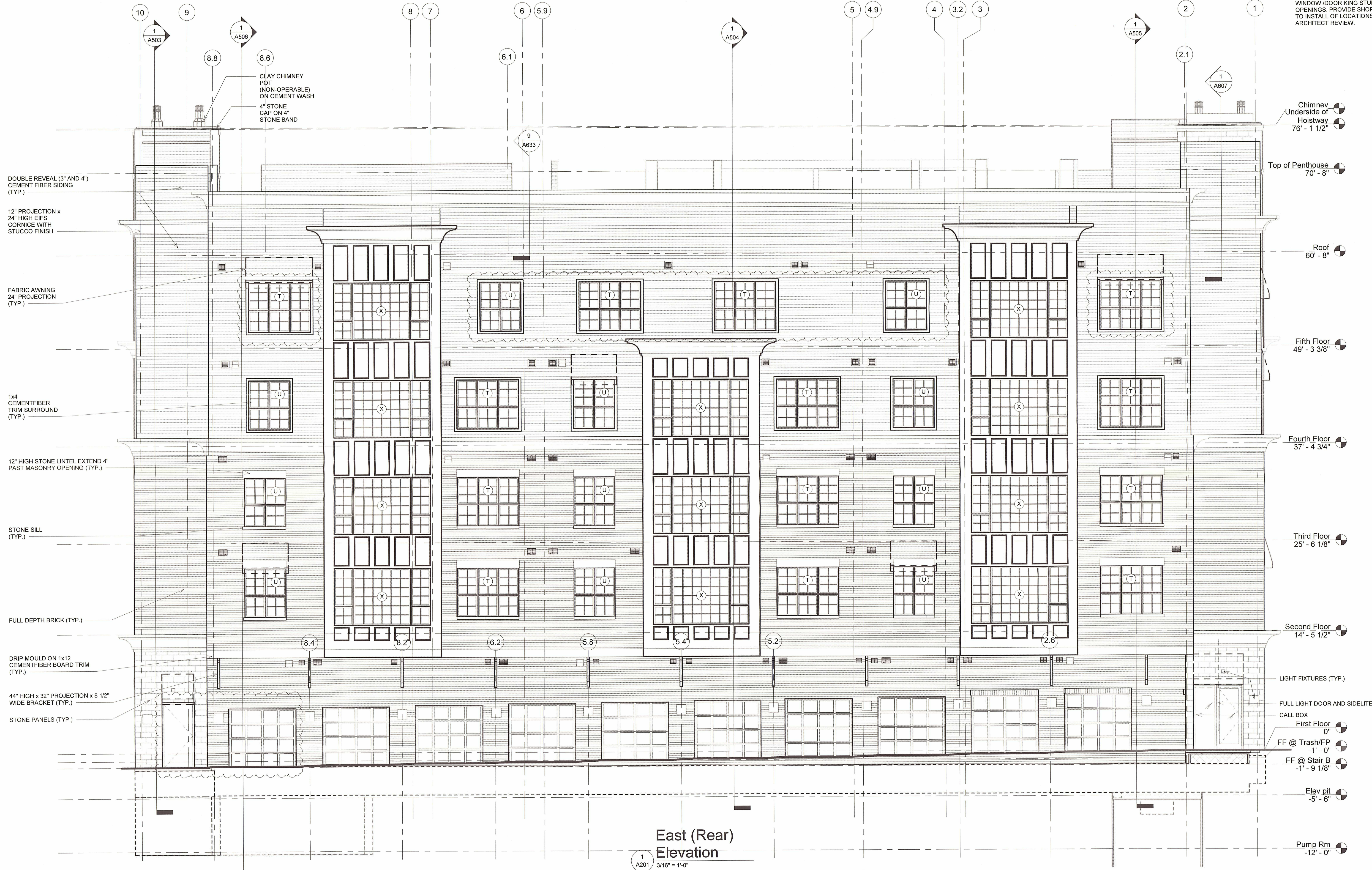
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UNLESS THE SIGNATURE AND  
SEAL ARE IN BLUE INK.



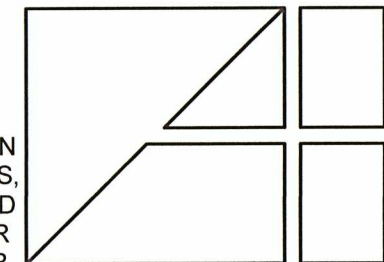
Alexander V. Bogaerts + Associates, P.C. ▪ Architecture ▪ Planning ▪ Interior Design



8/27/2021 1:45:35 AM



GENERAL NOTES:  
1. SEE SHEET A711 FOR WINDOW TYPES.  
2. SEE SPECS FOR MATERIALS.  
3. COORDINATE AND ALIGN ALL VENTILATION LOUVERS WITH STRUCTURAL COMPONENTS WINDOW/DOOR KING STUDS, CEILINGS, AND OPENINGS. PROVIDE SHOP DRAWING PRIOR TO INSTALL OF LOCATIONS ON FACADE FOR ARCHITECT REVIEW.



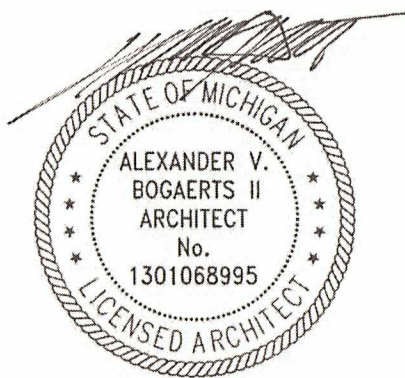
Interior Design  
2445 Franklin Road  
Bloomfield Hills, MI 48302  
248 • 334 • 5000

East (Rear) Elevation

CLIENT PROJECT  
Bezak Companies  
All Seasons of Birmingham Ph2  
Birmingham MI

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PRELIMINARY  
01-18-2021  
BIBS  
08-27-2021  
PERMITS  
03-29-2021  
CONSTRUCTION  
08-27-2021  
REVISIONS  
City Comm 03-28-21  
SOW CD 03-01-21  
PERMIT 03-29-21  
CITY RESP VOID 01-23-21  
CONSTRUCTION 08-27-21  
CITY RESPONSE 08-27-21

DRAWN BY  
Author  
FILE NAME  
BIM 360/AAI Seasons  
Birmingham/AAI  
Seasons.M  
CHECKED BY  
Checker  
JOB NUMBER  
1575  
DATE  
-  
SHEET NUMBER  
A403



NOTE TO BUILDING OFFICIAL:  
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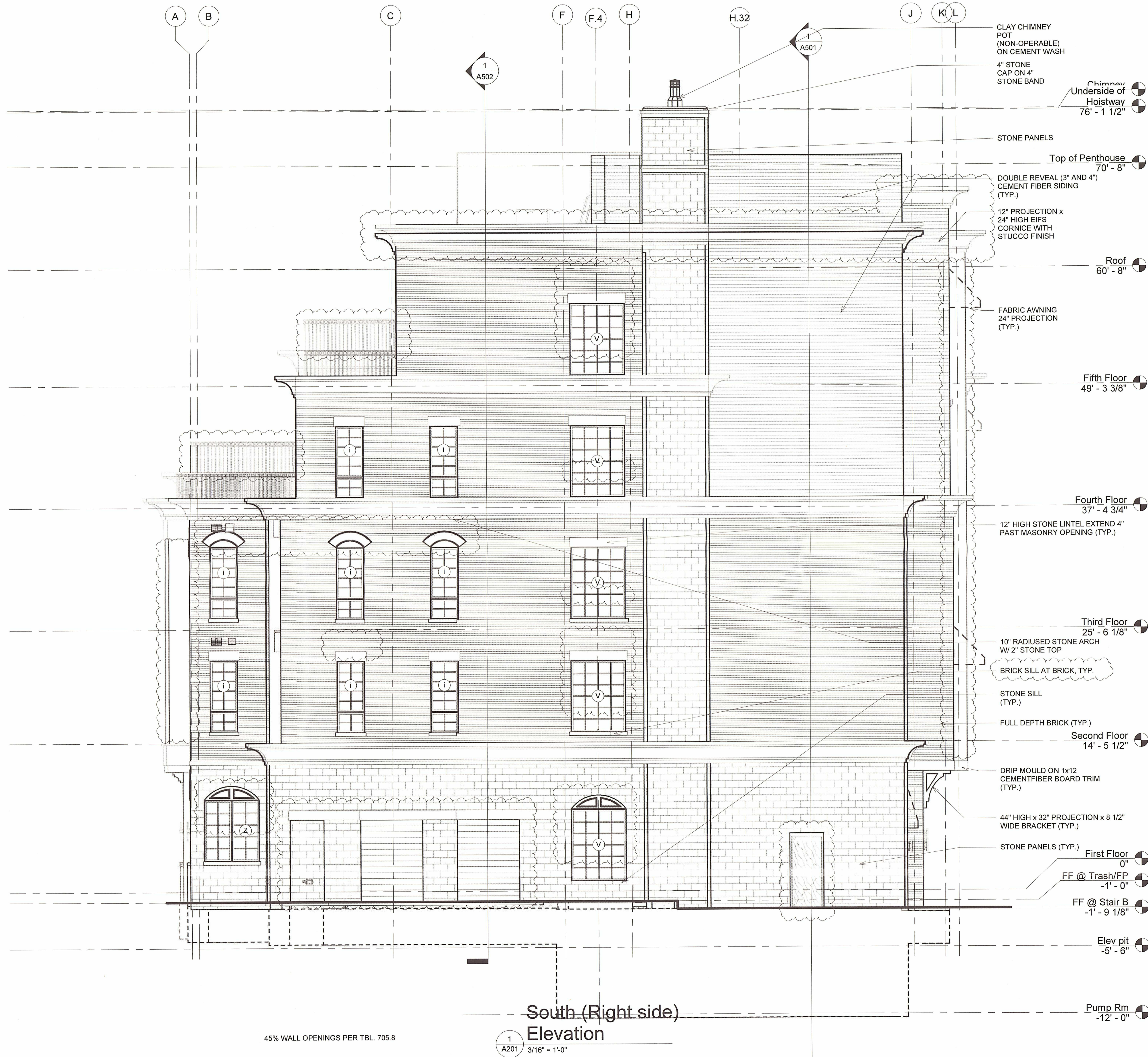
NO LIMIT ON WALL OPENINGS PER TBL 705.8

East (Rear)  
Elevation

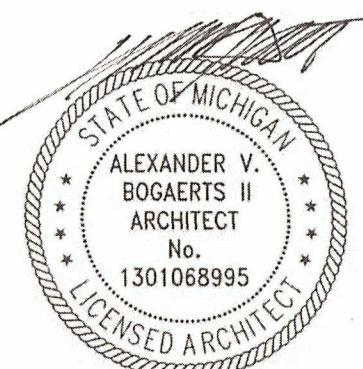
1  
A201  
3/16" = 1'-0"



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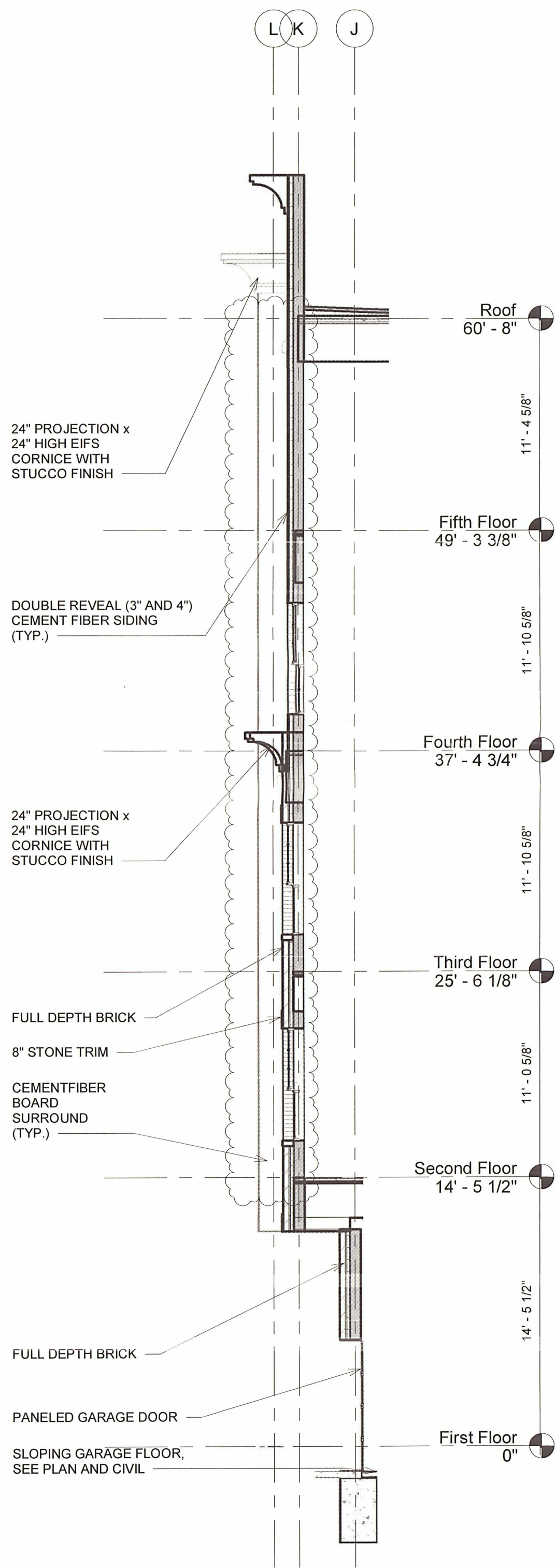
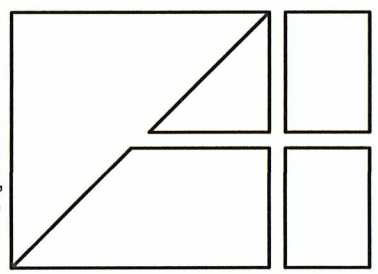
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A404

South (Right Side) Elevation

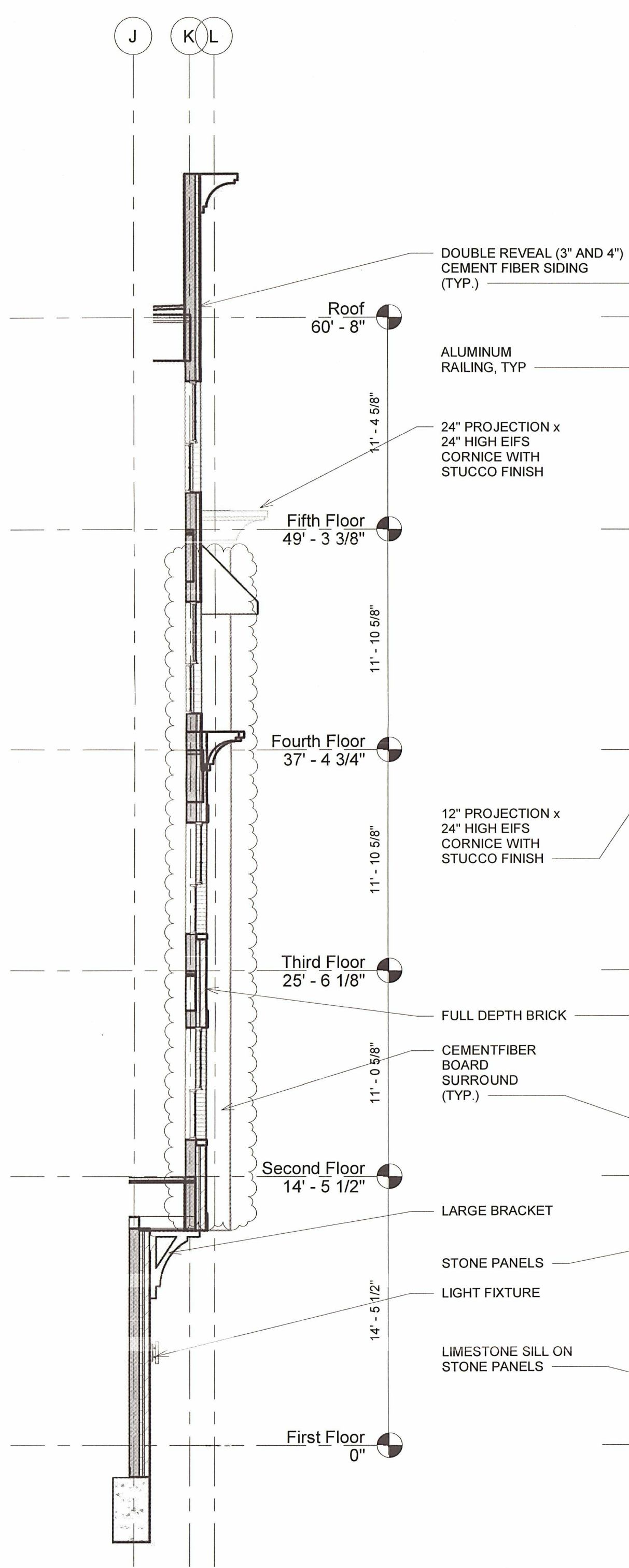


GENERAL NOTES:  
1. SEE SHEET A711 FOR WINDOW TYPES.  
2. SEE SPECS FOR MATERIALS.  
3. COORDINATE AND ALIGN ALL VENTILATION LOUVERS WITH STRUCTURAL COMPONENTS, WINDOW /DOOR KING STUDS, CEILINGS, AND OPENINGS. PROVIDE SHOP DRAWINGS PRIOR TO INSTALL OF LOCATIONS ON FACADE FOR ARCHITECT REVIEW.



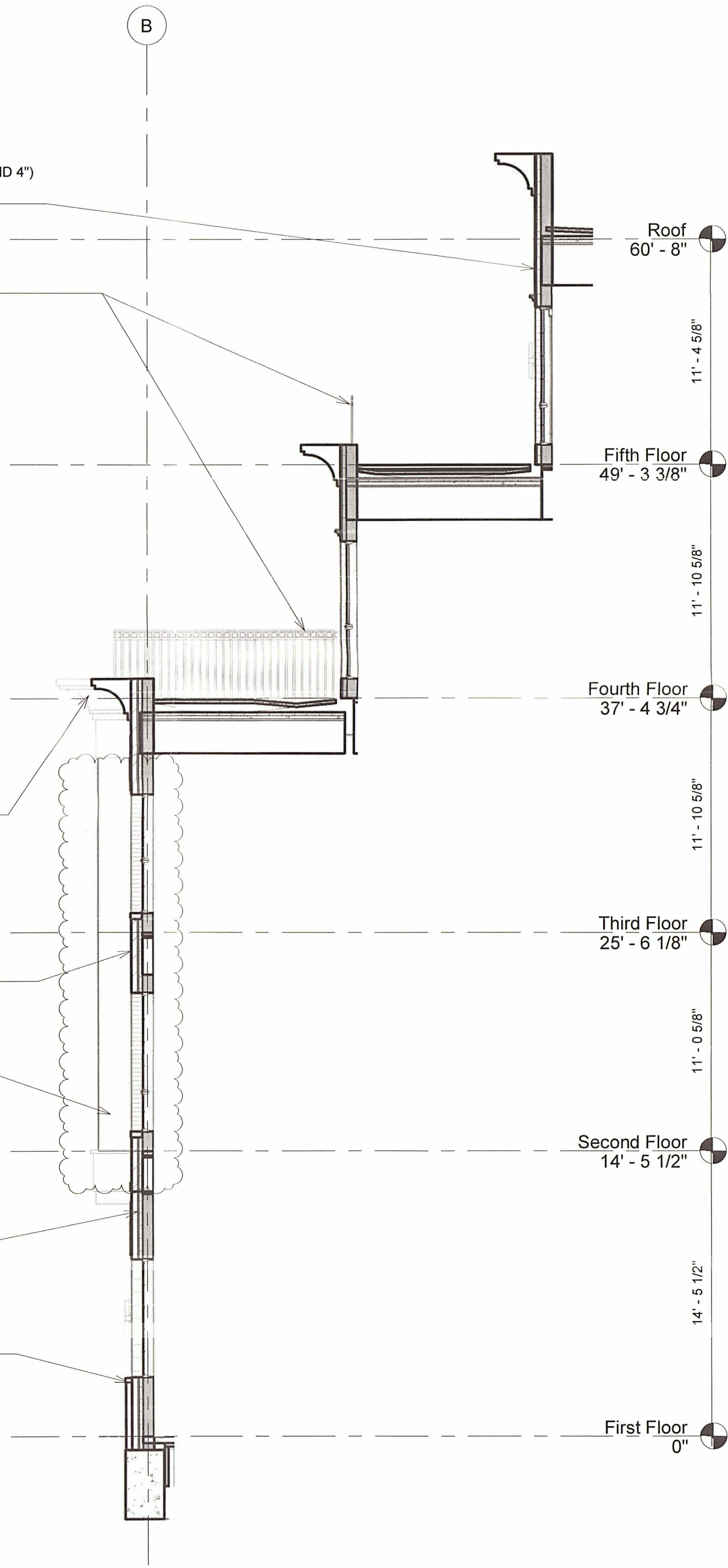
South face East  
Elevation

4  
A202 3/16" = 1'-0"



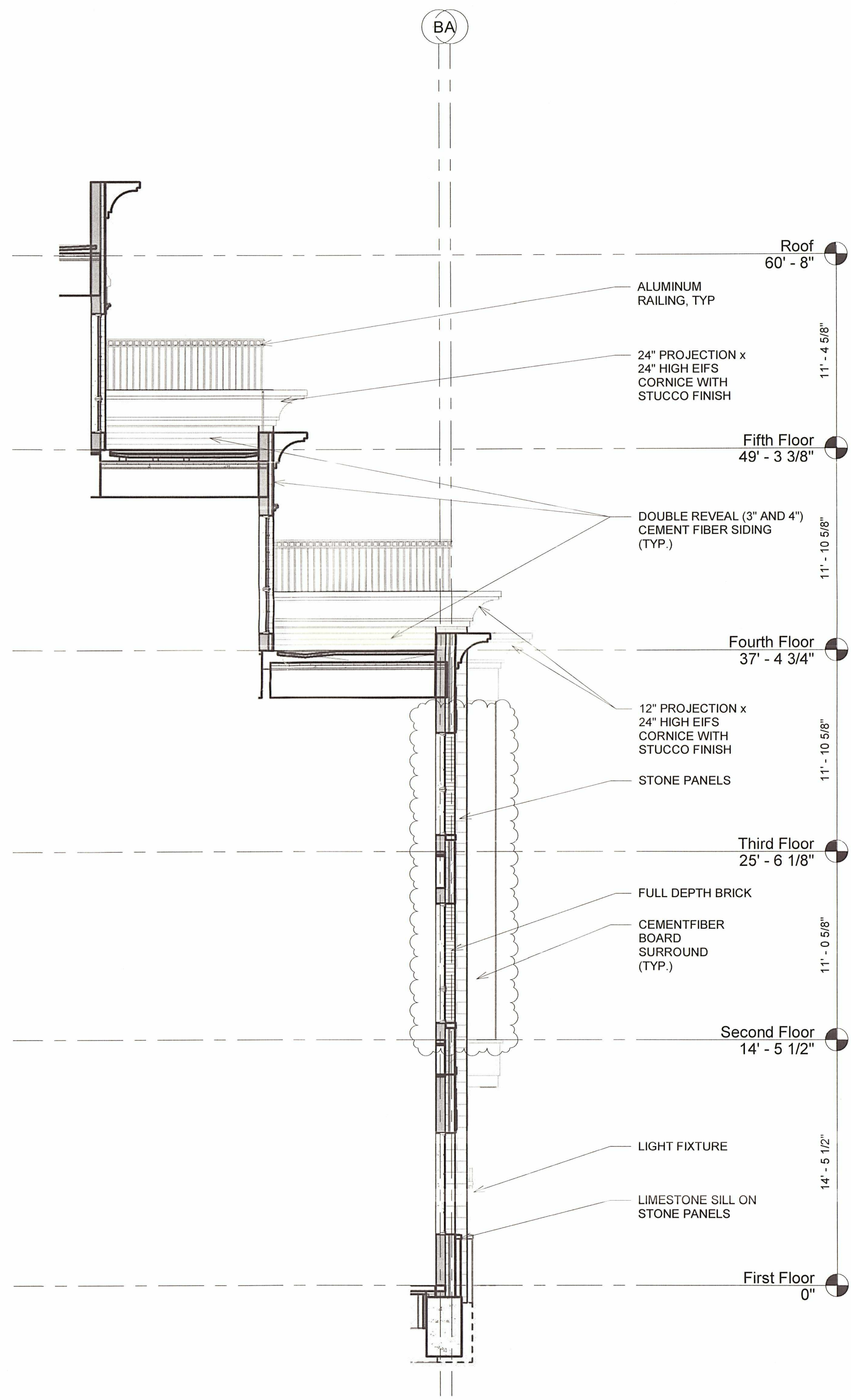
North face East  
Elevation

3  
A202 3/16" = 1'-0"



South face West  
Elevation

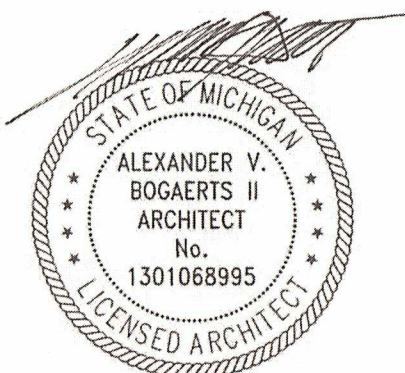
2  
A201 3/16" = 1'-0"



North face West  
Elevation

1  
A201 3/16" = 1'-0"

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Exterior Elevations

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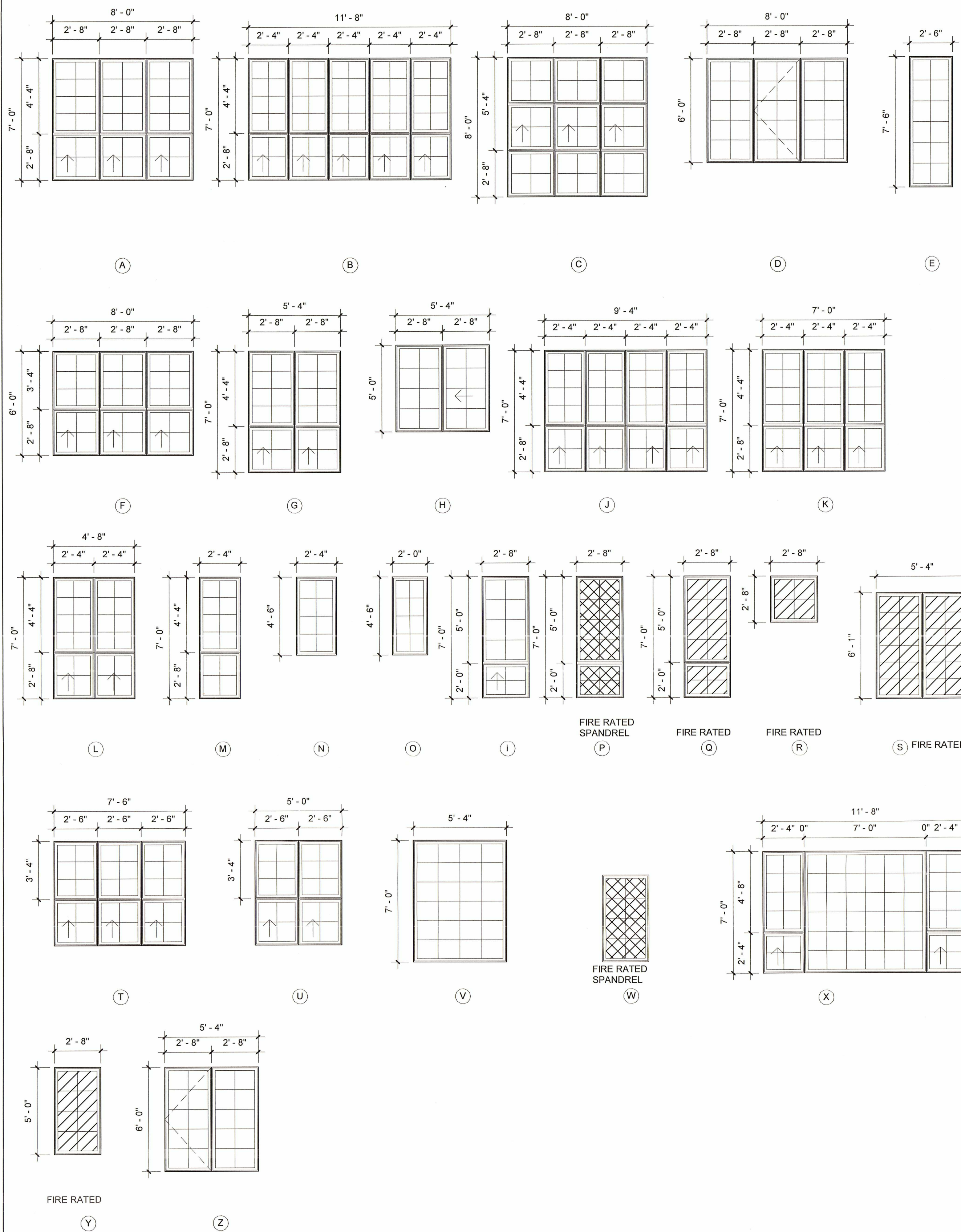
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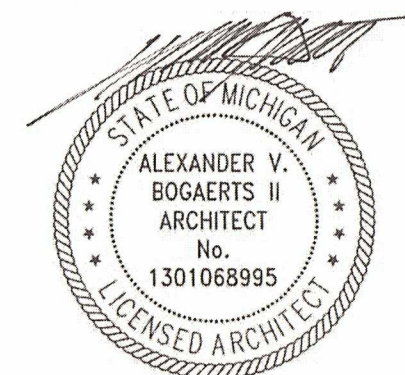
SHEET NUMBER  
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## WINDOW LEGEND

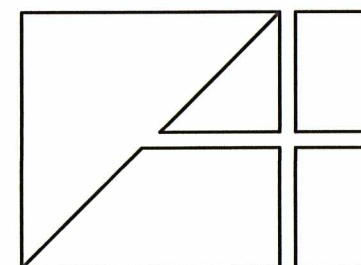


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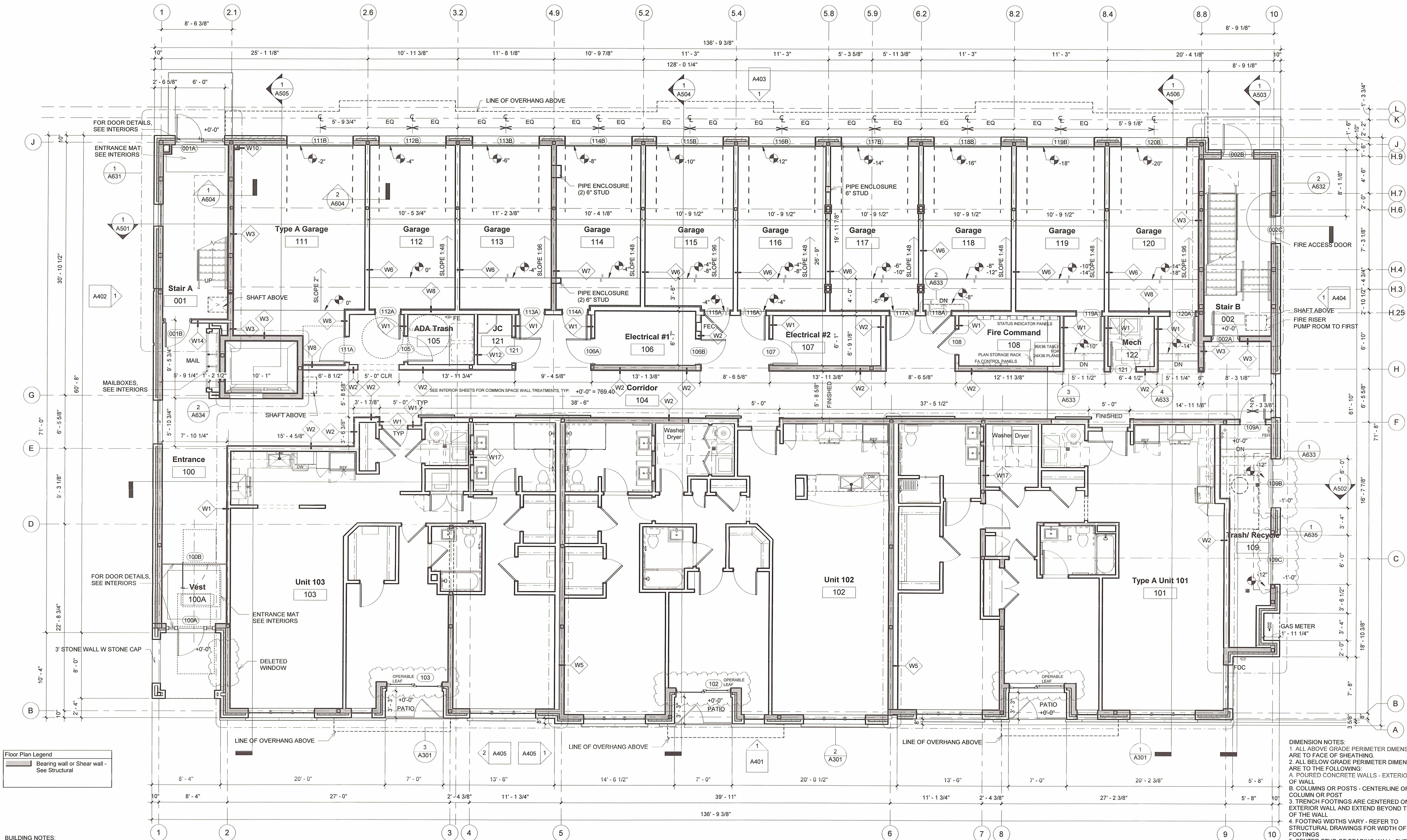


GENERAL NOTES:

1. WINDOW BASIS OF DESIGN: PELLA IMPERVIA
2. SEE DOOR SCHEDULE FOR DOORS
3. PROVIDE SAFETY GLASS AT ALL LOCATIONS REQUIRED BY CODE.
4. FIRE-RATED WINDOWS ARE TO BE 60 MINUTE ASSEMBLY, SEE SPECS. (NOT IMPERVIA)
5. DO NOT SCALE THE DRAWINGS. DIMENSIONS PROVIDED ARE APPROXIMATE ROUGH OPENING.







**BUILDING NOTES:**

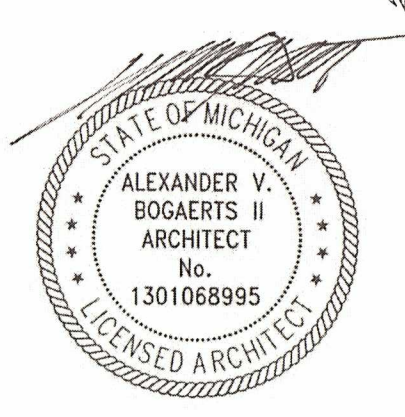
- ALL INTERIOR WALL DIMENSIONS ARE FACE TO FACE OF STUD UNLESS NOTED AND DETAILED OTHERWISE.
- NON-BEARING STUD WALLS ARE 3/8" EXCEPT WHERE INDICATED OTHERWISE ON THE DRAWINGS.
- SEE STRUCTURAL FRAMING SHEETS FOR ADDITIONAL INFORMATION REGARDING STUD SPACING, GAUGES, POSTS, COLUMNS, HEADERS, & BEAMS.
- IN GENERAL, INTERIOR AND EXTERIOR LOAD BEARING WALLS, TENANT SEPARATION & TENANT/CORRIDOR SEPARATION PARTITIONS ARE ONE HOUR FIRE RATED. SEE PLANS AND "FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS" CHART FOR SPECIFIC CONSTRUCTION ASSEMBLIES.
- SEE UNIT PLAN SHEETS & PARTIAL PLAN SHEETS FOR ALL PARTITION WALL DIMENSIONS.
- IN GENERAL, ALL INTERIOR TENANT SEPARATION, TENANT/CORRIDOR SEPARATION, & TOILET ROOM PARTITIONS TO INCLUDE 3 1/2" SOUND ATTENUATION INSULATION IN STUD SPACE. SEE PLANS FOR OTHER SOUND INSULATION LOCATIONS.
- PROVIDE BLOCKING IN WALLS FOR CORRIDOR ASSIST RAILS, STAIR RAILS, TOILET ROOM GRAB BARS AND ACCESSORIES, WALL HUNG CABINETS AND ALL OTHER WALL SUPPORTED ITEMS. SEE SHEET N-4 THRU N-7.
- ALL FIRE RATED ASSEMBLIES: 5/8" TYPE 'X' OR 'C' GYPSUM BOARD SHALL BE USED IN ASSEMBLIES AS PRINTED IN THE TESTING AGENCY'S TEXT. SEE DATA SHEETS FOR LISTED ASSEMBLIES.
- MAINTAIN CEILING AND WALL RATING BEHIND RECESSED LIGHT FIXTURES, SPEAKERS, RECESSED AND SEMI-RECESSED FEC'S, UNIT HEATERS, CABINETS, MAILBOXES, ECT. WITH (2) LAYERS 5/8" FIRE CODE GYPSUM BOARD, PACK ALL VOIDS WITH MINERAL WOOL, PROVIDE FIRE CODE GYPSUM BOARD BOX TO MAINTAIN CEILING FIRE RATINGS AND/OR WIRE GAGE TO MAINTAIN PROPER CLEARANCE BETWEEN LIGHT AND SURROUNDING INSULATION.
- COMMON WALL AND ELECTRIC BOXES:
  - WIRING BETWEEN LIVING UNITS SHALL BE SUCH THAT SOUND TRANSMISSION THROUGH ELECTRICAL BOXES, CONDUITS, OR OPENINGS IS PREVENTED.
  - ELECTRICAL BOXES IN FIRE RATED COMMON WALLS SHALL NOT BE MOUNTED BACK-TO-BACK IN THE SAME STUD SPACE.
  - ALL OPENINGS IN SHARED COMMON WALLS & FIRE RATED WALLS SHALL BE SEALED WITH 'DUXSEAL' COMPOUND.
  - SEE DRAWINGS FOR ADDITIONAL REQUIREMENTS FOR SHARED STAIRWELL WALLS.

- ACCESS BETWEEN DRAFTSTOP AREAS, TO BE FIELD LOCATED. SEE DETAIL.
- ALL PENETRATIONS THRU RATED ASSEMBLIES ARE TO BE FIRESTOPPED.
- PROVIDE 5/8" GYPSUM BOARD FIREBLOCKING @ 20" MAXIMUM INTERVALS @ ALL PORCH ROOF STRUCTURES, INCLUDING ENTRY CANOPY.
- COORDINATE ALL RATED MECHANICAL SHAFT LOCATIONS AND SIZES WITH MECHANICAL CONTRACTOR. TRUSS SUPPLIER AND G. C. SIZES SHOWN ARE FINISHED CLEAR DIMENSIONS.
- PROVIDE GYPSUM BOARD CONTROL JOINTS AT 30' MAXIMUM AND AT LOCATIONS WHERE FRAMING CHANGES DIRECTION.
- FIRE EXTINGUISHERS:
  - FEC DESIGNATES SEMI RECESSED FIRE EXTINGUISHER CABINETS.
  - FEH DESIGNATES FIRE EXTINGUISHER IN HOOK.
  - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS SHALL MEET THE REQUIREMENTS OF THE STATE AND LOCAL CODE. MOUNT FIRE EXTINGUISHERS AS REQUIRED. COORDINATE TYPE AND PLACEMENT WITH THE LOCAL FIRE INSPECTOR.
  - COORDINATE EXACT LOCATIONS OF ALL FLOOR DRAINS (FD) WITH MECHANICAL TRADES.
  - ALL WINDOW DIMENSIONS ARE NOMINAL. VERIFY ACTUAL DIMENSIONS WITH WINDOW MANUFACTURER.
  - DOWNSPOUTS:
    - DESIGNATES DOWNSPOUT TIED DIRECTLY INTO UNDERGROUND STORM SYSTEM. (TYPICAL UNLESS NOTED OTHERWISE). COORDINATE WITH PLUMBING AND CIVIL TRADES.
    - PROVIDE A 'KNOCK BOX' FOR ACCESS BY LOCAL EMERGENCY DEPARTMENT IN ENTRY BY VESTIBULE. FINAL LOCATION TO BE DETERMINED BY LOCAL FIRE MARSHALL.
    - PROVIDE ACOUSTIC MATT UNDERLAYMENT AT ALL HARD FLOOR SURFACES PER FIRE ASSEMBLY.
    - ROOF AND ROOF FRAMING NOTES:
      - SEE STRUCTURAL FRAMING PLANS. ACTUAL LAYOUTS ARE TO BE PROVIDED BY TRUSS SUPPLIER AND COORDINATED WITH THE ROUGH CARPENTER, MECHANICAL CONTRACTOR AND GENERAL CONTRACTOR.
      - JOISTS SHALL NOT BE LOCATED ABOVE MECHANICAL UNITS, DRYER VENTS, KITCHEN VENTS, ETC.
      - SPACING SHALL BE CONSISTENT ACROSS ENTIRE UNIT
      - ALIGN JOIST WEBBING TO ALLOW DUCT CROSSING

- B. TRUSS MANUFACTURER TO:**
- COORDINATE TRUSS SPACING AT PLUMBING FIXTURES, DRAINS, ETC. WITH MECHANICAL TRADES.
  - HEADER OFF AND PROVIDE GIRDERS AT FLOOR OPENINGS INCLUDING SHAFTS- COORDINATE WITH ROUGH CARPENTER AND MECHANICAL TRADES.
  - PROVIDE TOP OR INTERMEDIATE CHORD BEARING TRUSSES WHERE HEADERS ARE INDICATED TO BE 'RECESSED' OR 'FLUSH' ON PLANS.
  - VERIFY ALL HORIZONTAL DIMENSIONS IN FIELD.
  - VERIFY ALL GIRDER TRUSSES AND GABLE END TRUSSES AS INDICATED AND/OR REQUIRED.
  - COORDINATE LOCATIONS, WEIGHTS, AND OPENINGS FOR ALL ROOF TOP MECHANICAL UNITS WITH MECHANICAL CONTRACTOR.
  - REINFORCE ROOF TRUSSES AS NECESSARY TO SUPPORT ALL SNOW DRIFT LOADS AS REQUIRED BY CODE AND WHERE OTHERWISE INDICATED ON THE DRAWINGS.
  - REINFORCE ROOF TRUSSES TO SUPPORT DOMESTIC WATER AND FIRE PROTECTION MAIN LOADS - COORDINATE LOCATION WITH RESPECTIVE TRADES.
  - PROVIDE TRUSS EITHER SIDE OF PARALLEL FIREWALLS AND SPLIT TRUSSES AT PERPENDICULAR FIRE WALLS- SEE PLANS.
  - PROVIDE 4" HOUSEKEEPING PADS AS SHOWN ON MEP.

**First Floor Plan**

1 A401 3/16" = 1'-0"



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- DIMENSION NOTES:**
- ALL ABOVE GRADE PERIMETER DIMENSIONS ARE TO FACE OF SHEATHING.
  - ALL BELOW GRADE PERIMETER DIMENSIONS ARE TO THE FOLLOWING:
    - POURED CONCRETE WALLS - EXTERIOR FACE OF WALL.
    - COLUMNS OR POSTS - CENTERLINE OF COLUMN OR POST.
    - TRENCH FOOTINGS ARE CENTERED ON THE EXTERIOR WALL AND EXTEND BEYOND THE FACE OF THE WALL.
    - FOOTING WIDTHS VARY - REFER TO STRUCTURAL DRAWINGS FOR WIDTH OF ALL FOOTINGS.
    - CENTER STUD OF BEARING WALL, SHEAR WALL OR CORRIDOR ON COLUMN LINE.

**NOTE:**  
GYPSUM BOARD INSTALLED DURING THE ROUGH FRAMING PROCESS TO BE MOLD AND MILDEW RESISTANT TYPE I APPROVED FOR TEMPORARY EXPOSURE UNTIL THE SHELL IS ENCLOSED

**NOTE:**  
SHAFT/WALL LINER PANELS USED IN FOREWALL AND SIMILAR ASSEMBLIES INSTALLED DURING THE ROUGH FRAMING PROCESS TO BE MOLD AND MILDEW RESISTANT TYPE I APPROVED FOR TEMPORARY EXPOSURE UNTIL THE SHELL IS ENCLOSED

**NOTE:**  
FIRE EXTINGUISHER CABINET LOCATIONS SHALL BE SPACED FOR A 75' MAX TRAVEL DISTANCE UNLESS DIRECTED OTHERWISE BY THE LOCAL FIRE MARSHAL

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CITY RESP VOID	07-29-21
STRUC STUD	08-03-21
CONSTRUCTION	08-27-21
CITY RESPONSE	08-27-21

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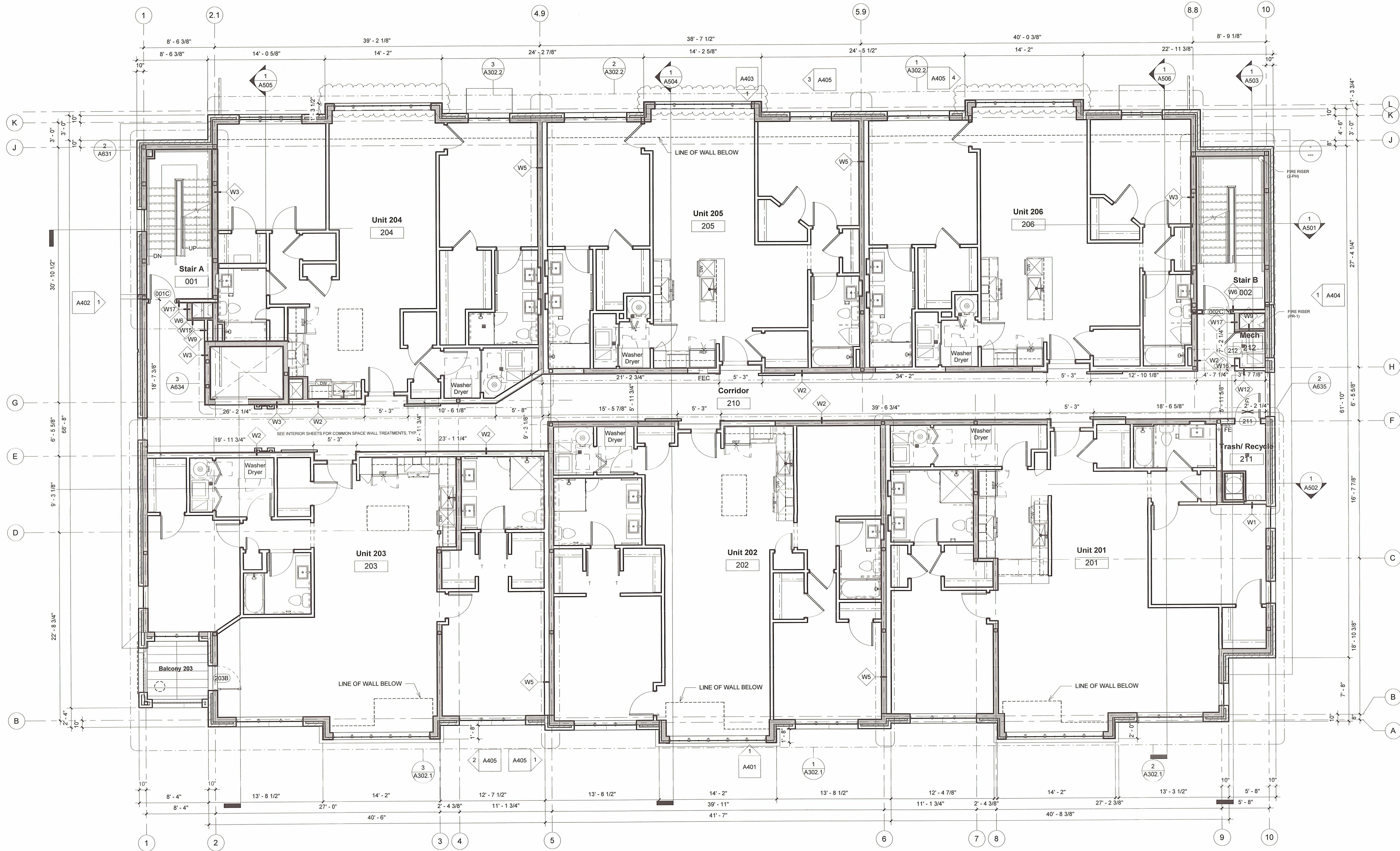
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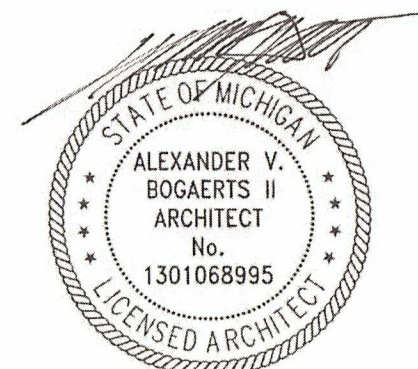
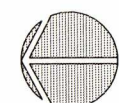
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1  
A401  
Second Floor Plan  
3/16" = 1'-0"



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BHEET TITLE  
Composite Second Floor Plan

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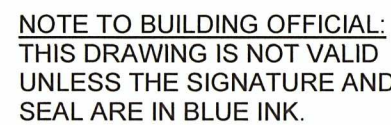
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<input checked="" type="checkbox"/> CONSTRUCTION 08-27-2021	03-29-21 STRUC STUD
	06-03-21 CONSTRUCTION
	08-27-21 CITY RESPONSE

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A202



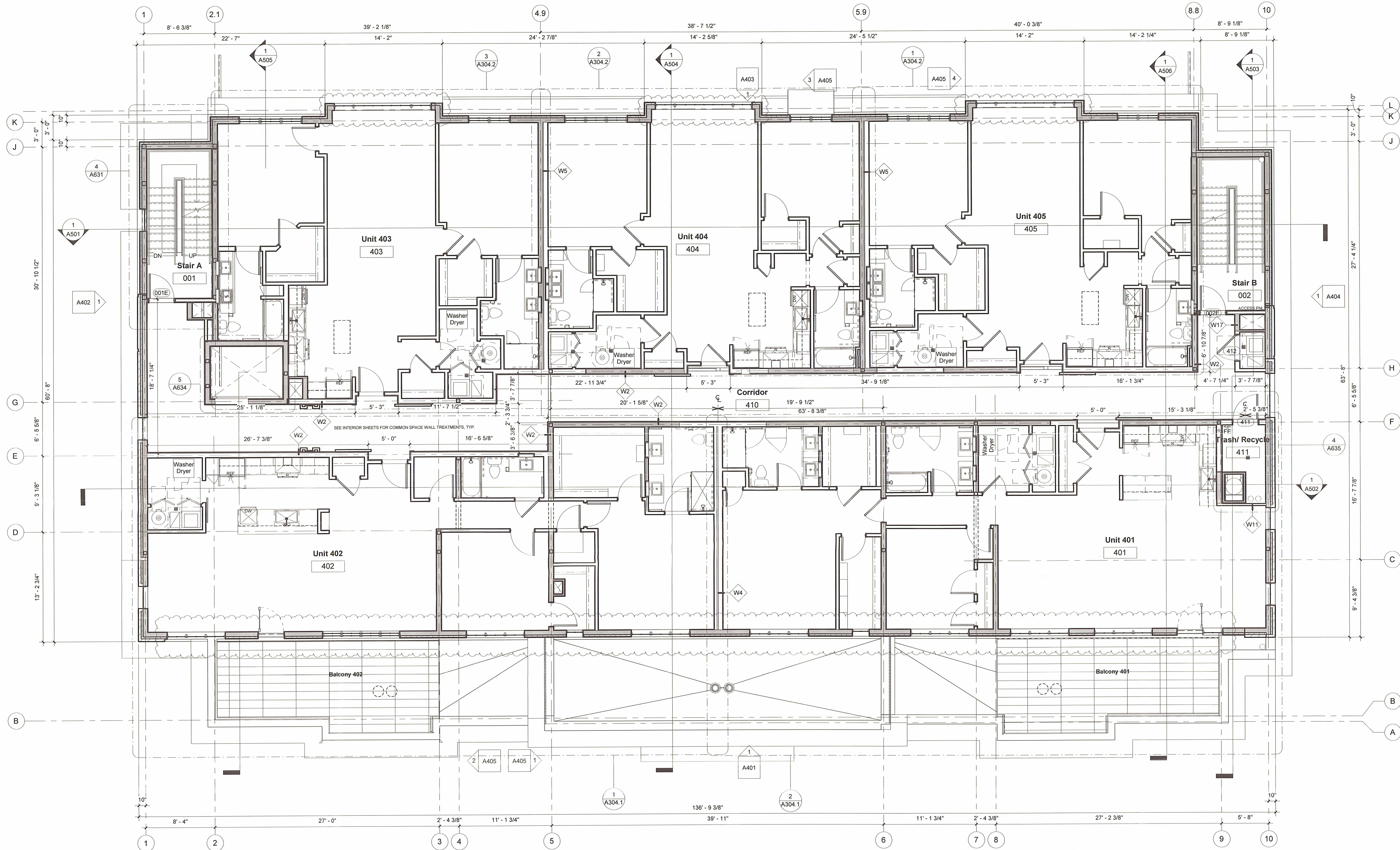


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1  
A401  
Fourth Floor Plan  
3/16" = 1'-0"



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REVISIONS

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CONSTRUCTION	08-27-21
CITY RESPONSE	08-27-21

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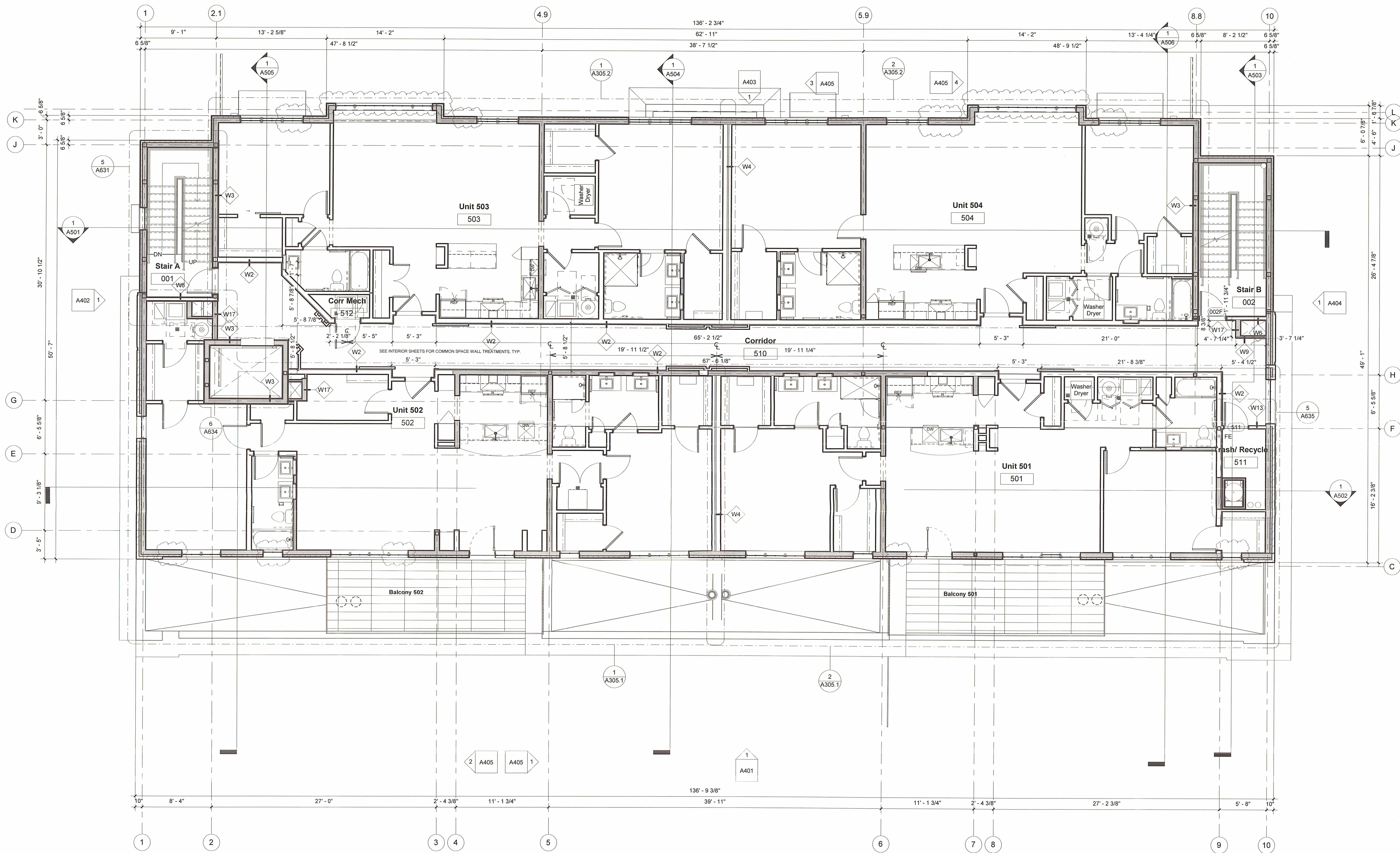
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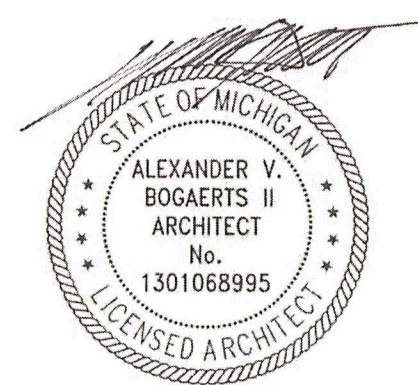
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**Fifth Floor Plan**  
1 A401 3/16" = 1'-0"



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## Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

**APPROVED**  
10/18/17  
PAA21-0111

### 1. Applicant

Name: Woodward Brown Ventures, LLC  
Address: 325 S. Old Woodward Ave Ste 2  
Birmingham, MI 48009  
Phone Number: 248-406-4900  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 2. Property Owner

Name: Woodward Brown Ventures, LLC  
Address: 325 S. Old Woodward Ave Ste 2  
Birmingham, MI 48009  
Phone Number: 248-406-4900  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 3. Applicant's Attorney/Contact Person

Name: Woodward Brown Ventures, LLC / Jeffrey Silverman  
Address: 325 S. Old Woodward Ave Ste 2  
Birmingham, MI 48009  
Phone Number: 248-406-4900  
Fax Number: \_\_\_\_\_  
Email Address: jsilverman@mitchellfo.com

### 4. Project Designer/Developer

Name: Booth Hansen LTD  
Address: 333 S. Desplaines St Suite 100  
Chicago, IL 60661  
Phone Number: 312-869-5023  
Fax Number: \_\_\_\_\_  
Email Address: dmann@boothhansen.com

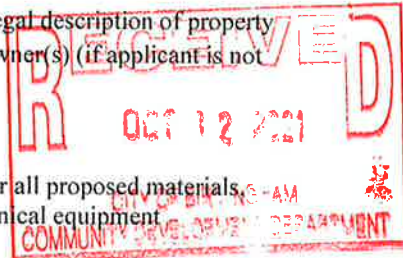
### 5. Project Information

Address/Location of Property: 298 S. Old Woodward Ave  
Birmingham, MI 48009  
Name of Development: Daxton Hotel  
Parcel ID#: \_\_\_\_\_  
Current Use: Mixed Use/Hotel & Residential  
Area in Acres: 0.54  
Current Zoning: B4 Business Residential

Name of Historic District if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: 8/9/2017  
Date of Revised Final Site Plan Approval: 7/25/2018

### 6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed



### 7. Details of the Request for Administrative Approval

The following items need administrative approval per 9/28/21 letter regarding Temporary Certificate of Occupancy. In grade LED lighting revised locations as indicated on L1.0 Landscape Plan; Streetscape revisions including relocation of benches to the North elevation, removal of bike rack and installation of City standard trash receptacle as indicated on L1.0 Landscape Plan Removal of (4) four existing trees on S. Old Woodward to be replaced with Frontier Elm as indicated on L1.0 Landscape Plan and L2.0 Planting List Modification to 5th floor rooms 511 and 512 to include a residential kitchenette and other attributes as indicated on A105 5th level plan and A115 5th Level Ref Ceiling plan, A129 & A130 Enlarged 5th Level plan

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: \_\_\_\_\_

Date: 10/11/21

Application #: PAA21-0111

Office Use Only  
Date Received: 10/12/21

Fee: \$100.00

Date of Approval: 10/19/21

Date of Denial: N/A

Reviewed By: \_\_\_\_\_



**CONSENT OF PROPERTY OWNER**

I, Woodward Brown Ventures, LLC, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 298 S. Old Woodward Ave;  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Mark Mitchell;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

**By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.**

Name of Owner (Printed): Mark Mitchell

Signature of Owner:  Date: 10/11/21



## Daxton Hotel

Photographs - existing conditions

October 8, 2021



1. Existing Streetscape on Old Woodward looking West  
(benches removed )



2. Existing Streetscape on Old Woodward looking West (benches  
removed )







3. Existing Streetscape on Old Woodward looking East (benches removed )



4. View of Via (alley) from Old Woodward looking northeast





5. View of Via looking towards Old Woodward



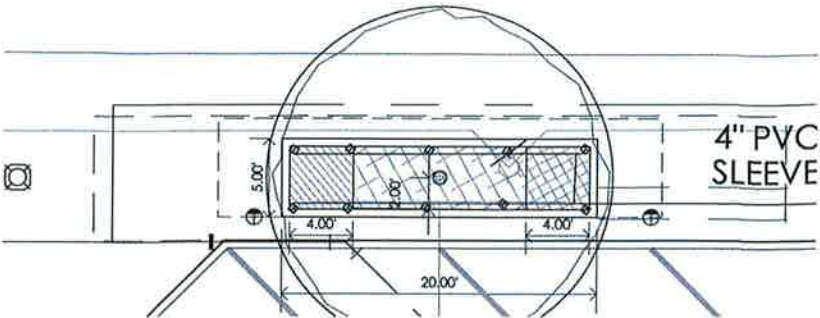
6. View of Via looking towards northwest



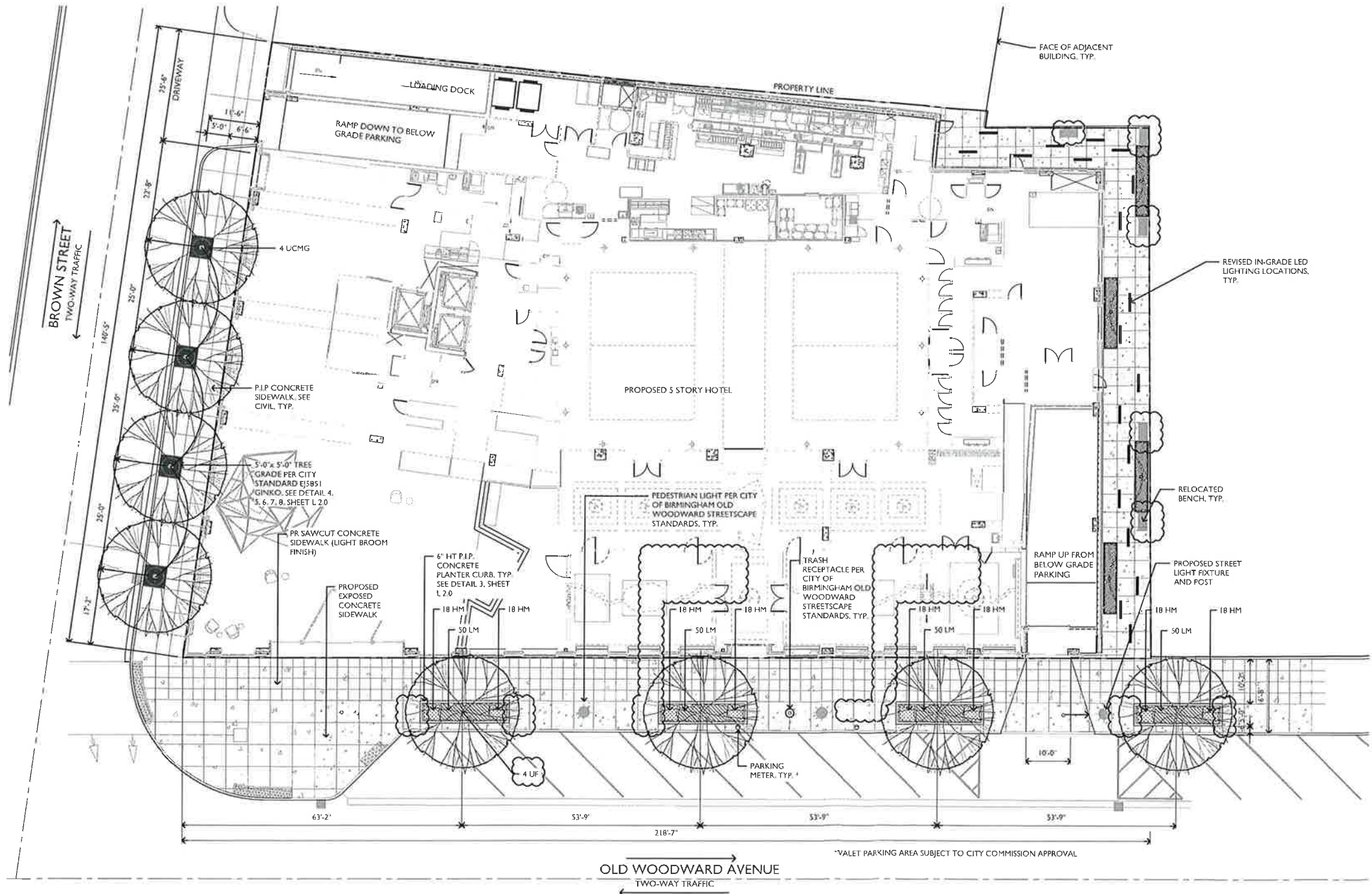
BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

- NOTES:
- IRRIGATION CONTRACTOR SHALL IMPLEMENT OLD WOODWARD STREETSCAPE IRRIGATION PLAN AND EXTEND INTO DAXTON HOTEL STREETSCAPE PROJECT.
  - SHOWN FOR REFERENCE ONLY
  - REFER TO SHEET 104 FROM PROJECT: OLD WOODWARD AVE RECONSTRUCTION PROJECT CONTRACT # 2-17(P)



2 PLANTER TYPE 'A' IRRIGATION - FOR REFERENCE ONLY  
SCALE: NTS



1	ISSUED FOR ADMINISTRATIVE APPROVAL	10-06-21
2	ISSUED FOR PERMIT CORRECTION	02-18-19
3	ISSUED FOR CONSTRUCTION	02-01-19
4	ISSUED FOR BID	10-29-18
5	ISSUED FOR 90% CD	09-28-18
6	ISSUED FOR BUILDING PERMIT	06-31-18
7	ISSUED FOR CITY REVIEW	04-19-18
8	DESIGN DEVELOPMENT PROGRESS	02-02-18

ISSUED FOR CONSTRUCTION  
2019.02.01

PROJECT NUMBER 1823

Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

GROUND LEVEL  
LANDSCAPE PLAN

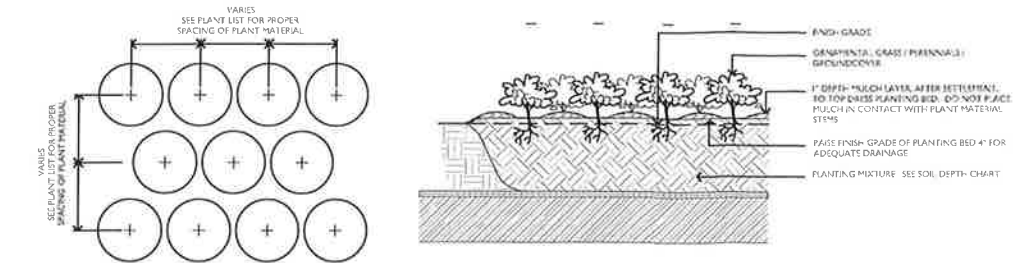
L1.0



	CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS
TREES	UF	ULMUS 'FRONTIER'	FRONTIER ELM	4	3.5"	4'	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
	UCMG	ULMUS CARPINIFOLIA 'MORTON GLOSSY'	FRONTIER ELM	4	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
ORN. GRASSES	CAKF	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	32	-	-	-	#1	2'-0" ON CENTER
PERENNIALS, SHRUBS AND GROUND COVER	AHHA	AMSONIA HUBRICHTII 'HALFWAY TO ARKANSAS'	BLUE STAR	32	-	24"	24"	#1	2'-6" ON CENTER
	HPP	HEUCHERA X 'PALACE PURPLE'	'PALACE PURPLE' CORAL BELLS	48	-	18"	12"	#1	1'-0" ON CENTER
	HM	HAKONECHLOA MACRA 'AUREOLA'	JAPANESE FOREST GRASS	144	-	-	-	#1	1'-0" ON CENTER
	LM	LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LILYTURF	200	-	-	-	#1	1'-0" ON CENTER
	HSS	HOSTA 'SUM AND SUBSTANCE'	'SUM AND SUBSTANCE' HOSTA	18	-	-	-	#1	3'-0" ON CENTER

### 1 PLANT PALETTE

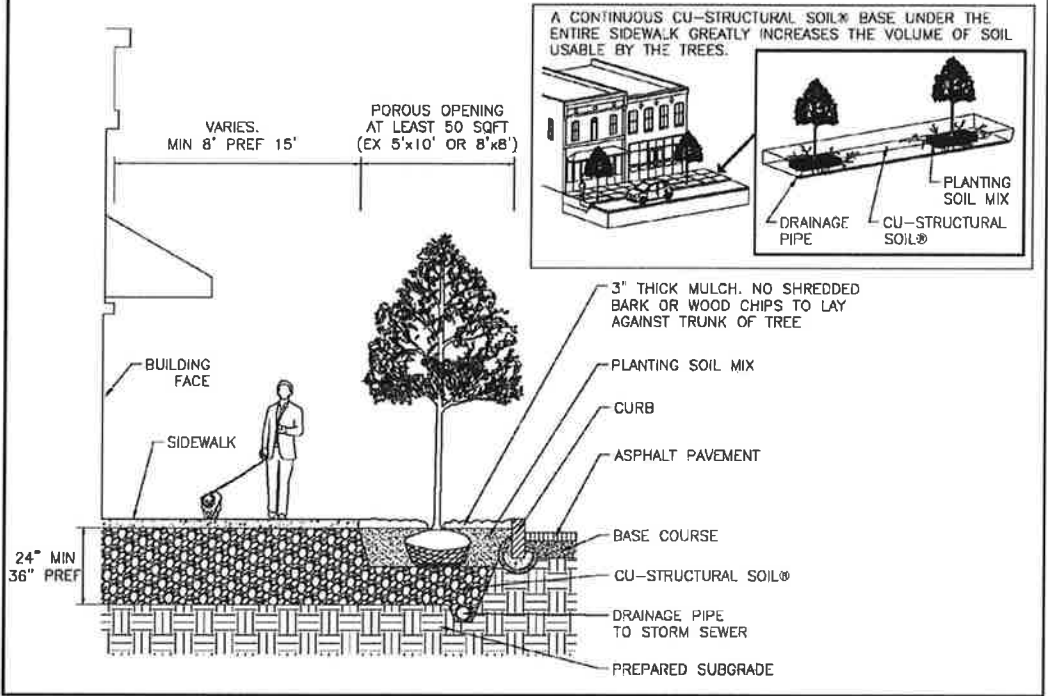
NOTE: QUANTITIES ON THE PLANT PALETTE ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.



2 ORNAMENTAL GRASS, PERENNIAL AND GROUND COVER INSTALLATION DETAIL  
SCALE: 1" = 1'-0"

### TYPICAL TREE PLANTING PIT WITH CU-STRUCTURAL SOIL® ALONG SIDEWALK

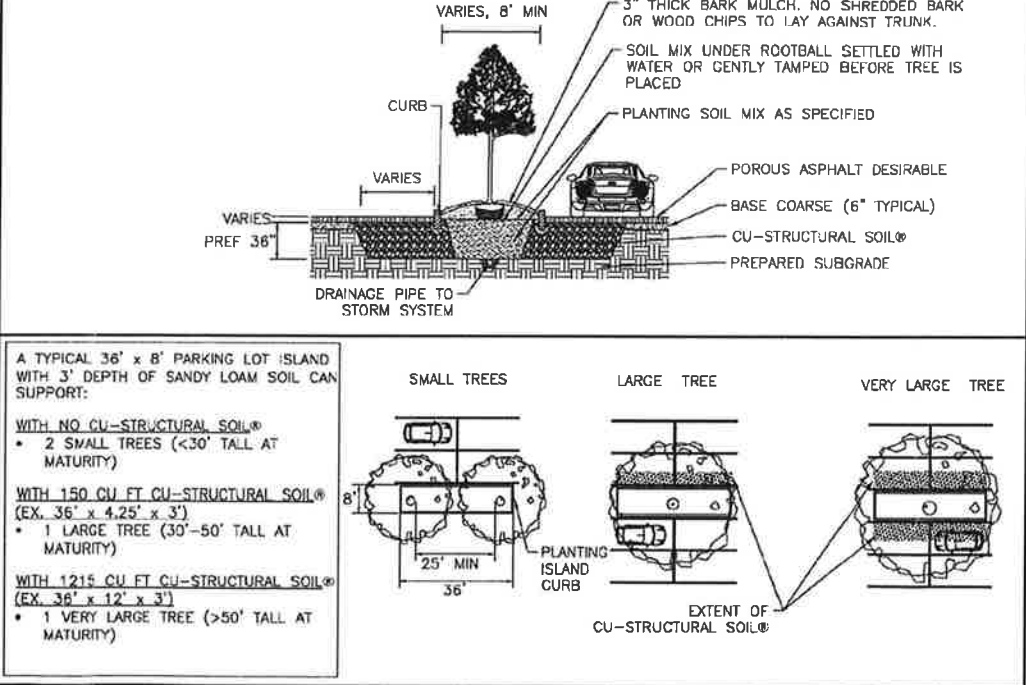
SCALE:  
N.T.S.  
DRAWN BY:  
BRD



3 TREE PLANTING IN SIDEWALK TYPICAL  
SCALE: N.T.S.

### TYPICAL TREE PLANTING ISLAND IN A PARKING LOT WITH CU-STRUCTURAL SOIL®

SCALE:  
N.T.S.  
DRAWN BY:  
BRD



4 TREE IN RAISED PLANTER TYPICAL  
SCALE: N.T.S.



10	ISSUED FOR ADMINISTRATIVE APPROVAL	10-06-21
9	ISSUED FOR PERMIT CORRECTION	02-18-19
8	ISSUED FOR CONSTRUCTION	02-01-19
7	ISSUED FOR BID	10-29-18
6	ISSUED FOR 90% CD	09-28-18
5	ISSUED FOR BUILDING PERMIT	08-31-18
4	ISSUED FOR CITY REVIEW	04-19-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18

ISSUED FOR CONSTRUCTION  
2019.02.01

PROJECT NUMBER 1623

Daxton Hotel  
298 S Old Woodward Ave.  
Birmingham, MI 48009

PLANT LIST AND DETAILS

L2.0



BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

PLAN GENERAL NOTES

- SEE INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, ELEVATIONS, AND DETAILS OF GUESTROOMS AND GUESTROOM BATHROOMS.
- FOR ADDITIONAL INFORMATION ON KITCHEN EQUIPMENT, SEE FOOD SERVICE DRAWINGS.
- SEE A600 FOR EXTERIOR WALL TYPES.
- REFER TO INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAILS OF ALL PUBLIC SPACES.
- PROVIDE METAL CORNER GUARDS AT ALL EXPOSED CMU CORNERS IN BOH SPACES.
- REFER TO FOOD SERVICE DRAWINGS FOR CORNER GUARDS IN FOOD SERVICE AREAS.
- REFER TO SHEET A604 DOOR SCHEDULE FOR SCHEDULE OF CASED OPENINGS AND SIZES.
- PROVIDE PLYWOOD BACKING AS REQUIRED IN TELLER CLOSET.
- REFER TO LANDSCAPE DRAWINGS FOR FOR GREEN ROOF PLANTINGS.
- FINAL LOCATIONS OF FIRE EXTINGUISHER CABINETS TO BE REVIEWED/APPROVED BY FIRE DEPARTMENT AND BUILDING OFFICIAL ON SITE.

32	ISSUED FOR ADMINISTRATIVE APPROVAL	04-09-21
31	ISSUED FOR REVISED BUILDING PERMIT	04-10-20
26	BULLETIN #13	07-31-19
20	BULLETIN #07	04-18-19
18	BULLETIN #05	02-22-19
17	ISSUED FOR CONSTRUCTION	02-01-19
16	BID ADDENDUM #2	11-16-18
15	PERMIT CORRECTIONS	11-16-18
14	ISSUE FOR BID	10-30-18
13	ISSUED FOR 90% CD	09-28-18
11	ISSUED FOR BUILDING PERMIT	08-31-18
5	ISSUED FOR SUPERSTRUCTURE BID	03-15-18
4	ISSUED FOR FOUNDATION PERMIT	02-19-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18
1	SCHEMATIC DESIGN	8-31-17

NO DESCRIPTION DATE



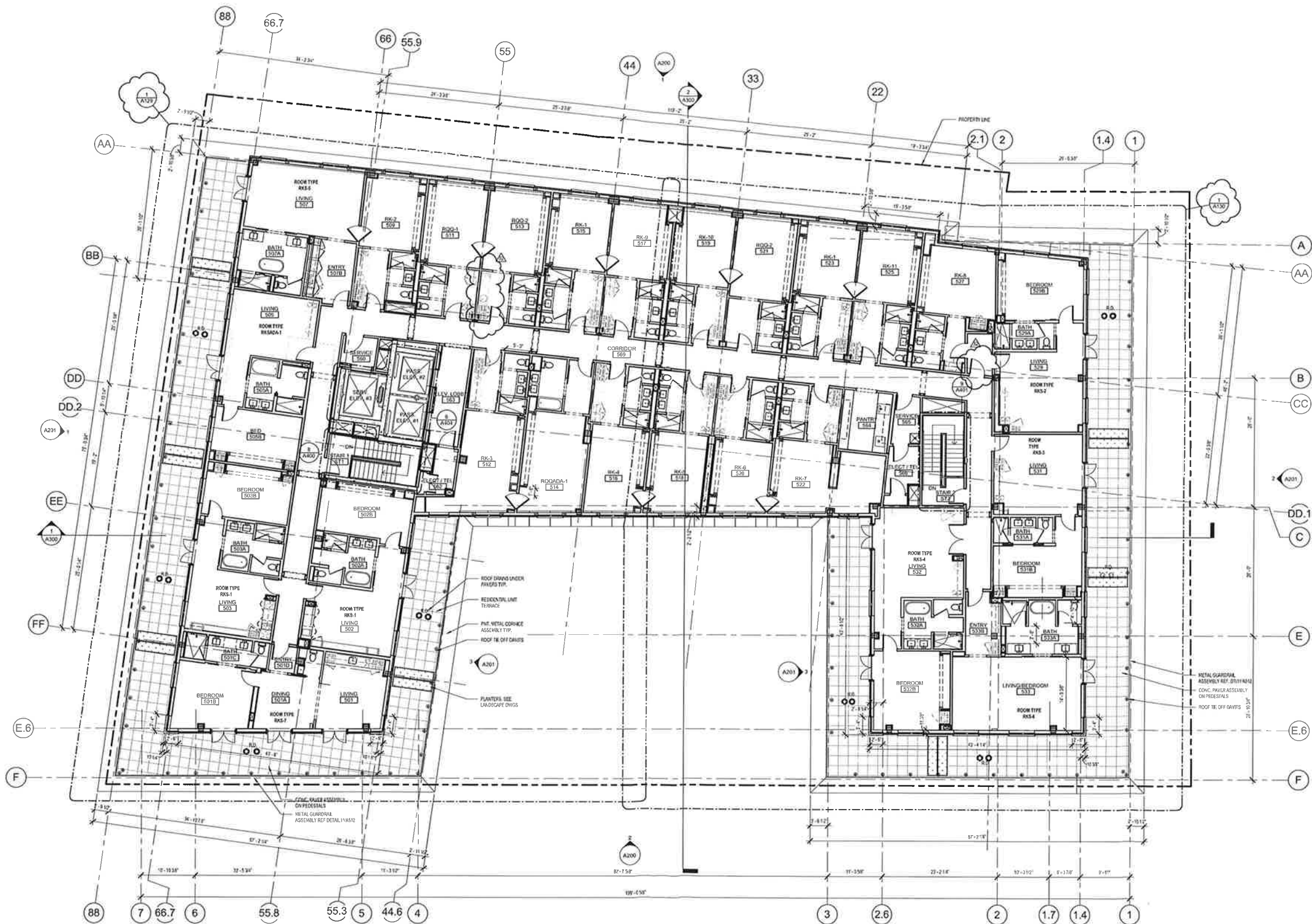
PROJECT NUMBER 1623

Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

FIFTH LEVEL PLAN

A105



1 FIFTH LEVEL PLAN

0 1 2 4 8



BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

RCP GENERAL NOTES

1. RECESSED LIGHTING FIXTURE HOUSINGS SHALL BE SEALED TO THE CEILING OPENING IN BATHROOMS, BATHTUB AREAS, SHOWERS TO KEEP MOISTURE FROM ENTERING THE CEILING PLENUM ABOVE.
2. REFER TO INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAILS FOR GUESTROOMS AND GUESTROOM BATHROOMS.
3. PAINT BOH EXPOSED STRUCTURE U.N.O.
4. REFER TO INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAILS OF ALL PUBLIC SPACES.
5. REFER TO ELECTRICAL DRAWINGS FOR SMOKE/CO DETECTOR TYPES.

- GYP, BD, CEILING
- LEVEL 5 SKIM COAT PLASTER
- GUEST ROOM ACOUSTIC CEILING TILE
- BOH ACOUSTIC CEILING TILE
- SPEAKER
- SPRINKLER
- SECURITY CAMERA
- CO / SMOKE ALARM - REFER TO ELEC. DWGS. (GUEST ROOMS)
- OCCUPANCY SENSOR (GUEST ROOMS)

ACCESS PANEL KEY		
AP-1	12" X 12"	
AP-2	18" X 18"	
AP-3	24" X 24"	
AP-4	36" X 36"	

GENERAL CONTRACTOR TO VERIFY BEING AND QUANTITIES WITH MECHANICAL SUB. REFER TO SPECIFICATION FOR ACCESS PANEL TYPE.

NO.	DESCRIPTION	DATE
32	ISSUED FOR ADMINISTRATIVE APPROVAL	04-09-21
27	BULLETIN #14	09-13-19
22	BULLETIN #09	06-28-19
21	BULLETIN #08	05-15-19
20	BULLETIN #07	04-18-19
18	BULLETIN #05	02-22-19
17	ISSUED FOR CONSTRUCTION	02-01-19
16	BID ADDENDUM #2	11-16-18
15	PERMIT CORRECTIONS	11-16-18
14	ISSUE FOR BID	10-30-18
13	ISSUED FOR 90% CD	09-28-18
11	ISSUED FOR BUILDING PERMIT	08-31-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18

PROJECT NUMBER 1623

Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

REFLECTED CEILING PLAN -  
FIFTH LEVEL

A115



1 REFLECTED CEILING PLAN - FIFTH LEVEL

M:\Projects\1623 Birmingham Hotel\01 Drawings\02 Local\1623 Birmingham Hotel\_dubee333.rvt



BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

GUESTROOM FLOOR PLAN GENERAL NOTES

1. SEE INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, ELEVATIONS, AND DETAILS OF BATHROOMS, PUBLIC CORRIDOR, PANTRY, AND GUESTROOM SPACES.
2. ALL FURRING PARTITIONS IN GUEST ROOMS IS TYPE E3 U.N.O.
3. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE PLANTINGS ON ROOF TERRACE.
4. FINAL LOCATIONS OF FIRE EXTINGUISHER CABINETS TO BE REVIEWED/APPROVED BY FIRE DEPARTMENT AND BUILDING OFFICIAL ON SITE.

32	ISSUED FOR ADMINISTRATIVE APPROVAL	04-09-21
01	ISSUED FOR REVISED BUILDING PERMIT	04-10-20
28	BULLETIN #15	12-06-19
26	BULLETIN #13	07-31-19
20	BULLETIN #07	04-18-19
18	BULLETIN #05	02-22-19
17	ISSUED FOR CONSTRUCTION	02-01-19
16	BID ADDENDUM #2	11-10-18
15	PERMIT CORRECTIONS	11-16-18
14	ISSUE FOR BID	10-30-18
13	ISSUED FOR 90% CD	09-26-18
11	ISSUED FOR BUILDING PERMIT	08-31-18



PROJECT NUMBER 1623

Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

ENLARGED FIFTH LEVEL  
FLOOR PLAN

A129



1 ENLARGED FIFTH LEVEL FLOOR PLAN





BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

GUESTROOM FLOOR PLAN GENERAL NOTES

1. SEE INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, ELEVATIONS, AND DETAILS OF BATHROOMS, PUBLIC CORRIDOR, PANTRY, AND GUESTROOM SPACES.
2. ALL FURRING PARTITIONS IN GUEST ROOMS IS TYPE E3 U.N.O.
3. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE PLANTINGS ON ROOF TERRACE.
4. FINAL LOCATIONS OF FIRE EXTINGUISHER CABINETS TO BE REVIEWED/APPROVED BY FIRE DEPARTMENT AND BUILDING OFFICIAL ON SITE.

32	ISSUED FOR ADMINISTRATIVE APPROVAL	04-09-21
31	ISSUED FOR REVISED BUILDING PERMIT	04-10-20
21	BULLETIN #06	05-15-19
20	BULLETIN #07	04-18-19
18	BULLETIN #05	02-22-19
17	ISSUED FOR CONSTRUCTION	02-01-19
16	BID ADDENDUM #2	11-16-18
15	PERMIT CORRECTIONS	11-16-18
14	ISSUE FOR BID	10-30-18
13	ISSUED FOR 90% CD	09-28-18
11	ISSUED FOR BUILDING PERMIT	08-31-18

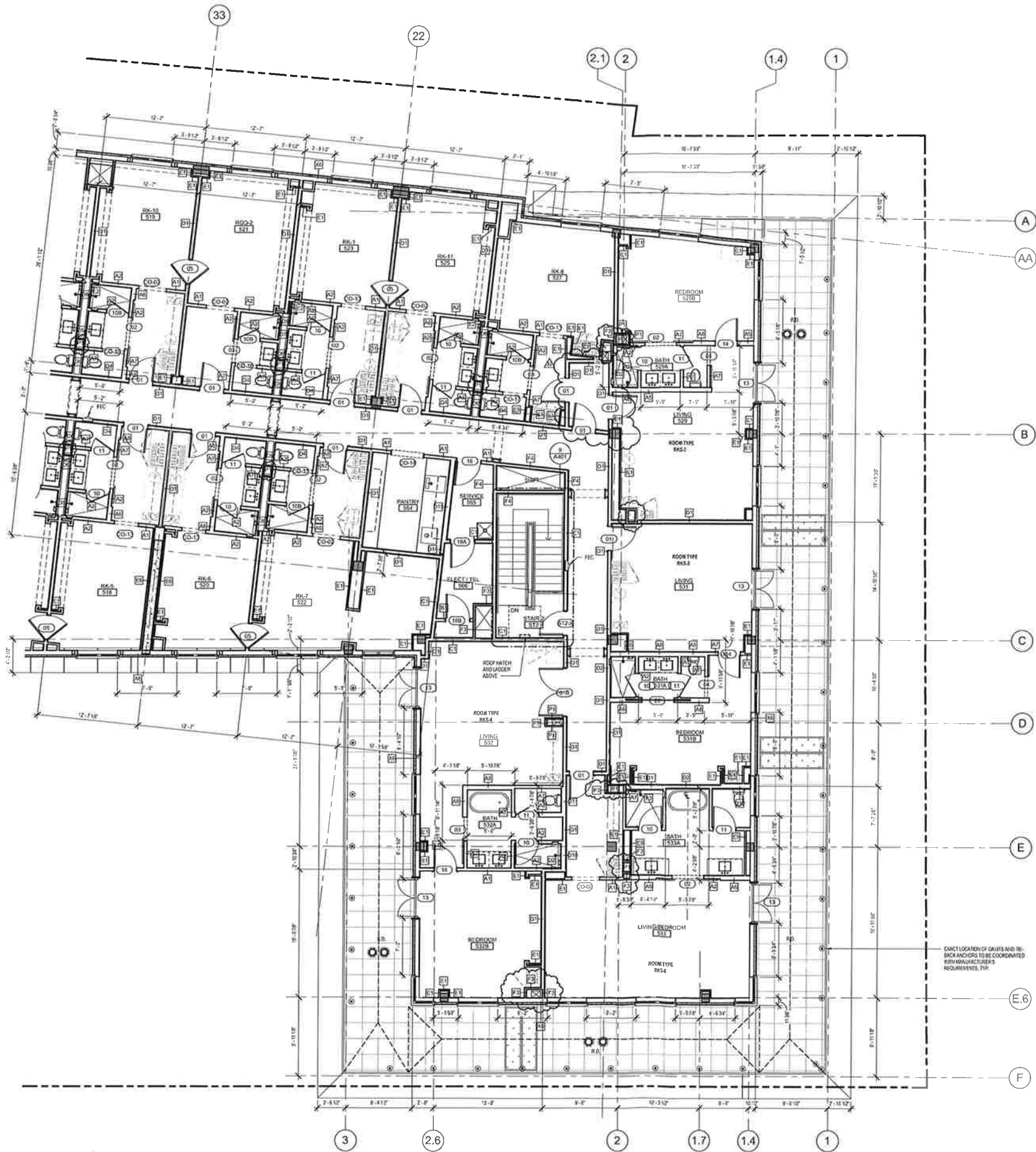


PROJECT NUMBER 1623

Daxton Hotel  
298 S Old Woodward Ave.  
Birmingham, MI 48009

ENLARGED FIFTH LEVEL  
FLOOR PLAN

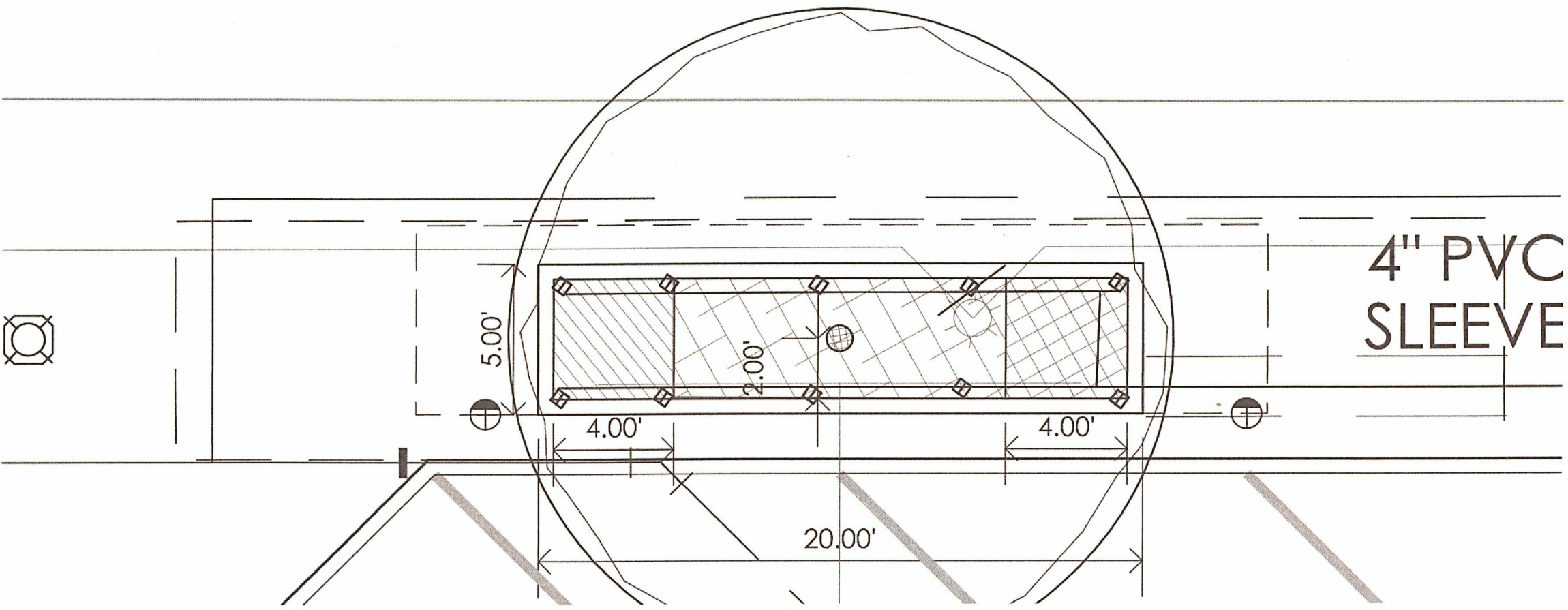
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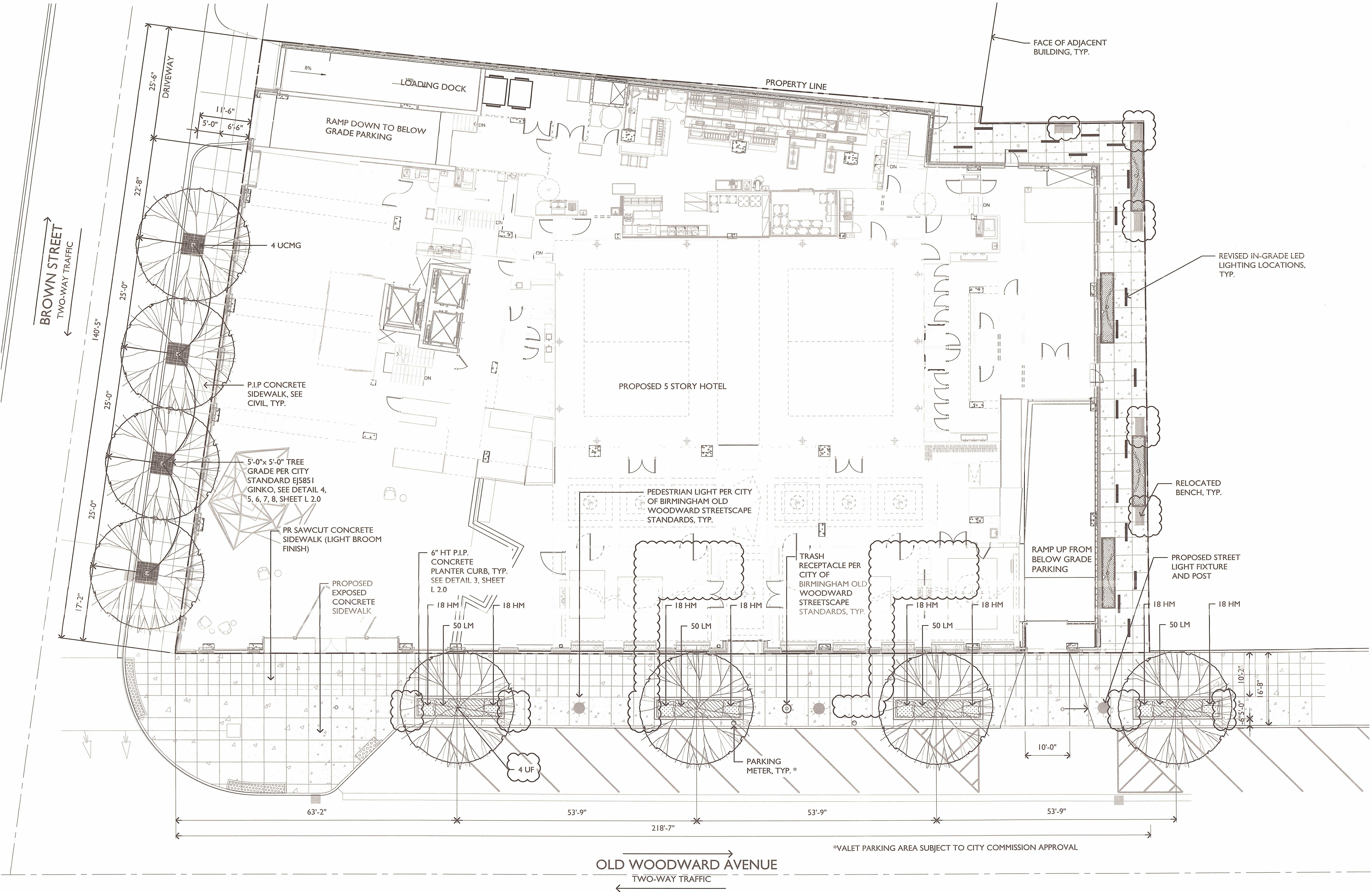
1 ENLARGED FIFTH LEVEL FLOOR PLAN  
0 1 2 4 6



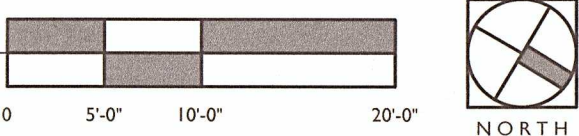
- NOTES:
- IRRIGATION CONTRACTOR SHALL IMPLEMENT OLD WOODWARD STREETScape IRRIGATION PLAN AND EXTEND INTO DAXTON HOTEL STREETScape PROJECT.
  - SHOWN FOR REFERENCE ONLY
  - REFER TO SHEET IR4 FROM PROJECT: OLD WOODWARD AVE. RECONSTRUCTION PROJECT CONTRACT # 2-17(P)



2 PLANTER TYPE 'A' IRRIGATION - FOR REFERENCE ONLY  
SCALE: NTS



GROUND LEVEL LANDSCAPE PLAN  
SCALE: 1" = 10'-0"



SITE FURNISHINGS PER OLD WOODWARD AVE STREETScape DESIGN COMPENDIUM BY PARSONS & MKSK (REFER TO L3.2):

- NOTES:
- ALL GROUND FLOOR PLANTER BOXES SHALL BE IRRIGATED BY DESIGN / BUILD IRRIGATION CONTRACTOR (BY OTHERS).
  - FIBER OPTIC SYSTEM AND ELECTRICAL SYSTEM TO BE EXTEND PER CITY OF BIRMINGHAM AND MATCH EXISTING NORTH OLD WOODWARD STREETScape.

APPROVED  
10/19/21  
PAGE 1 OF 1



10	ISSUED FOR ADMINISTRATIVE APPROVAL	10-06-21
9	ISSUED FOR PERMIT CORRECTION	02-18-19
8	ISSUED FOR CONSTRUCTION	02-01-19
7	ISSUED FOR BID	10-29-18
6	ISSUED FOR 90% CD	09-28-18
5	ISSUED FOR BUILDING PERMIT	08-31-18
4	ISSUED FOR CITY REVIEW	04-19-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18
NO.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION  
2019.02.01

PROJECT NUMBER 1623

Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009



GROUND LEVEL  
LANDSCAPE PLAN

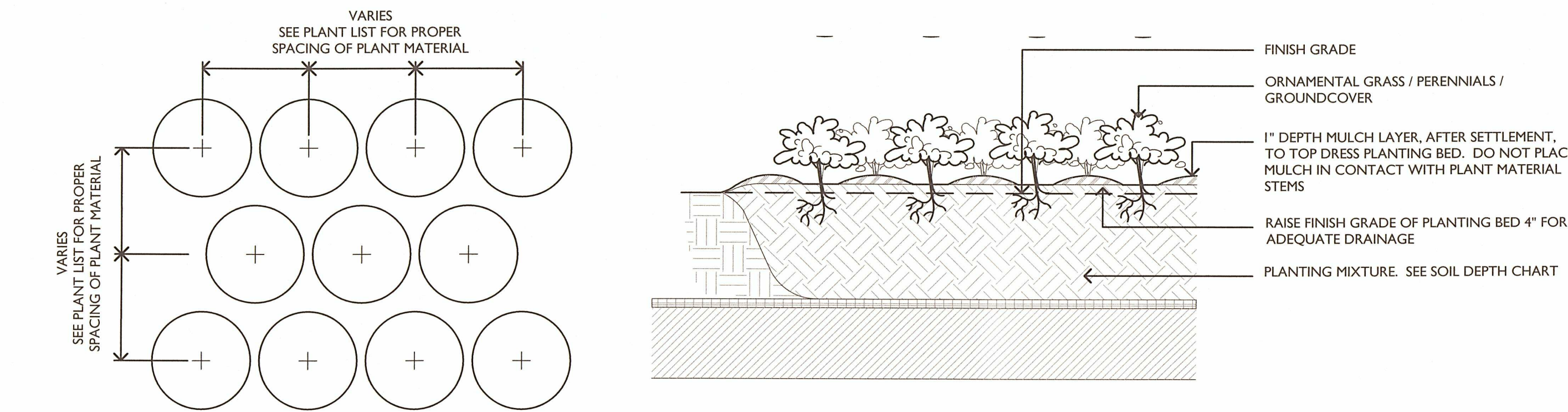
L1.0



	CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS
TREES	UF	ULMUS 'FRONTIER'	FRONTIER ELM	4	3.5 - 4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
	UCMG	ULMUS CARPINIFOLIA 'MORTON GLOSSY'	FRONTIER ELM	4	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
ORN. GRASSES	CAKF	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	32	-	-	-	#1	2'-0" ON CENTER
PERENNIALS, SHRUBS AND GROUND COVER	AHHA	AMSONIA HUBRICHTII 'HALFWAY TO ARKANSAS'	BLUE STAR	32	-	24"	24"	#1	2'-6" ON CENTER
	HPP	HEUCHERA X 'PALACE PURPLE'	'PALACE PURPLE' CORAL BELLS	48	-	18"	12"	#1	1'-0" ON CENTER
	HM	HAKONECHLOA MACRA 'AUREOLA'	JAPANESE FOREST GRASS	144	-	-	-	#1	1'-0" ON CENTER
	LM	LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LILYTURE	200	-	-	-	#1	1'-0" ON CENTER
	HSS	HOSTA 'SUM AND SUBSTANCE'	'SUM AND SUBSTANCE' HOSTA	18	-	-	-	#1	3'-0" ON CENTER

PLANT PALETTE

NOTE: QUANTITIES ON THE PLANT PALETTE ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.

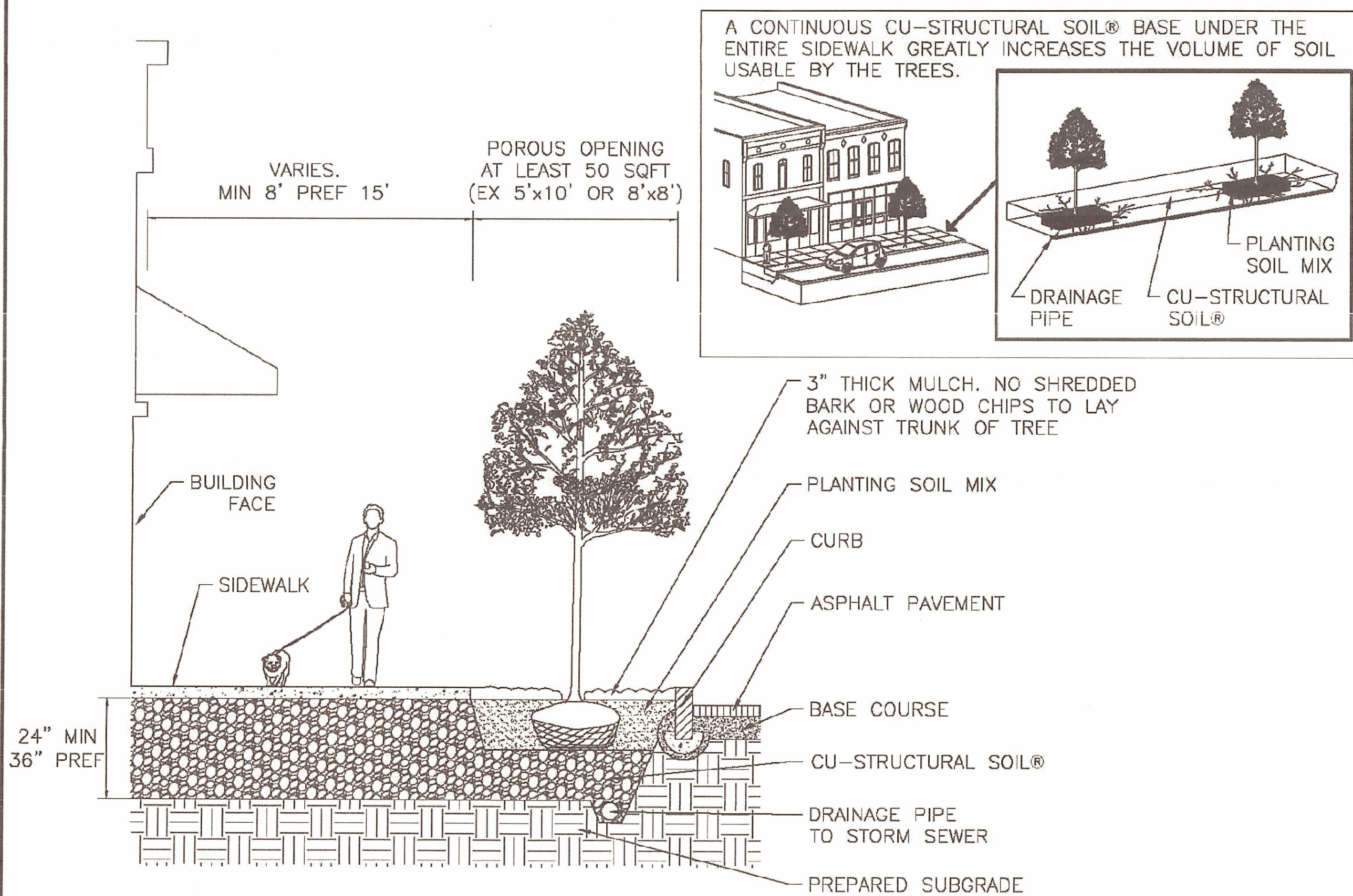


2 ORNAMENTAL GRASS, PERENNIAL AND GROUNDCOVER INSTALLATION DETIAL  
SCALE: 1" = 1'-0"

TYPICAL TREE PLANTING PIT  
WITH CU-STRUCTURAL SOIL® ALONG SIDEWALK

SCALE:  
N.T.S

DRAWN BY:  
BRD

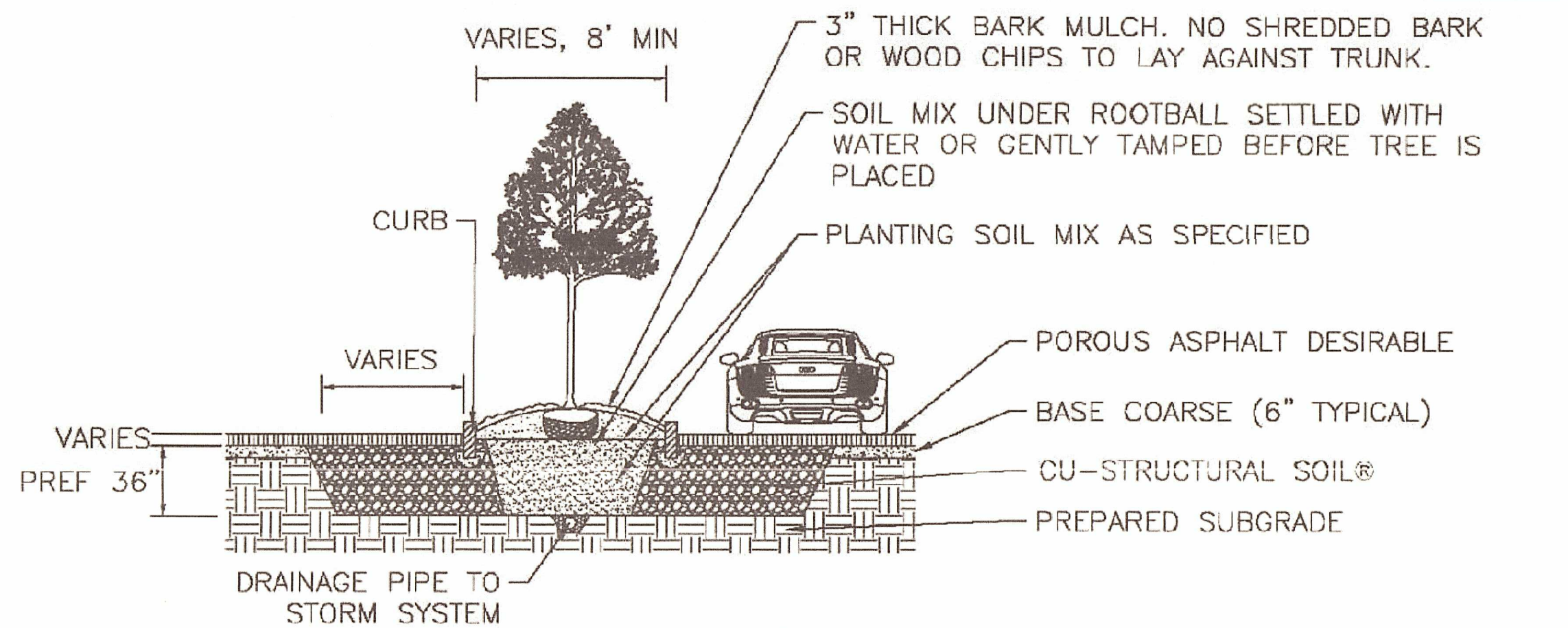


3 TREE PLANTING IN SIDEWALK TYPICAL  
SCALE: NTS

TYPICAL TREE PLANTING ISLAND IN A  
PARKING LOT WITH CU-STRUCTURAL SOIL®

SCALE:  
N.T.S

DRAWN BY:  
BRD



A TYPICAL 36' x 8' PARKING LOT ISLAND WITH 3' DEPTH OF SANDY LOAM SOIL CAN SUPPORT:

WITH NO CU-STRUCTURAL SOIL®

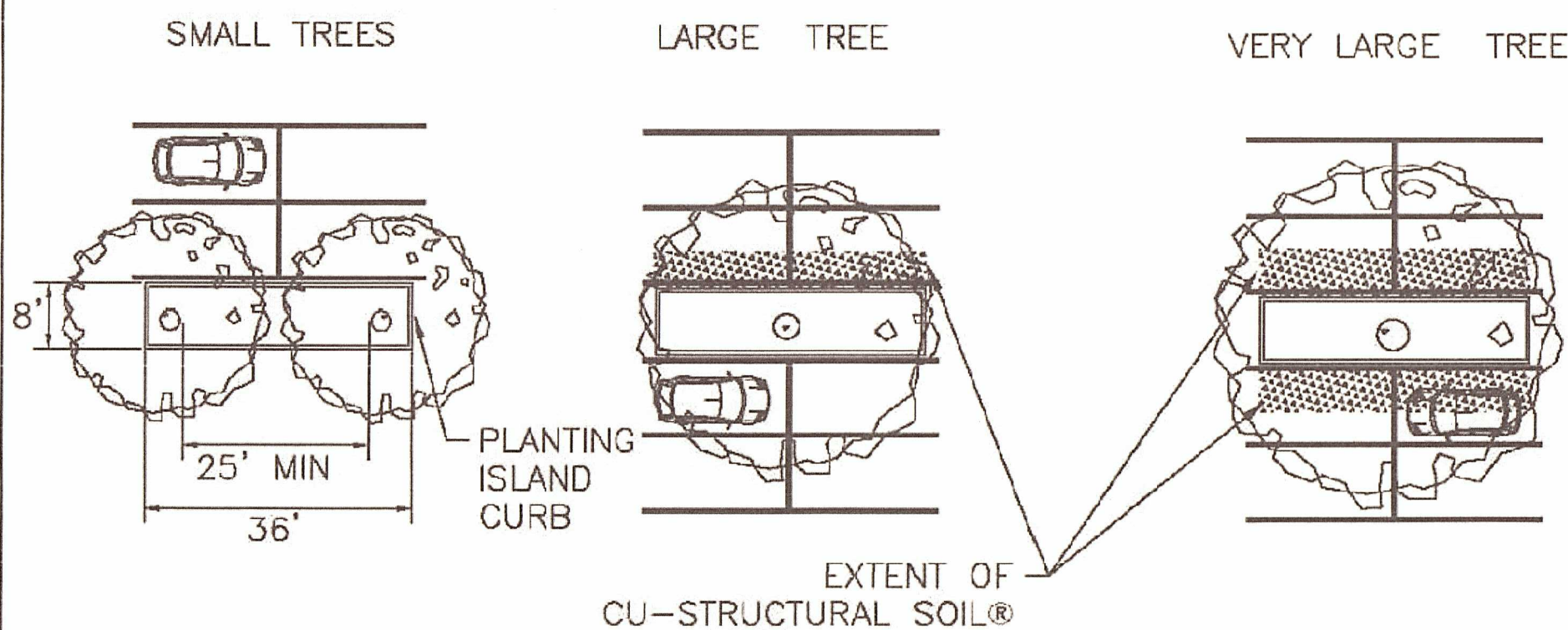
- 2 SMALL TREES (<30' TALL AT MATURITY)

WITH 150 CU FT CU-STRUCTURAL SOIL® (EX. 36' x 4.25' x 3')

- 1 LARGE TREE (30'-50' TALL AT MATURITY)

WITH 1215 CU FT CU-STRUCTURAL SOIL® (EX. 36' x 12' x 3')

- 1 VERY LARGE TREE (>50' TALL AT MATURITY)



4 TREE IN RAISED PLANTER TYPICAL  
SCALE: NTS



10	ISSUED FOR ADMINISTRATIVE APPROVAL	10-06-21
9	ISSUED FOR PERMIT CORRECTION	02-18-19
8	ISSUED FOR CONSTRUCTION	02-01-19
7	ISSUED FOR BID	10-29-18
6	ISSUED FOR 90% CD	09-28-18
5	ISSUED FOR BUILDING PERMIT	08-31-18
4	ISSUED FOR CITY REVIEW	04-19-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18

NO. DESCRIPTION DATE

ISSUED FOR CONSTRUCTION  
2019.02.01

PROJECT NUMBER 1623

Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

PLANT LIST AND DETAILS

L2.0



BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

PLAN GENERAL NOTES

- SEE INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, ELEVATIONS, AND DETAILS OF GUESTROOMS AND GUESTROOM BATHROOMS.
- FOR ADDITIONAL INFORMATION ON KITCHEN EQUIPMENT, SEE FOOD SERVICE DRAWINGS.
- SEE A600 FOR EXTERIOR WALL TYPES.
- REFER TO INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAILS OF ALL PUBLIC SPACES.
- PROVIDE METAL CORNER GUARDS AT ALL EXPOSED CMU CORNERS IN BOH SPACES.
- REFER TO FOOD SERVICE DRAWINGS FOR CORNER GUARDS IN FOOD SERVICE AREAS.
- REFER TO SHEET A604 DOOR SCHEDULE FOR SCHEDULE OF CASED OPENINGS AND SIZES.
- PROVIDE PLYWOOD BACKING AS REQUIRED IN TELE. CLOSET.
- REFER TO LANDSCAPE DRAWINGS FOR FOR GREEN ROOF PLANTINGS.
- FINAL LOCATIONS OF FIRE EXTINGUISHER CABINETS TO BE REVIEWED/APPROVED BY FIRE DEPARTMENT AND BUILDING OFFICIAL ON SITE.

32	ISSUED FOR ADMINISTRATIVE APPROVAL	04-09-21
31	ISSUED FOR REVISED BUILDING PERMIT	04-10-20
26	BULLETIN #13	07-31-19
20	BULLETIN #07	04-18-19
18	BULLETIN #05	02-22-19
17	ISSUED FOR CONSTRUCTION	02-01-19
16	BID ADDENDUM #2	11-16-18
15	PERMIT CORRECTIONS	11-16-18
14	ISSUE FOR BID	10-30-18
13	ISSUED FOR 90% CD	09-28-18
11	ISSUED FOR BUILDING PERMIT	08-31-18
5	ISSUED FOR SUPERSTRUCTURE BID	03-15-18
4	ISSUED FOR FOUNDATION PERMIT	02-19-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18
1	SCHEMATIC DESIGN	8-31-17

NO. DESCRIPTION DATE



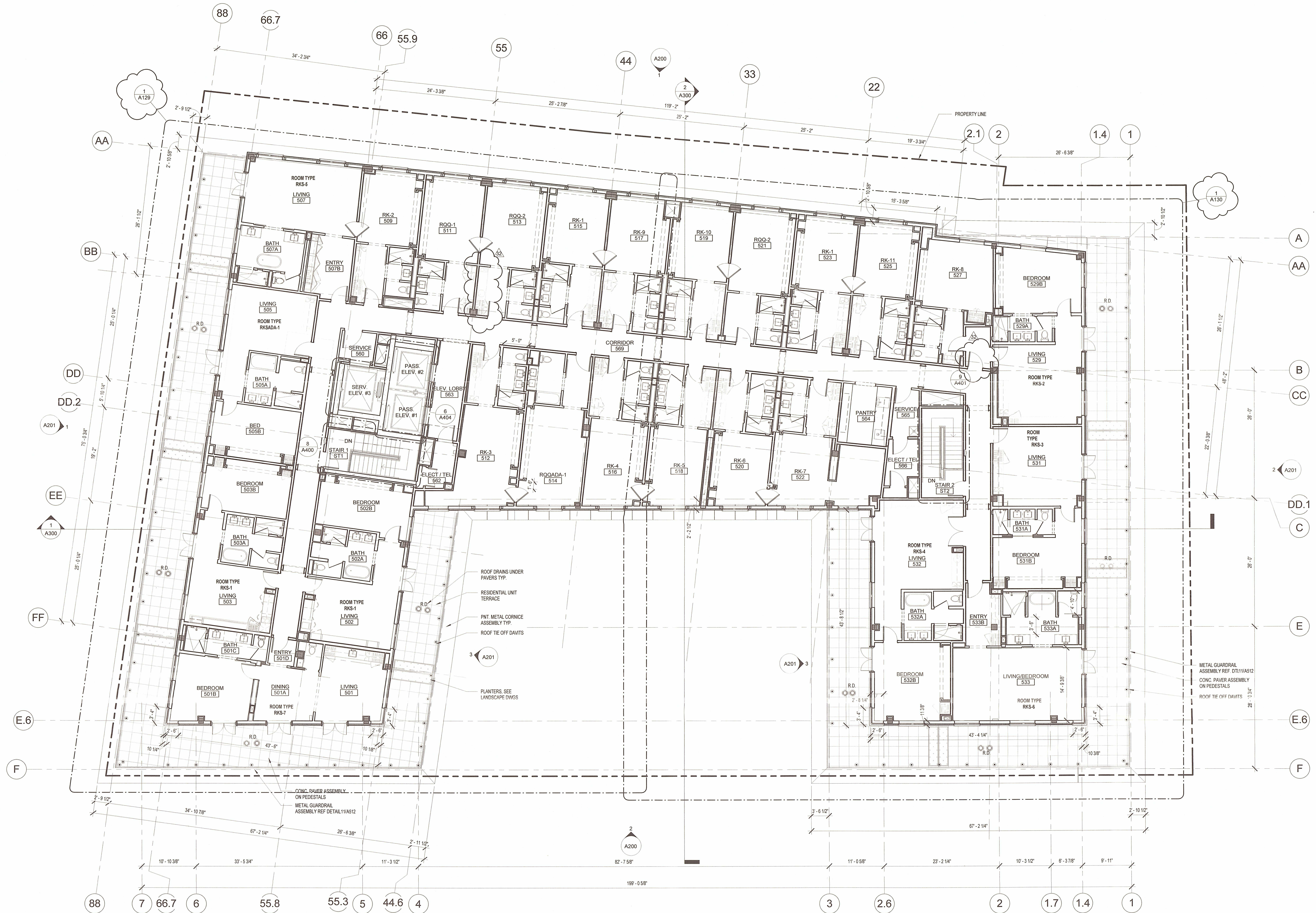
PROJECT NUMBER 1623

Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

FIFTH LEVEL PLAN

A105



1 FIFTH LEVEL PLAN  
0 1 2 4 8



BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

RCP GENERAL NOTES

1. RECESSED LIGHTING FIXTURE HOUSINGS SHALL BE SEALED TO THE CEILING OPENING IN BATHROOMS, BATHTUB AREAS, SHOWERS TO KEEP MOISTURE FROM ENTERING THE CEILING PLENUM ABOVE.
2. REFER TO INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAILS FOR GUESTROOMS AND GUESTROOM BATHROOMS.
3. PAINT BOH EXPOSED STRUCTURE U.N.O.
4. REFER TO INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAILS OF ALL PUBLIC SPACES.
5. REFER TO ELECTRICAL DRAWINGS FOR SMOKE/CO DETECTOR TYPES.

- GYP. BD. CEILING
- LEVEL 5 SKIM COAT PLASTER
- GUEST ROOM ACOUSTIC CEILING TILE
- BOH ACOUSTIC CEILING TILE
- SPEAKER
- SPRINKLER
- SECURITY CAMERA
- CS CO / SMOKE ALARM - REFER TO ELEC. DWGS. (GUEST ROOMS)
- OS OCCUPANCY SENSOR (GUEST ROOMS)

ACCESS PANEL KEY		
AP-1	12" X 12"	
AP-2	15" X 15"	
AP-3	24" X 24"	
AP-4	36" X 36"	

GENERAL CONTRACTOR TO CONFIRM SIZING AND QUANTITIES WITH MECHANICAL SUB. REFER TO SPECIFICATION FOR ACCESS PANEL TYPE

32	ISSUED FOR ADMINISTRATIVE APPROVAL	04-09-21
27	BULLETIN #14	09-13-19
22	BULLETIN #09	06-28-19
21	BULLETIN #08	05-15-19
20	BULLETIN #07	04-18-19
18	BULLETIN #05	02-22-19
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15	PERMIT CORRECTIONS	11-16-18
14	ISSUE FOR BID	10-30-18
13	ISSUED FOR 90% CD	09-28-18
11	ISSUED FOR BUILDING PERMIT	08-31-18
3	DESIGN DEVELOPMENT PROGRESS	02-02-18

NO. DESCRIPTION DATE

PROJECT NUMBER 1623

Daxton Hotel  
298 S Old Woodward Ave.  
Birmingham, MI 48009  
REFLECTED CEILING PLAN - FIFTH LEVEL

A115



1 REFLECTED CEILING PLAN - FIFTH LEVEL  
0 1 2 4 8



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1 ENLARGED FIFTH LEVEL FLOOR PLAN  
0 1 2 4 8

## BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

### GUESTROOM FLOOR PLAN GENERAL NOTES

1. SEE INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, ELEVATIONS, AND DETAILS OF BATHROOMS, PUBLIC CORRIDOR, PANTRY, AND GUESTROOM SPACES.
2. ALL FURRING PARTITIONS IN GUEST ROOMS IS TYPE E3 U.N.O.
3. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE PLANTINGS ON ROOF TERRACE
4. FINAL LOCATIONS OF FIRE EXTINGUISHER CABINETS TO BE REVIEWED/APPROVED BY FIRE DEPARTMENT AND BUILDING OFFICIAL ON SITE.

32	ISSUED FOR ADMINISTRATIVE APPROVAL	04-09-21
31	ISSUED FOR REVISED BUILDING PERMIT	04-10-20
28	BULLETIN #15	12-06-19
26	BULLETIN #13	07-31-19
20	BULLETIN #07	04-18-19
18	BULLETIN #05	02-22-19
17	ISSUED FOR CONSTRUCTION	02-01-19
16	BID ADDENDUM #2	11-16-18
15	PERMIT CORRECTIONS	11-16-18
14	ISSUE FOR BID	10-30-18
13	ISSUED FOR 90% CD	09-28-18
11	ISSUED FOR BUILDING PERMIT	08-31-18

NO. DESCRIPTION DATE



PROJECT NUMBER 1623

## Daxton Hotel

298 S Old Woodward Ave.  
Birmingham, MI 48009

ENLARGED FIFTH LEVEL  
FLOOR PLAN

A129

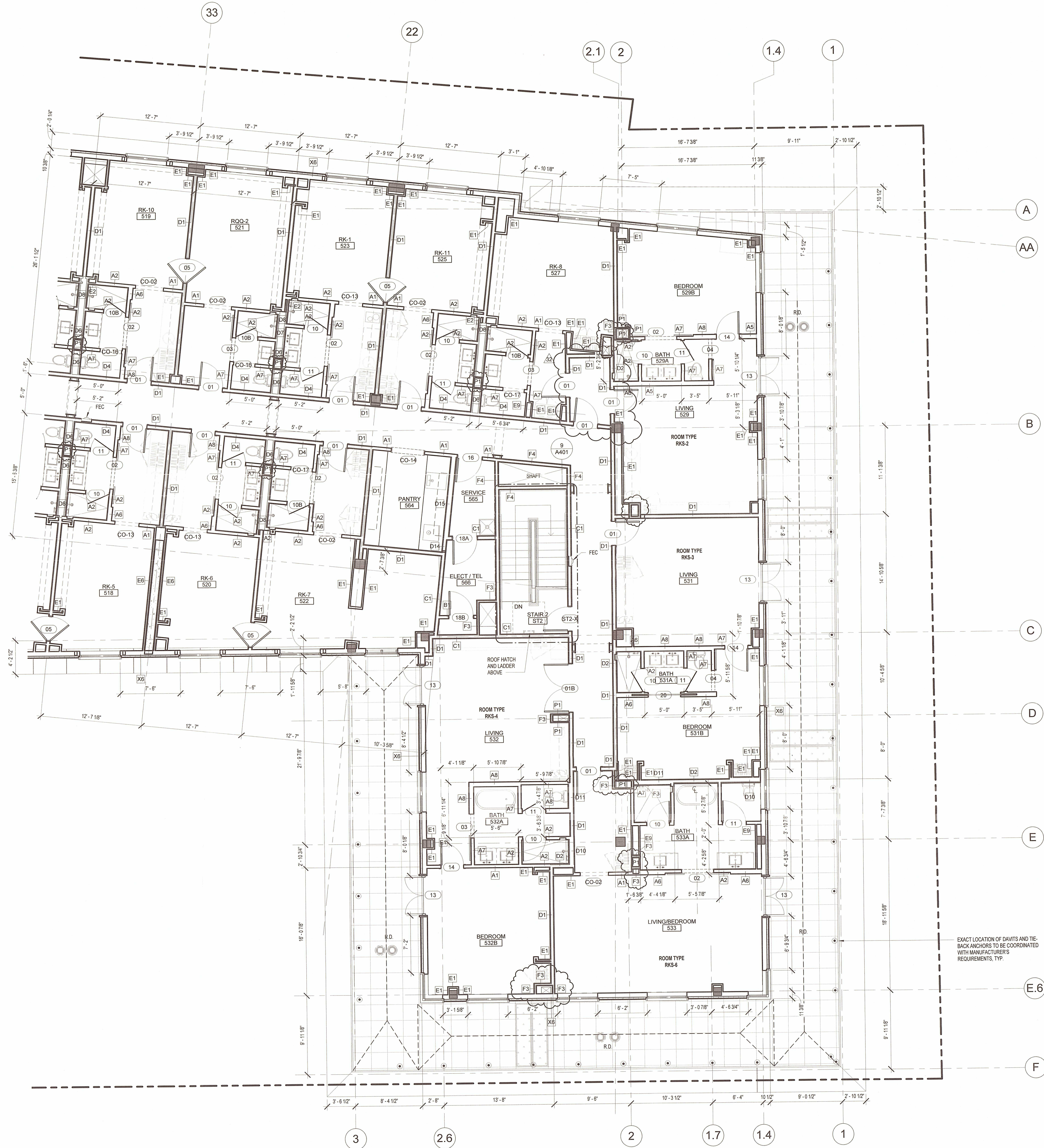


BOOTH HANSEN

Architecture Interiors Planning  
333 South Des Plaines Street  
Chicago, Illinois 60661

GUESTROOM FLOOR PLAN GENERAL NOTES

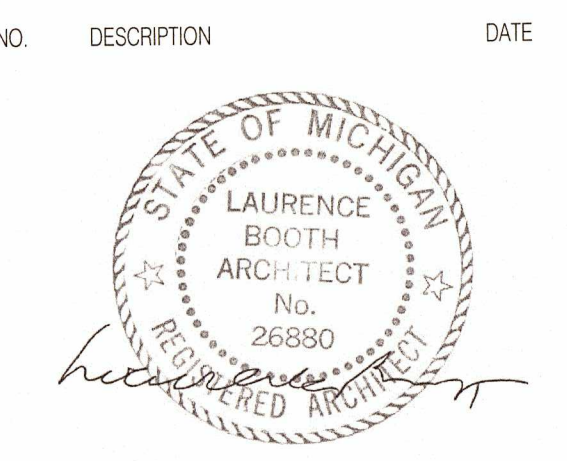
- SEE INTERIOR DESIGN DRAWINGS FOR ENLARGED PLANS, ELEVATIONS, AND DETAILS OF BATHROOMS, PUBLIC CORRIDOR, PANTRY, AND GUESTROOM SPACES.
- ALL FURRING PARTITIONS IN GUEST ROOMS IS TYPE E3 U.N.O. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE PLANTINGS ON ROOF TERRACE.
- FINAL LOCATIONS OF FIRE EXTINGUISHER CABINETS TO BE REVIEWED/APPROVED BY FIRE DEPARTMENT AND BUILDING OFFICIAL ON SITE.



EXACT LOCATION OF DOWELS AND TIE-  
BACK ANCHORS TO BE COORDINATED  
WITH MANUFACTURER'S  
REQUIREMENTS, TYP.

1 ENLARGED FIFTH LEVEL FLOOR PLAN  
0 1 2 4 8

32	ISSUED FOR ADMINISTRATIVE APPROVAL	04-09-21
31	ISSUED FOR REVISED BUILDING PERMIT	04-10-20
21	BULLETIN #08	05-15-19
20	BULLETIN #07	04-18-19
18	BULLETIN #05	02-22-19
17	ISSUED FOR CONSTRUCTION	02-01-19
16	BID ADDENDUM #2	11-16-18
15	PERMIT CORRECTIONS	11-16-18
14	ISSUE FOR BID	10-30-18
13	ISSUED FOR 90% CD	09-28-18
11	ISSUED FOR BUILDING PERMIT	08-31-18



PROJECT NUMBER 1623

Daxton Hotel  
298 S Old Woodward Ave.  
Birmingham, MI 48009  
ENLARGED FIFTH LEVEL  
FLOOR PLAN  
A130





**APPROVED**  
10/1/21  
PAA21-0101

## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Adachi Restaurant Group, LLC  
Address: \_\_\_\_\_  
325 South Old Broadway, Birmingham MI 480  
Phone Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### 2. Property Owner

Name: 325 South Old Woodward, LLC  
Address: \_\_\_\_\_  
330 Hamilton Row, Suite 300, Birmingham M  
Phone Number: 248-882-7777  
Email: clint@mansourcompanies.com

### 3. Project Contact Person

Name: John W. Henke III  
Address: \_\_\_\_\_  
29800 Telegraph Rd, Southfield MI 48034  
Phone Number: 248-353-6500  
Email: jwhenke@aol.com

### 4. Project Designer/Developer

Name: Christopher J. Longe AIA, Architect  
Address: 124 Peabody, Birmingham, MI 48009  
Phone Number: 248-258-6940  
Email: cilonge@cilongeaia.com

### 5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

### 6. Project Information

Address/Location of Property: \_\_\_\_\_  
325 South Old Broadway, Birmingham MI 480  
Name of Development: Adachi Restaurant Sushi  
Parcel ID#: \_\_\_\_\_  
Current Use: Restaurant with sushi bar seating  
Proposed Use: Restaurant with sushi bar booth  
Area of Site in Acres: .25  
Current Zoning: Commerical

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board? <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		

### 7. Details of the Request for Administrative Approval

removing 8 sushi bar stool and replacing with 2 booths that accommodate 8 people

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: \_\_\_\_\_ Date: 9/15/2021

#### Office Use Only

Application #: PAA21-0101 Date Received: 9/15/21 Fee: \$ 100.00  
Date of Approval: 10/1/21 Date of Denial: N/A Reviewed By: \_\_\_\_\_





## CONSENT OF PROPERTY OWNER

I, 325 South Old Woodward, OF THE STATE OF MI AND  
(Name of Property Owner)

COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 325 South Old Woodward, Birmingham, MI 48009;  
(Address of Affected Property)
2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Adachi Restaurant Group, LLC.;  
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the  
City of Birmingham.

Name of Owner (Printed): 325 South Old Woodward, LLC.

Signature of Owner:

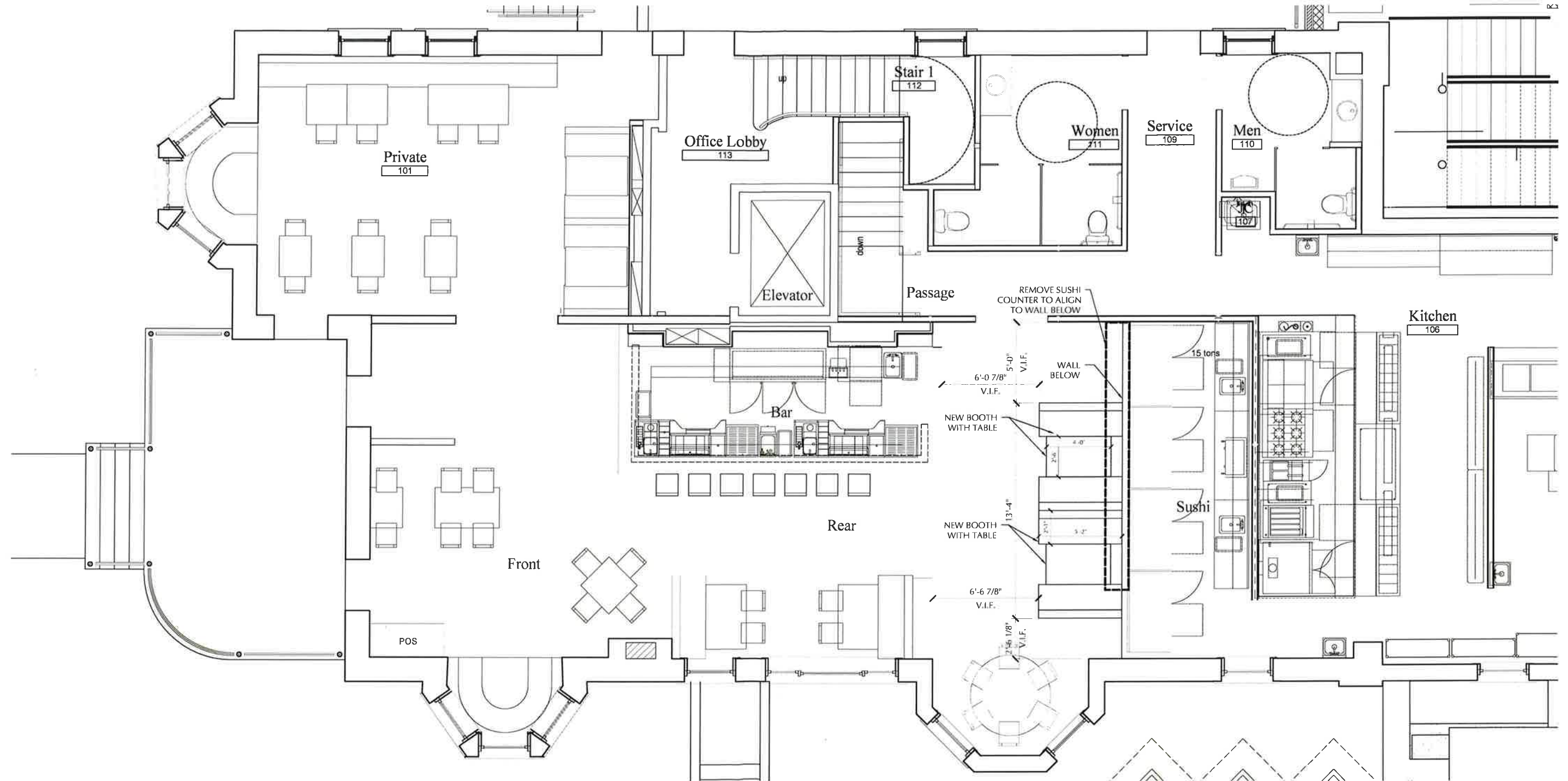
Date: 9/15/2021



# Ford-Peabody Mansion

325 Old Woodward  
Birmingham, Michigan

**APPROVED**  
10/11/21  
PAA21-0101



FULL INTERIOR SEATING PLAN

SCALE: 3/16" = 1'-0"

CHRISTOPHER J LONGE AIA  
ARCHITECTURE  
INTERIORS  
124 Peabody, Birmingham, Michigan 48009 248.258.6940

09.22.2021  
SD.2





## Administrative Approval Application Planning Division

**APPROVED**  
11/24/21  
PAA21-013

Form will not be processed until it is completely filled out.

### 1. Applicant

Name: WHISTLE STOP DINER, INC  
Address: 501 S. ETON ST  
BIRMINGHAM, MI 48009  
Phone Number: 248 635-2554  
Email: VALIA2@YMAIL.COM

### 2. Property Owner

Name: VALTER XHOMAGI  
Address: 2415 WARWICK DR  
TROY MI 48064  
Phone Number: 248-635-2554  
Email: VALIA2@YMAIL.COM

### 3. Project Contact Person

Name: VALTER XHOMAGI  
Address: \_\_\_\_\_  
Phone Number: 248-635-2554  
Email: \_\_\_\_\_

### 4. Project Designer/Developer

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Email: \_\_\_\_\_

### 5. Required Attachments

- Two (2) folded copies of project plans including an itemized list of all changes for which Administrative Approval is requested, with the changes marked in color on all elevations
- One (1) digital copy of project plans
- Warranty Deed with legal description of property
- Photographs of existing conditions on the site where changes are proposed
- Material samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- Completed Administrative Approval checklist

### 6. Project Information

Address/Location of Property: 501 S ETON ST  
BIRMINGHAM, MI 48009  
Name of Development: \_\_\_\_\_  
Parcel ID#: \_\_\_\_\_  
Current Use: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_  
Area of Site in Acres: \_\_\_\_\_  
Current Zoning: \_\_\_\_\_

	Yes	No
Is the property located in a floodplain? -----	<input type="checkbox"/>	<input type="checkbox"/>
Is the property within a Historic District? ---	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		
Will the project require a variance? -----	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, how many? _____		
Has the project been reviewed by a Board? -----	<input type="checkbox"/>	<input type="checkbox"/>
→ If so, which? _____		

### 7. Details of the Request for Administrative Approval

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan. By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Applicant: Valter Xhomagi Date: 11/22/2021

Office Use Only			
Application #:	<u>PAA21-0131</u>	Date Received:	<u>11/23/21</u>
Date of Approval:	<u>11/24/21</u>	Date of Denial:	<u>N/A</u>
		Fee:	<u>\$ 100.00</u>
		Reviewed By:	<u>[Signature]</u>





### CONSENT OF PROPERTY OWNER

I, VALTER XHOMAI, OF THE STATE OF MICHIGAN AND  
(Name of Property Owner)

COUNTY OF DAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 501 S. ETON ST, BIRMINGHAM, MI 48009  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: VALTER XHOMAI (WHISTLE STOP DINER, INC)  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the  
City of Birmingham.

Name of Owner (Printed): VALTER XHOMAI

Signature of Owner: Valter Xhoma Date: 11/22/2021



SEATING TOTAL:

INDOOR DINING: 56

INDOOR BAR: 8

OUTDOOR DINING: 28

APPROVED  
11/24/21  
P4421-0131

JAWAN MATTI  
586-321-7727  
jawanmatti@gmail.com

PROJECT:

WHISTLE STOP  
501 SOUTH ETON  
BIRMINGHAM, MICHIGAN

SHEET TITLE:  
SITE PLAN

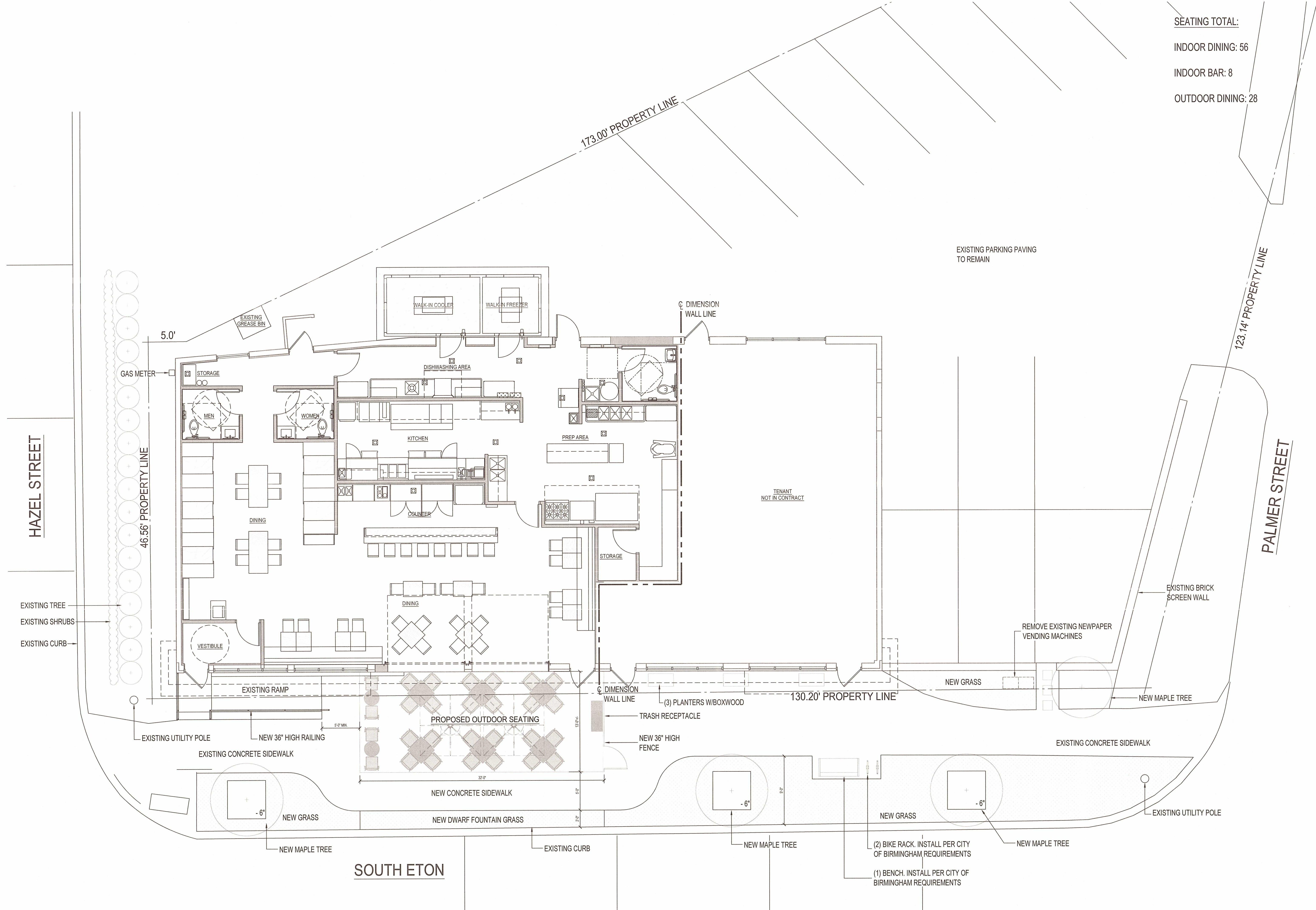
(DO NOT SCALE DRAWING)

DATE: 7/29/2021  
ISSUED FOR: BISTRO LICENSE  
10/22/2021 REVISION #1

PROJECT NO: 18052

SHEET NUMBER: PRELIMINARY  
NOT FOR CONSTRUCTION

S100



1 SITE PLAN  
S100 SCALE: 1/8" = 1'-0"







## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

**APPROVED**

11-19-2021

### 1. Applicant

Name: Larry Bongiovanni & Kara Bongiovanni

Address:

525 North Old Woodward, Birmingham, MI 48009

Phone Number: 248-792-6051

Fax Number: 248-644-1733

Email Address: salscal@sboglobal.net

### 2. Property Owner

Name: Masterpiece Investments

Address:

30777 Northwestern Hwy, Southfield, MI 48334

Phone Number: 248-681-5400

Fax Number: 248-681-8434

Email Address: kori.perinoff@plummarket.com

### 3. Applicant's Attorney/Contact Person

Name: N/A

Address:

Phone Number:

Fax Number:

Email Address:

### 4. Project Designer/Developer

Name: Ron And Roman

Address: 275 East Frank St., Birmingham, MI 48009

Phone Number: 248-723-5790

Fax Number:

Email Address: darrell@ronandroman.com

### 5. Project Information

Address/Location of Property:

523 and 525 North Old Woodward

Name of Development: Luxe Bar and Grill

Parcel ID#: 1925 327 031

Current Use: Bistro at 525, former Mercantile at 523

Area in Acres: .35

Current Zoning: O2 with Downtown Overlay D2

Name of Historic District if any:

Date of HDC Approval, if any:

Date of Application for Preliminary Site Plan:

Date of Preliminary Site Plan Approval:

Date of Application for Final Site Plan:

Date of Final Site Plan Approval:

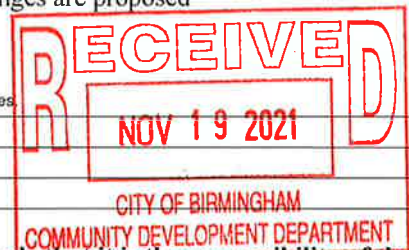
Date of Revised Final Site Plan Approval:

### 6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

### 7. Details of the Request for Administrative Approval

Revise Proposed Settee seat count from 18 to 19, which revises the Total Seats to 65, as allowed by the Bistro Ordinance guidelines.



The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant:

Date:

11/18/2021

#### Office Use Only

Application #: PAA 21-0127

Date Received:

Fee:

Date of Approval: 11-19-2021

Date of Denial:

Reviewed By:





CONSENT OF PROPERTY OWNER

I, Masterpiece Investments, OF THE STATE OF Michigan AND  
(Name of Property Owner)  
COUNTY OF Oakland STATE THE FOLLOWING:

1. That I am the owner of real estate located at 523-525 N Old Woodward Ave, Birmingham MI 48009;  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of  
Birmingham by: Larry & Kara Bongiovanni;  
(Name of Applicant)

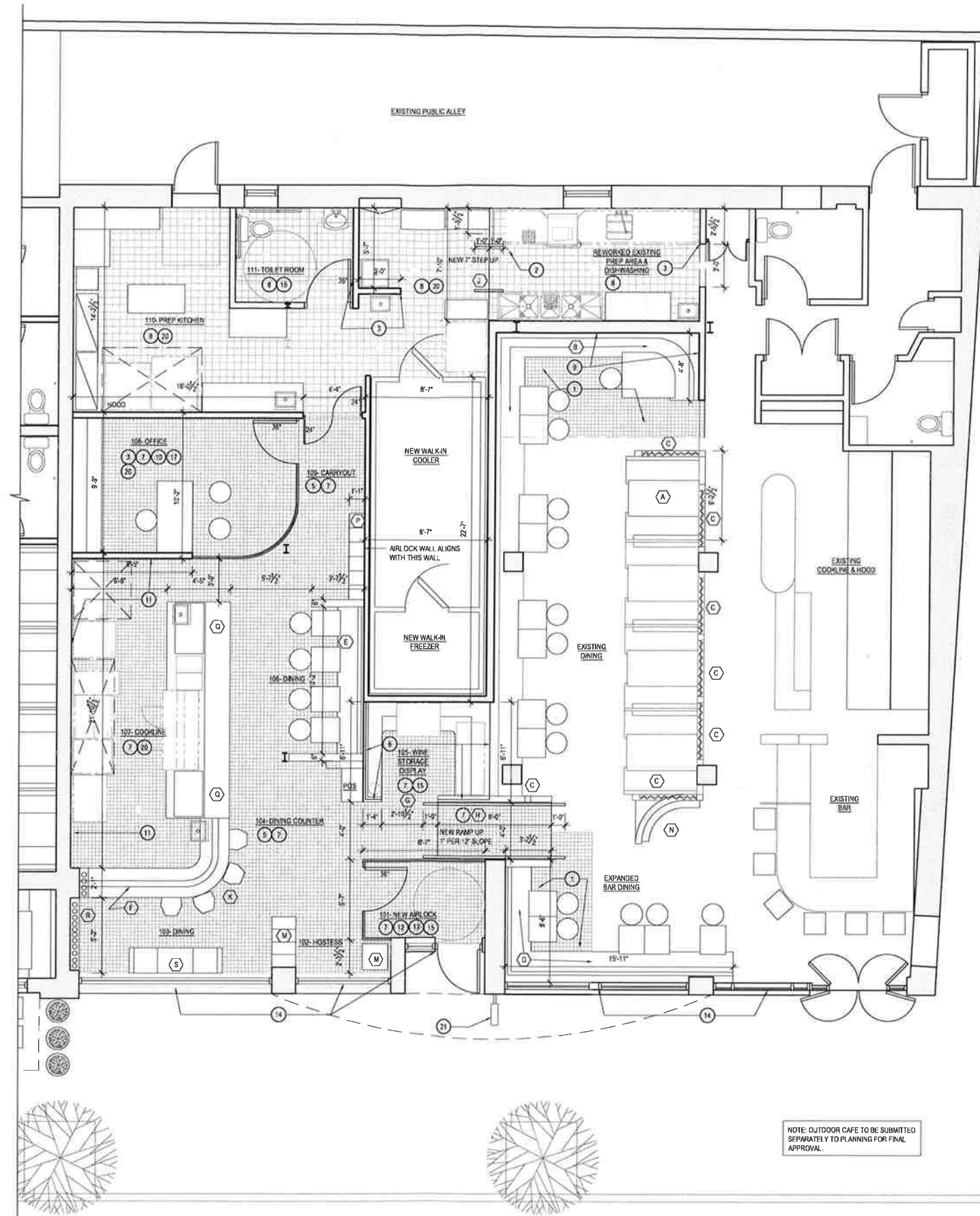
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
Birmingham.

Name of Owner (Printed): Matthew Jonna

Signature of Owner: 59E6736A5756418 Date: 11/17/2021



APPROVED  
11-19-2021



NOTE: OUTDOOR CAFE TO BE SUBMITTED  
SEPARATELY TO PLANNING FOR FINAL  
APPROVAL

1 Site / Floor Plan  
scale: 1/4" = 1'-0"



#### KEY NOTES

- 1 NEW MOSAIC TILE TO MATCH EXISTING PATTERN AND COLOR IN EXPANDED DINING ROOM
- 2 NEW QUARRY TILE TO MATCH EXISTING IN EXPANDED PREPWAREWASHING
- 3 NEW PARTITION WALL - PAINTED FINISH
- 4 NEW GYPSUM BOARD CEILING ON NEW 2x6 WOOD FRAMING @ 16" O.C. CAP TOP WITH PLYWOOD (TO MATCH ADJACENT CEILING CONSTRUCTION) PAINT ALL EXPOSED CONSTRUCTION ABOVE CEILING TO MATCH EXISTING
- 5 GLAZING ABOVE SETTEE TO DRYWALL
- 6 NEW MOSAIC TILE THROUGHOUT DINING ROOM, OFFICE, RAMP, SAME PATTERN AS EXISTING, DIFFERENT COLORS
- 7 NEW QUARRY TILE IN PREP AREA
- 8 NEW PARTITION WALL - PAINTED FINISH TO MATCH EXISTING ADJACENT WALLS
- 9 NEW PARTITION WALL - WITH STAINLESS STEEL FRAMED TEMPERED GLAZING
- 10 NEW LARGE FORMAT FAUX STONE PANELS
- 11 NEW STAINLESS STEEL GLAZED (TEMPERED) VESTIBULE AND DOOR
- 12 REPLACE DOOR AND SIDELIGHTS - SEE ELEVATION
- 13 PAINT EXTERIOR FACADE - BRICK AND WOOD TRIM COMPLETELY
- 14 PAINTED GYPSUM BOARD CEILING
- 15 REPAIR/REPLACE EXISTING MOSAIC TILE TO MATCH EXISTING AT REMOVAL AREA
- 16 PAINTED GYPSUM BOARD FRAMED DOUBLE-SIDED SUSPENDED SHELF WITH CONTINUOUS LED STRIP ON PUBLIC SIDE
- 17 NOT USED
- 18 PAINTED METAL MESH SUSPENDED CEILING
- 19 2x2 LAY-IN SCRUBBABLE SUSPENDED CEILING
- 20 RELOCATE EXISTING SIGN - MODIFY BRACKET MOUNTING
- 21 RE-INSTALL STEEL COLUMN WITH NEW 36"x36"x12" REINFORCED CONCRETE FOOTING
- 22

#### FIXTURE SCHEDULE

- A NEW BOOTH TO MATCH EXISTING - REWORK AND EXTEND END WALL  
B EXTEND NEW SETTEE TO MATCH EXISTING, INCLUDING CONTINUOUS RECESS WITH CLEAR ACRYLIC TOP FOR LED STRIP LIGHT  
C NEW CAFE CURTAINS - REPLACE ALL EXISTING AND NEW RODS TO MATCH EXISTING AT NEW BOOTH  
D NEW BAR HEIGHT SETTEE  
E NEW DINING HEIGHT SETTEE WITH UPHOLSTERED "ARMS"  
F NEW BAR DIE AND STONE DINING COUNTER WITH TILED FOOTREST/FRONT  
G NEW WINE STORAGE AND DISPLAY CABINETS AND SHELVES  
H ADA STEEL RAIL AT RAMP (BOTH SIDES)  
I ADA STEEL RAIL AT STEP (BOTH SIDES)  
J (4) CUSTOM COPPER STOOLS  
K CUSTOM LIGHT FIXTURE (2)  
L HOSTESS STAND  
M REWORKED HOSTESS STAND/DRINK RAIL  
N CARRYOUT CUBBIES  
O GLASS SNEEZEGUARD  
P PAINTED WOOD DISPLAY SHELVES  
Q NEW UPHOLSTERED BOOTHS (2)  
R NEW CABINET

#### PROPOSED SEATING

BAR	8
HIGHTOP	10
BOOTH	15
SETTEE	15
DINING COUNTER	4
NEW SETTEE	8
NEW BOOTH	2
TOTAL	65

R O N A N D R O M A N architects et al. 275 E. Frank St. Birmingham, MI 48009 o) 248.723.5790 f) 248.723.5795	
Project:	Luxe Expanding Kitchen and Dining in Existing and Adjacent Tenant Spaces 525 North Old Woodward, Birmingham, MI 48009
Issue Date:	
SUBMISSION	08.05.2020
REVISION	09.02.2020
REVISION	11.24.2020
REVISION	05.07.2021
PERMIT	10.01.2021
ADMIN APPROVAL	11.12.2021
Sheet Title:	Site / Floor Plan
Sheet Number:	A102





**APPROVED**  
*[Signature]*  
10-8-21

## Administrative Approval Application Planning Division

*Form will not be processed until it is completely filled out.*

### 1. Applicant

Name: Hagopian World of Rugs  
Address: \_\_\_\_\_  
850 S. Old Woodward, Birmingham MI 48009  
Phone Number: 248-646-7847  
Fax Number: 248-646-1850  
Email Address: hagopian@aol.com

### 2. Property Owner

Name: Beier Real Estate Trust / Bruce Beier  
Address: \_\_\_\_\_  
3586 Burning Bush  
Bloomfield Hills MI 48301  
Phone Number: 248-646-6569  
Fax Number: \_\_\_\_\_  
Email Address: beierbw@aol.com

### 3. Applicant's Attorney/Contact Person

Name: Suzanne Hagopian  
Address: \_\_\_\_\_  
850 S. Old Woodward, Birmingham MI 48009  
Phone Number: 248-646-7847  
Fax Number: 248-646-1850  
Email Address: suzanneh@originalhagopian.com

### 4. Project Designer/Developer

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 5. Project Information

Address/Location of Property: 850 S. Old Woodward  
Name of Development: \_\_\_\_\_  
Parcel ID#: 08-19-36-278-017  
Current Use: retail rug store  
Area in Acres: \_\_\_\_\_  
Current Zoning: Commercial Industrial Building

Name of Historic District if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment

- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

### 7. Details of the Request for Administrative Approval

This is a request of approval for paint color (Pantone SW0038 Library Pewter) to paint trim on building per email to Brooks Cowan dated 9/24/21

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: *[Signature]* Date: 10-1-21

#### Office Use Only

Application #: 21-0106

Date Received: 10-5-21

Fee: \_\_\_\_\_

Date of Approval: 10-5-21

Date of Denial: \_\_\_\_\_

Reviewed By: *[Signature]*





### CONSENT OF PROPERTY OWNER

I, Beier Family Real Estate, OF THE STATE OF Michigan AND  
(Name of Property Owner)

COUNTY OF Emmett STATE THE FOLLOWING:

1. That I am the owner of real estate located at 850 S. Old Woodward;  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by: Suzanne Hagopian;  
(Name of Applicant)

3. That I have no objections to, and consent to the request(s) described in the Application made to the City of  
 Birmingham.

Name of Owner (Printed): Beier Family Real Estate

Signature of Owner: [Signature] Date: 10/1/21



## Pam Coultis

---

**From:** Pam Coultis  
**Sent:** Friday, September 24, 2021 2:35 PM  
**To:** bcowan@bhamgov.org  
**Cc:** Suzanne Hagopian  
**Subject:** Request for approval of paint color / 850 S. Old Woodward, Birmingham MI 48009 - Hagopian World of Rugs  
**Attachments:** paintcolorsw0038.pdf; southsidewindow.jpg; frontentrace.jpg; frontwindows.jpg

Tracking:	Recipient	Read
	bcowan@bhamgov.org	
	Suzanne Hagopian	Read: 9/24/2021 3:13 PM

Hello Brooks,

I spoke to you in August about some exterior painting we would like to do before the weather changes. Suzanne Hagopian has selected a color (Sherwin Williams SW0038 Library Pewter) for our window trim and I would like to submit it here for approval. I am also attaching copies of the trim to be painted that include the southside of our building display window, the front entrance window and frame and 3 windows along the front of the building (triple paned) that have trim to be painted.

Please let me know if you need anything further and when we can expect a response.

Thank you.

Pamela D. Coultis, Administrative Assistant  
Hagopian World of Rugs, Inc.  
850 S. Old Woodward  
Birmingham, MI  
248-646-7847



SW 0038  
Library Pewter













850

80<sup>TH</sup>  
ANNIVERSARY



Hours of Operation  
Monday - 9am - 5pm  
Tuesday - 9am - 5pm  
Wednesday - 9am - 5pm  
Thursday - 9am - 5pm  
Friday - 9am - 5pm  
Saturday - 9am - 5pm  
Sunday - 9am - 5pm  
Thank you for your business





City of Birmingham  
A Walkable Community

**APPROVED**

7-14-21  
*[Signature]*

## Administrative Approval Application Planning Division

*Strategis*

Form will not be processed until it is completely filled out.

### 1. Applicant

Name: William Atkinson  
Address: 4418 Tonawanda  
ROUCH OAK MI 48073  
Phone Number: 248-802-5217  
Fax Number: \_\_\_\_\_  
Email Address: WAtkinson@Strategisinc.com

### 2. Property Owner

Name: T-Mobile Center  
Address: 28505 Schoolcraft  
Livonia MI 48150  
Phone Number: 734-367-7200  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 3. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 4. Project Designer/Developer

Name: Landtech  
Address: 1275 McBregor  
Grawn MI 49637  
Phone Number: 231-943-0050  
Fax Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### 5. Project Information

Address/Location of Property: 2100 E Maple  
Name of Development: T-Mobile DED1248C  
Parcel ID#: 20-31-202-001  
Current Use: Cell tower  
Area in Acres: Admin  
Current Zoning: \_\_\_\_\_

Name of Historic District if any: \_\_\_\_\_  
Date of HDC Approval, if any: \_\_\_\_\_  
Date of Application for Preliminary Site Plan: \_\_\_\_\_  
Date of Preliminary Site Plan Approval: \_\_\_\_\_  
Date of Application for Final Site Plan: \_\_\_\_\_  
Date of Final Site Plan Approval: \_\_\_\_\_  
Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

### 7. Details of the Request for Administrative Approval

antenna replacement with supporting equipment

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: *[Signature]*

Date: 7-22-21

#### Office Use Only

Application #: 21-0099  
Date of Approval: 9-14-21

Date Received: \_\_\_\_\_  
Date of Denial: \_\_\_\_\_

Fee: \_\_\_\_\_  
Reviewed By: *[Signature]*





**Tower Engineering Solutions**

Phone (972) 483-0607, Fax (972) 975-9615  
1320 Greenway Drive, Suite 600, Irving, Texas 75038

## **Structural Analysis Report**

**Existing 120 ft Andrew Self Supporting Tower**

**Customer Name: KGI Wireless, Inc.**

**Customer Site Number: 27739**

**Customer Site Name: Birmingham**

**Carrier Name: T-Mobile**

**Carrier Site ID / Name: 27739**

**Site Location: 2080 East Maple Road**

**Birmingham, Michigan**

**OAKLAND County**

**Latitude: 42.545200**

**Longitude: -83.193600**

**Analysis Result:**

**Max Structural Usage: 89.2% [Pass]**

**Max Foundation Usage: 69% [Pass]**

**Report Prepared By: Stacey Hesselbein**







**Tower Engineering Solutions**

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### **Analysis Result:**

**Max Structural Usage: 89.2% [Pass]**

**Max Foundation Usage: 69% [Pass]**

**Report Prepared By: Stacey Hesselbein**



## Introduction

The purpose of this report is to summarize the analysis results on the 120 ft Andrew Self Supporting Tower to support the proposed antennas and transmission lines in addition to those currently installed. Any modification listed under Sources of Information was assumed completed and was included in this analysis.

## Sources of Information

<b>Tower Drawings</b>	Andrew Dwg #LI-7033-01, dated August 30, 1987 Semaan Engineering Solutions analysis Dated 03/08/2018
<b>Foundation Drawing</b>	Andrew Drawing #7033-01, dated August 6, 1987
<b>Geotechnical Report</b>	SME Project # E10611 Dated 06/23/1987
<b>Modification Drawings</b>	N/A
<b>Mount Analysis</b>	TES, Project # 104006 Dated 04/09/2021

## Analysis Criteria

The rigorous analysis was performed in accordance with the requirements and stipulations of the TIA-222-G-2. In accordance with this standard, the structure was analyzed using **TESTowers**, a proprietary analysis software. The program considers the structure as an elastic 3-D model with second-order effects and temperature effects incorporated in the analysis. The analysis was performed using multiple wind directions.

<b>Wind Speed Used in the Analysis:</b>	Ultimate Design Wind Speed $V_{ult} = 115$ mph (3-Sec. Gust)/ Nominal Design Wind Speed $V_{asd} = 89.0$ mph (3-Sec. Gust)
<b>Wind Speed with Ice:</b>	40 mph (3-Sec. Gust) with 1" radial ice concurrent
<b>Operational Wind Speed:</b>	60 mph + 0" Radial ice
<b>Standard/Codes:</b>	TIA-222-G-2 / 2015 Michigan Building Code
<b>Exposure Category:</b>	C
<b>Structure Class:</b>	II
<b>Topographic Category:</b>	1
<b>Crest Height:</b>	0 ft
<b>Seismic Parameters:</b>	$S_s = 0.089$ , $S_1 = 0.045$



### Existing Antennas, Mounts and Transmission Lines

The table below summarizes the antennas, mounts and transmission lines that were considered in the analysis as existing on the tower.

Items	Elevation (ft)	Qty.	Antenna Descriptions	Mount Type & Qty.	Transmission Lines	Owner
1	120.0	12	Amphenol BXA-70080/8 Ft. Panel	Platform w/ Handrails	(12) 1 5/8" (3) Hybrid	Verizon
2		12	Ericsson RRUS A2 Modules			
3		6	RRH 3JR52709AA 2X60 (AWS 60W)			
4		3	RRH 4X30-4T4R-B13 (700 60W)			
5		3	RRH 4X30-4T4R-BAND 25 (PCS 60W RRH)			
6		12	10"x7"x2" TMAs			
7		3	OVP Junction Boxes			
8	110.0	9	Decibel DB848H80E-XY Panel	(3) T-Frames	(9) 7/8"	Sprint Nextel
-	100.0	6	Andrew RR651900P - Panel	(3) T-Frames	(18) 7/8"	T-Mobile
-		3	Andrew TMBX-6516-R2M - Panel			
-		3	Andrew ETW190VS12UB - TMA			
-		6	Andrew ETW200VS12UB - TMA			
12	90.0	3	Allgon 7184 Panel	(3) T-Frames	(1) 0.39" Fiber (2) 0.78" 8 AWG 6 (1) 3/8" RET (12) 7/8"	AT&T
13		3	Andrew SBNHH-1D65C Panel			
14		3	Powerwave RA21.7772.00 Panel			
15		6	Powerwave LGP21401 TMA			
16		3	Alcatel Lucent RRH2x40-07-L RRU			
17		3	Alcatel Lucent RRH2x60-1900A-4R RRU			
18		1	Raycap DC6-48-60-18-8C OVP			
19		1	Squid Box			
20	80.0	1	Andrew VHLP2.5-180 Dish	(1) Dish Mount	(2) 7/8"	Fibertower
21	75.0	3	Argus LLPX310R Panel	(3) T-Frames	(6) 1/2" (2) 2" (6) 5/16"	Clearwire
22		3	Andrew VHLP2-23-1GR Dish			
23		3	DragonWave Horizon DUO			
24		6	Motorola WAP 450			
25	65.0	3	Andrew SBH-2D6516 Panel	(3) T-Frames	(12) 7/8"	Metro PCS
26		3	EMS RR65-19-VDP/-R Panel			

### Proposed Carrier's Final Configuration of Antennas, Mounts and Transmission Lines

Information pertaining to the proposed carrier's final configuration of antennas and transmission lines was provided by KGI Wireless, Inc. The proposed antennas and lines are listed below.

Items	Elevation (ft)	Qty.	Antenna Descriptions	Mount Type & Qty.	Transmission Lines	Owner
9	100.0	3	Andrew HBXX-6517DS-A2M - Panel	(3) Sector Frames (Commscope SFG22HDX14-5)	(2) 1.55" Hybrid (16) 7/8"	T-Mobile
10		3	Nokia AEHC Panel			
11		3	Nokia AHFIG RRU			

See the attached coax layout for the line placement considered in the analysis.



### Analysis Results

The results of the structural analysis, performed for the wind and ice loading and antenna equipment as defined above, are summarized as the following:

Tower Component	Legs	Diagonals	Horizontals
Max. Usage:	<b>84.0%</b>	<b>89.2%</b>	<b>18.4%</b>
Pass/Fail	<b>Pass</b>	<b>Pass</b>	<b>Pass</b>

### Foundations

	Compression (Kips)	Uplift (Kips)	Shear (Kips)
Analysis Reactions	221.0	192.6	25.6

The foundation has been investigated using the supplied documents and soils report and was found adequate. Therefore, no modification to the foundation will be required.



### **Operational Condition (Rigidity):**

The maximum twist and sway of the microwave dishes under the operational wind speed as specified in the Analysis Criteria are listed in the table below:

Elevation (ft)	Antenna / Dish	Carrier	Twist (deg)	Sway (deg)
80.0	Andrew VHLP2.5-180 Dish	Fibertower	0.009	0.163
75.0	Andrew VHLP2-23-1GR Dish	Clearwire	0.007	0.130

It is recommended that the carriers review the twist and sway values of the microwave dishes.

### **Conclusions**

Based on the analysis results, the existing structure and its foundation were found to be adequate to safely support the existing and proposed equipment and meet the minimum requirements per the TIA-222 Standard under the design basic wind speed as specified in the Analysis Criteria.



## Standard Conditions

1. This analysis was performed based on the information supplied to **(TES) Tower Engineering Solutions, LLC**. Verification of the information provided was not included in the Scope of Work for **TES**. The accuracy of the analysis is dependent on the accuracy of the information provided.
2. The structural analysis was performance based upon the evidence available at the time of this report. All information provided by the client is considered to be accurate.
3. The analyses will be performed based on the codes as specified by the client or based on the best knowledge of the engineering staff of **TES**. In the absence of information to the contrary, all work will be performed in accordance with the latest relevant revision of ANSI/TIA-222. If wind speed and/or ice loads are different from the minimum values recommended by the ANSI/TIA-222 standard or other codes, **TES** should be notified in writing and the applicable minimum values provided by the client.
4. The configuration of the existing mounts, antennas, coax and other appurtenances were supplied by the customer for the current structural analysis. **TES** has not visited the tower site to verify the adequacy of the information provided. If there is any discrepancy found in the report regarding the existing conditions, **TES** should be notified immediately to evaluate the effect of the discrepancy on the analysis results.
5. The client will assume responsibility for rework associated with the differences in initially provided information, including tower and foundation information, existing and/or proposed equipment and transmission lines.
6. If a feasibility analysis was performed, final acceptance of changed conditions shall be based upon a rigorous structural analysis.



Site Name: Birmingham

Type: Self Support

Height: 120.00 (ft)

Base Elev: 0.00 (ft)

Base Shape: Triangle

Base Width: 16.83

Top Width: 5.84

Code: EIA/TIA-222-G

Basic WS: 89.00

Basic Ice WS: 40.00

Operational WS: 60.00

5/27/2021

Page: 1



## Section Properties

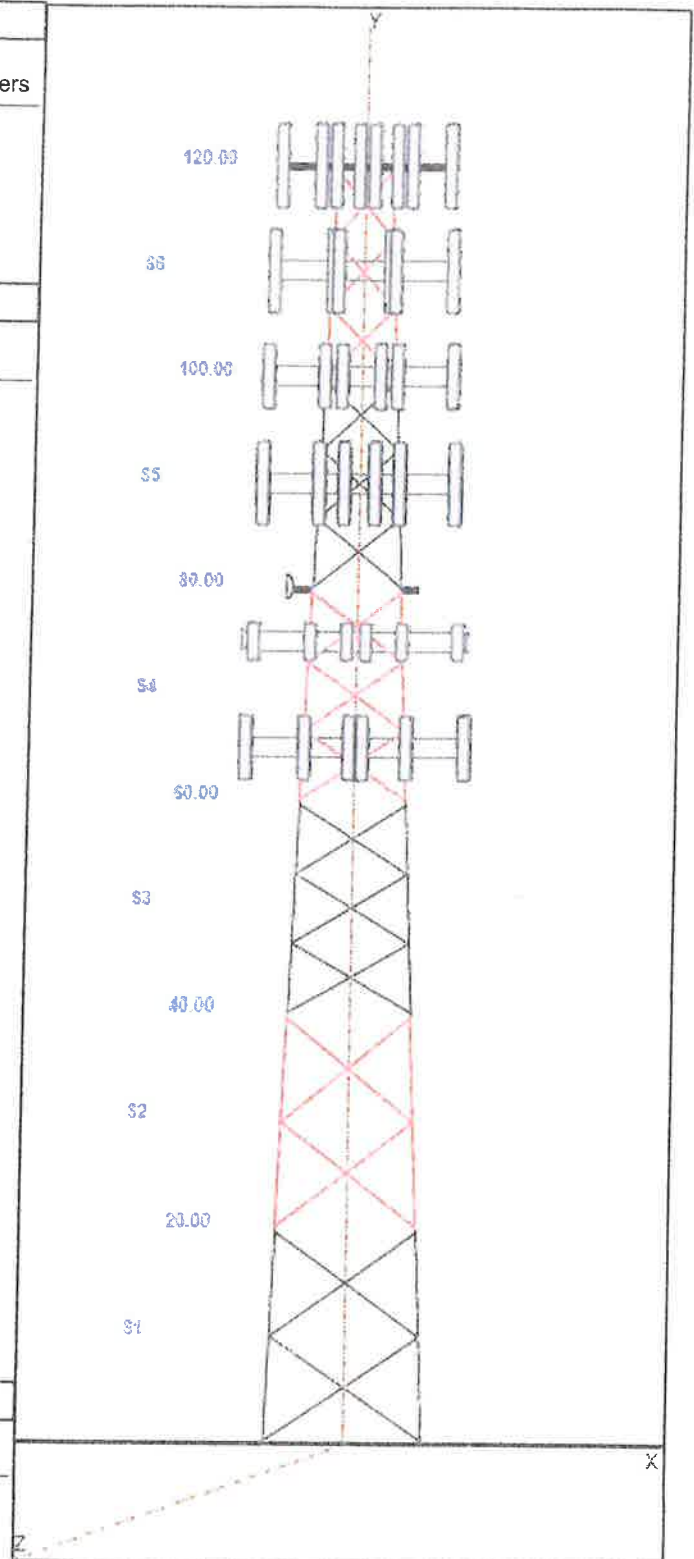
Sect	Leg Members	Diagonal Members	Horizontal Members
1	PST 8" DIA PIPE	SAE 3.5X3.5X0.25	
2	PST 6" DIA PIPE	SAE 3X3X0.25	
3	PST 5" DIA PIPE	SAU 3X2.5X0.1875	
4	PST 5" DIA PIPE	SAE 2.5X2.5X0.1875	
5	PST 4" DIA PIPE	SAU 2.5X2X0.1875	
6	PST 3" DIA PIPE	SAE 2X2X0.1875	SAE 2X2X0.1875

## Discrete Appurtenances

Attach Elev (ft)	Force Elev (ft)	Qty	Description
120.00	120.00	1	6' Lightning rod
120.00	120.00	1	Beacon
120.00	120.00	12	BXA-70080/8CF (94.7")
120.00	120.00	12	RRUS A2 Module
120.00	120.00	6	3JR52709AA 2X60
120.00	120.00	3	4X30-4T4R-B13
120.00	120.00	3	4X30-4T4R-BAND 25
120.00	120.00	12	10"x7"x2" TMAs
120.00	120.00	3	OVP Junction Box
120.00	120.00	1	Platform w/ Hand Rails (flat)
110.00	110.00	9	DB848H80E-XY
110.00	110.00	3	T-Frames
100.00	100.00	3	HBXX-6517DS-A2M
100.00	100.00	3	AEHC
100.00	100.00	3	AHFIG
100.00	100.00	1	(3) SFG22HDX
90.00	90.00	3	7184
90.00	90.00	3	SBNHH-1D65C
90.00	90.00	3	RA21.7772.00
90.00	90.00	6	LGP21401
90.00	90.00	3	RRH2x40-07-L
90.00	90.00	3	RRH2X60-1900A-4R
90.00	90.00	1	DC6-48-60-18-8C
90.00	90.00	1	Squid Box
90.00	90.00	3	T-Frames
80.00	80.00	1	VHLP2.5-180
80.00	80.00	1	Dish Mount
75.00	75.00	3	LLPX310R
75.00	75.00	3	VHLP2-23-1GR
75.00	75.00	3	Horizon DUO
75.00	75.00	6	WAP 450
75.00	75.00	3	T-Frames
65.00	65.00	3	SBH-2D6516
65.00	65.00	3	RR65-19-VDP/-R
65.00	65.00	3	T-Frames

## Linear Appurtenances

Elev From (ft)	Elev To (ft)	Qty	Description
0.00	120.00	10	1 5/8" Coax
0.00	120.00	2	1 5/8" Coax
0.00	120.00	3	Hybrid
0.00	120.00	1	W/G Ladder
0.00	110.00	9	7/8" Coax





Site Name: Birmingham

Code: EIA/TIA-222-G

5/27/2021

Type: Self Support

Base Shape: Triangle

Basic WS: 89.00

Height: 120.00 (ft)

Base Width: 16.83

Basic Ice WS: 40.00

Base Elev: 0.00 (ft)

Top Width: 5.84

Operational WS: 60.00

Page: 2



0.00	110.00	1	W/G Ladder
0.00	104.00	2	1.55" Hybrid
0.00	104.00	16	7/8" Coax
0.00	104.00	1	W/G Ladder
0.00	90.00	1	0.39" Fiber
0.00	90.00	2	0.78" 8 AWG 6
0.00	90.00	1	3/8" RET
0.00	90.00	12	7/8" Coax
0.00	90.00	1	W/G Ladder
0.00	80.00	2	7/8" Coax
0.00	75.00	6	1/2" Coax
0.00	75.00	2	2" Coax
0.00	75.00	6	5/16" Coax
0.00	75.00	1	W/G Ladder
0.00	65.00	12	7/8" Coax
0.00	65.00	1	W/G Ladder

Base Reactions	
----------------	--

Leg

Overturning

Max Uplift:	-192.55 (kips)	Moment:	3030.28 (ft-kips)
Max Down:	220.97 (kips)	Total Down:	39.18 (kips)
Max Shear:	25.56 (kips)	Total Shear:	42.86 (kips)



Site Name: Birmingham

Type: Self Support

Height: 120.00 (ft)

Base Elev: 0.00 (ft)

Base Shape: Triangle

Base Width: 16.83

Top Width: 5.84

Code: EIA/TIA-222-G

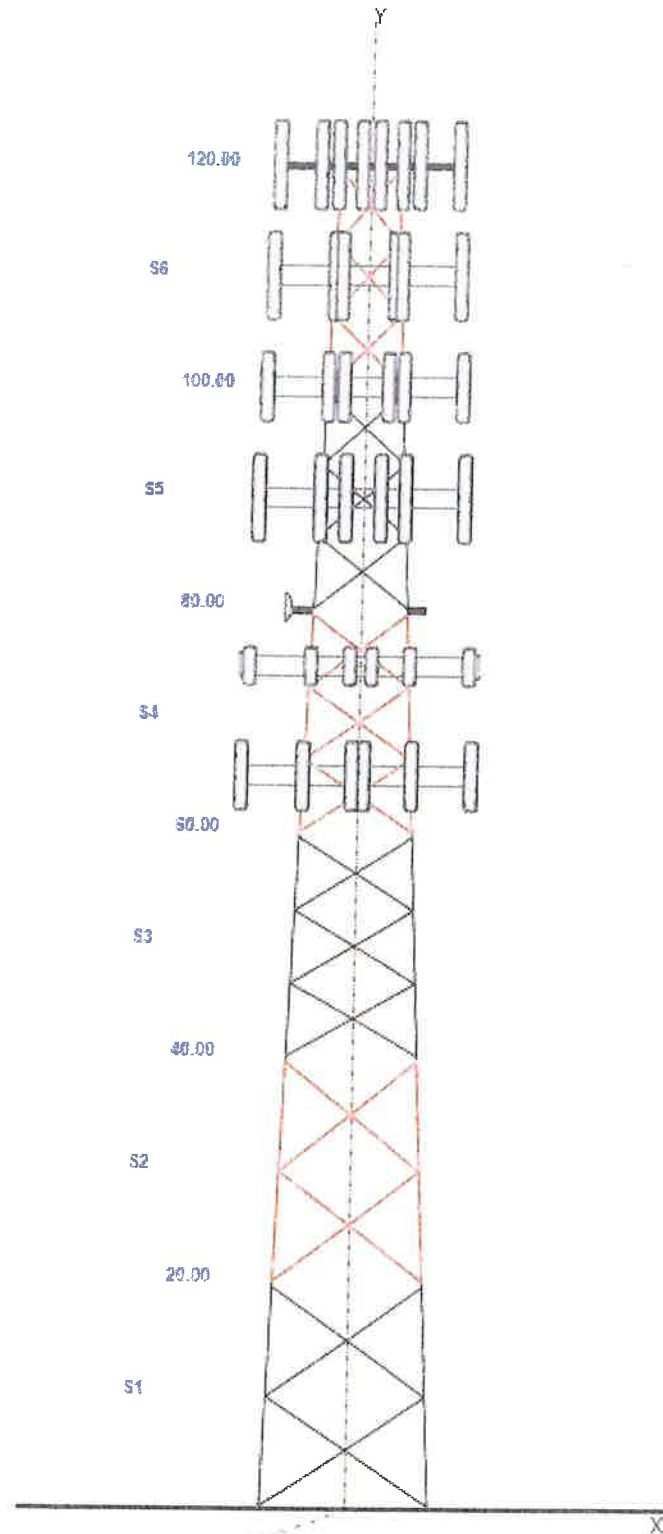
Basic WS: 89.00

Basic Ice WS: 40.00

Operational WS: 60.00

5/27/2021

Page: 3



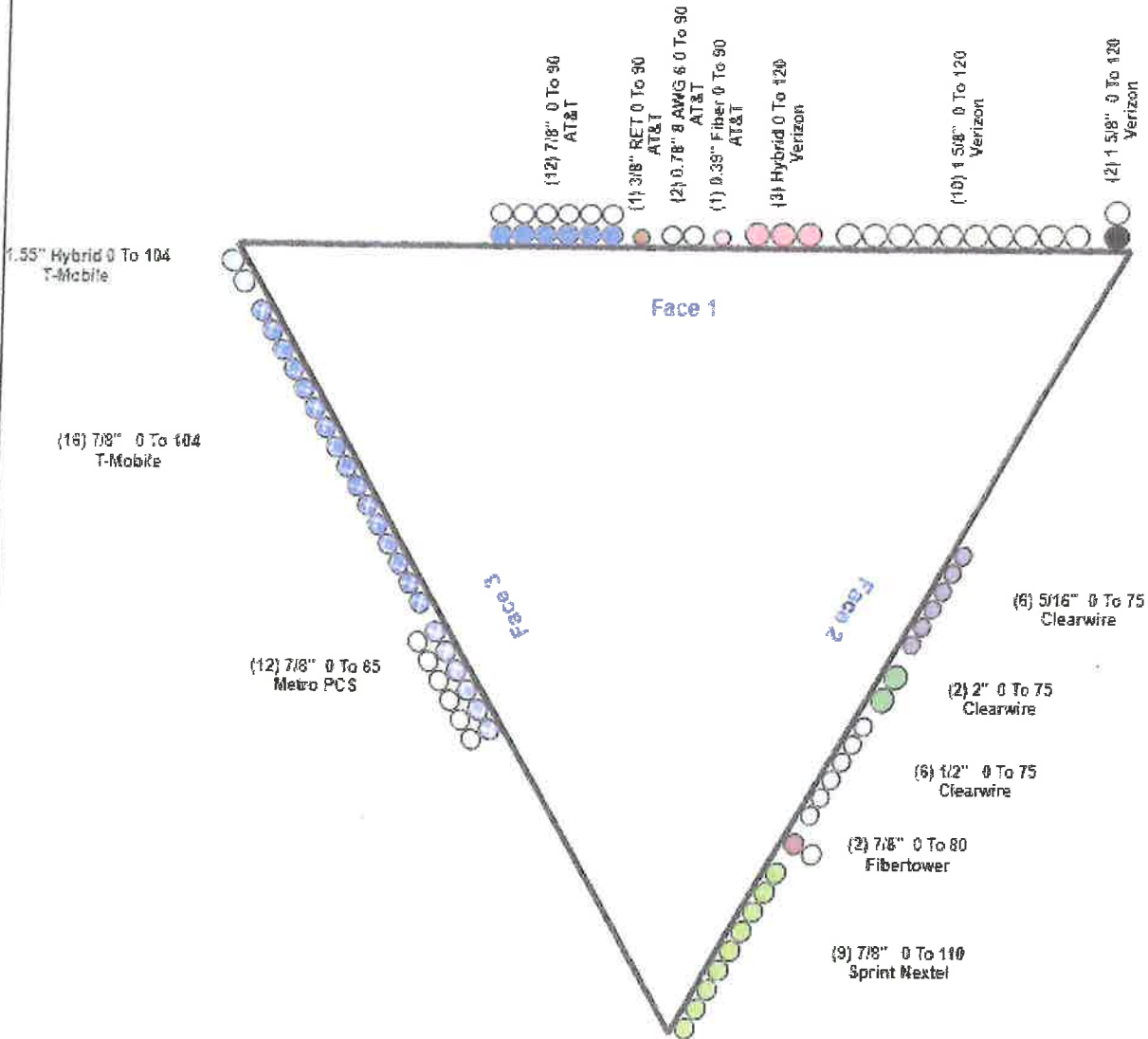


Type: Self Support  
 Site Name: Birmingham  
 Height: 120.00 (ft)

5/27/2021



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## Loading Summary

**Structure:** 27739-KGI  
**Site Name:** Birmingham  
**Height:** 120.00 (ft)  
**Base Elev:** 0.000 (ft)  
**Gh:** 0.85

**Topography:** 1

**Code:** EIA/TIA-222-G  
**Exposure:** C  
**Crest Height:** 0.00  
**Site Class:** D - Stiff Soil  
**Struct Class:** II

5/27/2021

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### Discrete Appurtenances Properties

Attach Elev (ft)	Description	Qty	No Ice		Ice		Len (in)	Width (in)	Depth (in)	Ka	Orientation Factor	Vert Ecc (ft)
			Weight (lb)	CaAa (sf)	Weight (lb)	CaAa (sf)						
120.00	6' Lightning rod	1	6.50	0.380	53.42	1.786	72.000	0.600	0.600	1.00	1.00	0.000
120.00	Beacon	1	36.00	2.720	208.17	3.947	28.000	17.500	17.500	1.00	1.00	0.000
120.00	BXA-70080/8CF (94.7")	12	23.00	8.310	236.85	12.314	94.700	8.100	5.700	0.75	0.85	0.000
120.00	RRUS A2 Module	12	21.20	1.860	67.88	3.119	12.800	15.000	3.400	0.75	0.67	0.000
120.00	3JR52709AA 2X60	6	55.00	3.500	158.43	4.520	37.000	11.000	6.000	0.75	0.67	0.000
120.00	4X30-4T4R-B13	3	57.20	2.160	137.72	2.949	21.600	12.000	9.000	0.75	0.67	0.000
120.00	4X30-4T4R-BAND 25	3	51.00	2.140	125.64	2.926	21.400	12.000	7.200	0.75	0.67	0.000
120.00	10"x7"x2" TMAs	12	11.00	0.000	44.79	1.160	10.000	8.000	2.200	0.75	0.75	0.000
120.00	OVP Junction Box	3	30.00	0.970	66.11	1.889	10.000	10.000	6.000	0.75	0.67	0.000
120.00	Platform w/ Hand Rails (flat)	1	2000.0	40.000	4707.07	67.071	0.000	0.000	0.000	1.00	1.00	0.000
110.00	DB848H80E-XY	9	28.00	7.190	315.01	9.215	96.000	6.500	8.000	0.80	1.00	0.000
110.00	T-Frames	3	500.00	15.000	1176.77	40.266	0.000	0.000	0.000	0.75	0.75	0.000
100.00	HBXX-6517DS-A2M	3	40.80	8.550	264.09	12.248	74.900	12.000	6.500	0.80	0.77	0.000
100.00	AEHC	3	99.00	6.800	309.05	8.135	35.500	23.000	8.500	0.80	0.70	0.000
100.00	AHFIG	3	79.40	3.080	173.15	3.984	27.600	13.400	5.600	0.80	0.67	0.000
100.00	(3) SFG22HDX	1	1983.0	41.500	4438.35	107.56	0.000	0.000	0.000	0.75	1.00	0.000
90.00	7184	3	9.70	2.850	74.21	5.020	51.300	5.400	2.000	0.80	0.69	0.000
90.00	SBNHH-1D65C	3	49.60	11.390	398.79	13.502	96.000	11.900	7.100	0.80	0.84	0.000
90.00	RA21.7772.00	3	46.20	9.670	326.04	11.656	88.500	11.000	5.000	0.80	0.30	0.000
90.00	LGP21401	6	14.10	1.290	45.77	2.349	14.400	9.200	2.600	0.80	0.75	0.000
90.00	RRH2x40-07-L	3	52.40	1.710	129.24	2.850	19.300	10.600	9.700	0.80	0.67	0.000
90.00	RRH2X60-1900A-4R	3	46.00	1.880	139.81	2.644	20.100	11.200	7.600	0.80	0.67	0.000
90.00	DC6-48-60-18-8C	1	20.00	1.260	86.85	2.096	23.500	9.700	9.700	0.80	1.00	0.000
90.00	Squid Box	1	31.80	0.920	110.13	1.475	24.000	11.000	11.000	0.80	1.00	0.000
90.00	T-Frames	3	500.00	15.000	1163.32	39.764	0.000	0.000	0.000	0.75	0.75	0.000
80.00	VHLP2.5-180	1	69.00	6.190	227.24	8.000	30.000	30.000	0.000	1.00	1.00	0.000
80.00	Dish Mount	1	40.00	2.630	139.19	10.004	0.000	0.000	0.000	1.00	1.00	0.000
75.00	LLPX310R	3	28.60	4.300	140.17	6.351	42.000	11.800	4.500	0.80	0.69	0.000
75.00	VHLP2-23-1GR	3	31.00	4.690	151.90	6.268	26.100	26.100	0.000	1.00	1.00	0.000
75.00	Horizon DUO	3	10.60	0.430	38.44	1.062	4.700	9.300	9.300	0.80	0.75	0.000
75.00	WAP 450	6	26.00	1.850	83.07	3.260	25.000	7.600	5.500	0.80	0.75	0.000
75.00	T-Frames	3	500.00	15.000	1146.86	39.149	0.000	0.000	0.000	0.75	0.75	0.000
65.00	SBH-2D6516	3	26.00	5.040	153.19	7.626	63.400	8.000	8.000	0.80	1.00	0.000
65.00	RR65-19-VDP-R	3	16.00	5.880	180.30	7.432	72.000	8.000	2.800	0.80	0.80	0.000
65.00	T-Frames	3	500.00	15.000	1146.86	39.149	0.000	0.000	0.000	0.75	0.75	0.000
<b>Totals:</b>		<b>131</b>	<b>13,691.80</b>		<b>41,048.29</b>						<b>Number of Appurtenances :</b>	<b>35</b>



## Loading Summary

<b>Structure:</b> 27739-KGI	<b>Code:</b> EIA/TIA-222-G	5/27/2021
<b>Site Name:</b> Birmingham	<b>Exposure:</b> C	
<b>Height:</b> 120.00 (ft)	<b>Crest Height:</b> 0.00	
<b>Base Elev:</b> 0.000 (ft)	<b>Site Class:</b> D - Stiff Soil	
<b>Gh:</b> 0.85	<b>Topography:</b> 1	<b>Struct Class:</b> II



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### Linear Appurtenances Properties

Elev. From (ft)	Elev. To (ft)	Description	Qty	Width (in)	Weight (lb/ft)	Pct In Block	Spread On Faces	Bundling Arrangement	Cluster Dia (in)	Out of Zone	Spacing (in)	Orientation Factor	Ka Override
0.00	120.00	1 5/8" Coax	10	1.98	1.04	100.00	1	Individual NR		N	1.00	1.00	
0.00	120.00	1 5/8" Coax	2	1.98	1.04	50.00	1	Block		N	0.50	1.00	
0.00	120.00	Hybrid	3	2.00	1.10	100.00	1	Individual NR		N	1.00	1.00	
0.00	120.00	W/G Ladder	1	3.00	6.00	100.00	1	Individual NR		N	1.00	1.00	
0.00	110.00	7/8" Coax	9	1.11	0.52	100.00	2	Individual NR		N	1.00	0.43	
0.00	110.00	W/G Ladder	1	3.00	6.00	100.00	2	Individual NR		N	1.00	1.00	
0.00	104.00	1.55" Hybrid	2	1.55	1.15	100.00	3	Individual NR		N	1.00	1.00	
0.00	104.00	7/8" Coax	16	1.11	0.52	100.00	3	Individual NR		N	1.00	1.00	
0.00	104.00	W/G Ladder	1	3.00	6.00	100.00	3	Individual NR		N	1.00	1.00	
0.00	90.00	0.39" Fiber	1	0.39	0.05	100.00	1	Individual NR		N	1.00	1.00	
0.00	90.00	0.78" 8 AWG 6	2	0.88	0.65	100.00	1	Individual NR		N	1.00	1.00	
0.00	90.00	3/8" RET	1	0.38	0.06	100.00	1	Individual NR		N	1.00	1.00	
0.00	90.00	7/8" Coax	12	1.11	0.52	50.00	1	Block		N	0.50	1.00	
0.00	90.00	W/G Ladder	1	3.00	6.00	100.00	1	Individual NR		N	1.00	1.00	
0.00	80.00	7/8" Coax	2	1.11	0.52	50.00	2	Block		N	0.50	1.00	
0.00	75.00	1/2" Coax	6	0.65	0.16	100.00	2	Individual NR		N	1.00	0.52	
0.00	75.00	2" Coax	2	2.00	1.61	100.00	2	Individual NR		N	1.00	0.75	
0.00	75.00	5/16" Coax	6	0.44	0.08	100.00	2	Individual NR		N	1.00	0.54	
0.00	75.00	W/G Ladder	1	3.00	6.00	100.00	2	Individual NR		N	1.00	1.00	
0.00	65.00	7/8" Coax	12	1.11	0.52	50.00	3	Block		N	0.50	1.00	
0.00	65.00	W/G Ladder	1	3.00	6.00	100.00	3	Individual NR		N	1.00	1.00	



## Section Forces

**Structure:** 27739-KGI  
**Site Name:** Birmingham  
**Height:** 120.00 (ft)  
**Base Elev:** 0.000 (ft)  
**Gh:** 0.85

**Topography:** 1

**Code:** EIA/TIA-222-G  
**Exposure:** C  
**Crest Height:** 0.00  
**Site Class:** D - Stiff Soil  
**Struct Class:** II

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**Load Case:** 1.2D + 1.6W Normal Wind

1.2D + 1.6W 89 mph Wind at Normal To Face

**Wind Load Factor:** 1.60  
**Dead Load Factor:** 1.20  
**Ice Dead Load Factor:** 0.00

**Wind Importance Factor:** 1.00

**Ice Importance Factor:** 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Ice Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	14.65	20.939	28.79	0.00	0.15	2.77	1.00	1.00	0.00	33.66	181.88	0.00	5,697.6	0.0	1860.02	3024.07	4,884.09
2	30.0	16.93	16.580	22.11	0.00	0.13	2.84	1.00	1.00	0.00	27.29	181.88	0.00	4,656.7	0.0	1783.62	3494.58	5,278.21
3	50.0	18.85	20.112	18.57	0.00	0.15	2.76	1.00	1.00	0.00	29.70	181.88	0.00	4,149.9	0.0	2104.33	3891.35	5,995.68
4	70.0	20.24	14.776	18.57	0.00	0.15	2.76	1.00	1.00	0.00	24.23	161.03	0.00	3,664.5	0.0	1840.55	3641.24	5,481.79
5	90.0	21.34	13.000	15.02	0.00	0.16	2.75	1.00	1.00	0.00	21.18	124.95	0.00	2,759.7	0.0	1689.31	2911.39	4,600.70
6	110.0	22.26	10.016	11.68	0.00	0.15	2.76	1.00	1.00	0.00	16.65	70.08	0.00	1,823.0	0.0	1389.55	1668.73	3,058.28
														22,751.4	0.0	29,298.74		

**Load Case:** 1.2D + 1.6W 60° Wind

1.2D + 1.6W 89 mph Wind at 60° From Face

**Wind Load Factor:** 1.60  
**Dead Load Factor:** 1.20  
**Ice Dead Load Factor:** 0.00

**Wind Importance Factor:** 1.00

**Ice Importance Factor:** 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Ice Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	14.65	20.939	28.79	0.00	0.15	2.77	0.80	1.00	0.00	29.47	181.88	0.00	5,697.6	0.0	1628.60	3024.07	4,652.67
2	30.0	16.93	16.580	22.11	0.00	0.13	2.84	0.80	1.00	0.00	23.98	181.88	0.00	4,656.7	0.0	1566.93	3494.58	5,061.52
3	50.0	18.85	20.112	18.57	0.00	0.15	2.76	0.80	1.00	0.00	25.67	181.88	0.00	4,149.9	0.0	1819.31	3891.35	5,710.66
4	70.0	20.24	14.776	18.57	0.00	0.15	2.76	0.80	1.00	0.00	21.28	161.03	0.00	3,664.5	0.0	1616.09	3641.24	5,257.33
5	90.0	21.34	13.000	15.02	0.00	0.16	2.75	0.80	1.00	0.00	18.58	124.95	0.00	2,759.7	0.0	1481.96	2911.39	4,393.35
6	110.0	22.26	10.016	11.68	0.00	0.15	2.76	0.80	1.00	0.00	14.65	70.08	0.00	1,823.0	0.0	1222.39	1668.73	2,891.12
														22,751.4	0.0	27,966.65		

**Load Case:** 1.2D + 1.6W 90° Wind

1.2D + 1.6W 89 mph Wind at 90° From Face

**Wind Load Factor:** 1.60  
**Dead Load Factor:** 1.20  
**Ice Dead Load Factor:** 0.00

**Wind Importance Factor:** 1.00

**Ice Importance Factor:** 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Ice Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	14.65	20.939	28.79	0.00	0.15	2.77	0.85	1.00	0.00	30.52	181.88	0.00	5,697.6	0.0	1686.46	3024.07	4,710.52
2	30.0	16.93	16.580	22.11	0.00	0.13	2.84	0.85	1.00	0.00	24.81	181.88	0.00	4,656.7	0.0	1621.11	3494.58	5,115.69
3	50.0	18.85	20.112	18.57	0.00	0.15	2.76	0.85	1.00	0.00	26.68	181.88	0.00	4,149.9	0.0	1890.56	3891.35	5,781.91
4	70.0	20.24	14.776	18.57	0.00	0.15	2.76	0.85	1.00	0.00	22.02	161.03	0.00	3,664.5	0.0	1672.21	3641.24	5,313.45
5	90.0	21.34	13.000	15.02	0.00	0.16	2.75	0.85	1.00	0.00	19.23	124.95	0.00	2,759.7	0.0	1533.80	2911.39	4,445.19
6	110.0	22.26	10.016	11.68	0.00	0.15	2.76	0.85	1.00	0.00	15.15	70.08	0.00	1,823.0	0.0	1264.18	1668.73	2,932.91
														22,751.4	0.0	28,299.67		



## Section Forces

Structure: 27739-KGI

Site Name: Birmingham

Height: 120.00 (ft)

Base Elev: 0.000 (ft)

Gh: 0.85

Topography: 1

Code: EIA/TIA-222-G

Exposure: C

Crest Height: 0.00

Site Class: D - Stiff Soil

Struct Class: II

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**Load Case: 0.9D + 1.6W Normal Wind**

0.9D + 1.6W 89 mph Wind at Normal To Face

Wind Load Factor: 1.60

Dead Load Factor: 0.90

Ice Dead Load Factor: 0.00

Wind Importance Factor: 1.00

Ice Importance Factor: 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	14.65	20.939	28.79	0.00	0.15	2.77	1.00	1.00	0.00	33.66	181.88	0.00	4,273.2	0.0	1860.02	3024.07	4,884.09
2	30.0	16.93	16.580	22.11	0.00	0.13	2.84	1.00	1.00	0.00	27.29	181.88	0.00	3,492.5	0.0	1783.62	3494.58	5,278.21
3	50.0	18.85	20.112	18.57	0.00	0.15	2.76	1.00	1.00	0.00	29.70	181.88	0.00	3,112.4	0.0	2104.33	3891.35	5,995.68
4	70.0	20.24	14.776	18.57	0.00	0.15	2.76	1.00	1.00	0.00	24.23	161.03	0.00	2,748.4	0.0	1840.55	3641.24	5,481.79
5	90.0	21.34	13.000	15.02	0.00	0.16	2.75	1.00	1.00	0.00	21.18	124.95	0.00	2,069.8	0.0	1689.31	2911.39	4,600.70
6	110.0	22.26	10.016	11.68	0.00	0.15	2.76	1.00	1.00	0.00	16.65	70.08	0.00	1,367.2	0.0	1389.55	1668.73	3,058.28
														17,063.5	0.0	29,298.74		

**Load Case: 0.9D + 1.6W 60° Wind**

0.9D + 1.6W 89 mph Wind at 60° From Face

Wind Load Factor: 1.60

Dead Load Factor: 0.90

Ice Dead Load Factor: 0.00

Wind Importance Factor: 1.00

Ice Importance Factor: 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	14.65	20.939	28.79	0.00	0.15	2.77	0.80	1.00	0.00	29.47	181.88	0.00	4,273.2	0.0	1628.60	3024.07	4,652.67
2	30.0	16.93	16.580	22.11	0.00	0.13	2.84	0.80	1.00	0.00	23.98	181.88	0.00	3,492.5	0.0	1566.93	3494.58	5,061.52
3	50.0	18.85	20.112	18.57	0.00	0.15	2.76	0.80	1.00	0.00	25.67	181.88	0.00	3,112.4	0.0	1819.31	3891.35	5,710.66
4	70.0	20.24	14.776	18.57	0.00	0.15	2.76	0.80	1.00	0.00	21.28	161.03	0.00	2,748.4	0.0	1616.09	3641.24	5,257.33
5	90.0	21.34	13.000	15.02	0.00	0.16	2.75	0.80	1.00	0.00	18.58	124.95	0.00	2,069.8	0.0	1481.96	2911.39	4,393.35
6	110.0	22.26	10.016	11.68	0.00	0.15	2.76	0.80	1.00	0.00	14.65	70.08	0.00	1,367.2	0.0	1222.39	1668.73	2,891.12
														17,063.5	0.0	27,966.65		

**Load Case: 0.9D + 1.6W 90° Wind**

0.9D + 1.6W 89 mph Wind at 90° From Face

Wind Load Factor: 1.60

Dead Load Factor: 0.90

Ice Dead Load Factor: 0.00

Wind Importance Factor: 1.00

Ice Importance Factor: 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	14.65	20.939	28.79	0.00	0.15	2.77	0.85	1.00	0.00	30.52	181.88	0.00	4,273.2	0.0	1686.46	3024.07	4,710.52
2	30.0	16.93	16.580	22.11	0.00	0.13	2.84	0.85	1.00	0.00	24.81	181.88	0.00	3,492.5	0.0	1621.11	3494.58	5,115.69
3	50.0	18.85	20.112	18.57	0.00	0.15	2.76	0.85	1.00	0.00	26.68	181.88	0.00	3,112.4	0.0	1890.56	3891.35	5,781.91
4	70.0	20.24	14.776	18.57	0.00	0.15	2.76	0.85	1.00	0.00	22.02	161.03	0.00	2,748.4	0.0	1672.21	3641.24	5,313.45
5	90.0	21.34	13.000	15.02	0.00	0.16	2.75	0.85	1.00	0.00	19.23	124.95	0.00	2,069.8	0.0	1533.80	2911.39	4,445.19
6	110.0	22.26	10.016	11.68	0.00	0.15	2.76	0.85	1.00	0.00	15.15	70.08	0.00	1,367.2	0.0	1264.18	1668.73	2,932.91
														17,063.5	0.0	28,299.67		



## Section Forces

**Structure:** 27739-KGI  
**Site Name:** Birmingham  
**Height:** 120.00 (ft)  
**Base Elev:** 0.000 (ft)  
**Gh:** 0.85

**Topography:** 1

**Code:** EIA/TIA-222-G  
**Exposure:** C  
**Crest Height:** 0.00  
**Site Class:** D - Stiff Soil  
**Struct Class:** II

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**Load Case:** 1.2D + 1.0Di + 1.0Wi Normal Wind

1.2D + 1.0Di + 1.0Wi 40 mph Wind at Normal From Face

**Wind Load Factor:** 1.00  
**Dead Load Factor:** 1.20  
**Ice Dead Load Factor:** 1.00

**Wind Importance Factor:** 1.00

**Ice Importance Factor:** 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	2.96	20.939	62.73	33.94	0.25	2.45	1.00	1.00	1.77	57.59	241.04	343.1	19,926.	14228.5	354.37	1375.98	1,730.35
2	30.0	3.42	16.580	57.97	35.85	0.25	2.44	1.00	1.00	1.98	50.48	247.91	383.0	20,447.	15791.0	358.06	1712.88	1,827.00
3	50.0	3.81	20.112	61.41	42.84	0.31	2.26	1.00	1.00	2.08	57.13	251.37	403.0	21,389.	17239.7	418.71	1850.98	2,269.70
4	70.0	4.09	14.776	59.45	40.88	0.33	2.22	1.00	1.00	2.16	50.97	220.33	391.7	19,983.	16319.3	392.99	1809.15	2,202.15
5	90.0	4.31	13.000	53.61	38.59	0.36	2.16	1.00	1.00	2.21	46.17	161.81	309.5	15,894.	13134.3	364.55	1410.75	1,775.30
6	110.0	4.50	10.016	50.10	38.42	0.40	2.05	1.00	1.00	2.26	42.00	90.38	158.6	10,245.	8422.8	329.72	725.67	1,055.39
														107,886.8	85135.5	10,859.89		

**Load Case:** 1.2D + 1.0Di + 1.0Wi 60° Wind

1.2D + 1.0Di + 1.0Wi 40 mph Wind at 60° From Face

**Wind Load Factor:** 1.00  
**Dead Load Factor:** 1.20  
**Ice Dead Load Factor:** 1.00

**Wind Importance Factor:** 1.00

**Ice Importance Factor:** 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	2.96	20.939	62.73	33.94	0.25	2.45	0.80	1.00	1.77	53.40	241.04	343.1	19,926.	14228.5	328.60	1375.98	1,704.59
2	30.0	3.42	16.580	57.97	35.85	0.25	2.44	0.80	1.00	1.98	47.16	247.91	383.0	20,447.	15791.0	334.54	1712.88	2,047.42
3	50.0	3.81	20.112	61.41	42.84	0.31	2.26	0.80	1.00	2.08	53.10	251.37	403.0	21,389.	17239.7	389.23	1850.98	2,240.21
4	70.0	4.09	14.776	59.45	40.88	0.33	2.22	0.80	1.00	2.16	48.02	220.33	391.7	19,983.	16319.3	370.21	1809.15	2,179.36
5	90.0	4.31	13.000	53.61	38.59	0.36	2.16	0.80	1.00	2.21	43.57	161.81	309.5	15,894.	13134.3	344.02	1410.75	1,754.77
6	110.0	4.50	10.016	50.10	38.42	0.40	2.05	0.80	1.00	2.26	40.00	90.38	158.6	10,245.	8422.8	314.00	725.67	1,039.66
														107,886.8	85135.5	10,966.02		

**Load Case:** 1.2D + 1.0Di + 1.0Wi 90° Wind

1.2D + 1.0Di + 1.0Wi 40 mph Wind at 90° From Face

**Wind Load Factor:** 1.00  
**Dead Load Factor:** 1.20  
**Ice Dead Load Factor:** 1.00

**Wind Importance Factor:** 1.00

**Ice Importance Factor:** 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	2.96	20.939	62.73	33.94	0.25	2.45	0.85	1.00	1.77	54.45	241.04	343.1	19,926.	14228.5	335.04	1375.98	1,711.03
2	30.0	3.42	16.580	57.97	35.85	0.25	2.44	0.85	1.00	1.98	47.99	247.91	383.0	20,447.	15791.0	340.42	1712.88	2,053.30
3	50.0	3.81	20.112	61.41	42.84	0.31	2.26	0.85	1.00	2.08	54.11	251.37	403.0	21,389.	17239.7	396.60	1850.98	2,247.58
4	70.0	4.09	14.776	59.45	40.88	0.33	2.22	0.85	1.00	2.16	48.76	220.33	391.7	19,983.	16319.3	375.91	1809.15	2,185.06
5	90.0	4.31	13.000	53.61	38.59	0.36	2.16	0.85	1.00	2.21	44.22	161.81	309.5	15,894.	13134.3	349.15	1410.75	1,759.90
6	110.0	4.50	10.016	50.10	38.42	0.40	2.05	0.85	1.00	2.26	40.50	90.38	158.6	10,245.	8422.8	317.93	725.67	1,043.60
														107,886.8	85135.5	11,000.47		



# Section Forces

Structure: 27739-KGI  
 Site Name: Birmingham  
 Height: 120.00 (ft)  
 Base Elev: 0.000 (ft)  
 Gh: 0.85

Topography: 1

Code: EIA/TIA-222-G  
 Exposure: C  
 Crest Height: 0.00  
 Site Class: D - Stiff Soil  
 Struct Class: II

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## Load Case: 1.0D + 1.0W Normal Wind

1.0D + 1.0W 60 mph Wind at Normal To Face

Wind Load Factor: 1.00  
 Dead Load Factor: 1.00  
 Ice Dead Load Factor: 0.00

Wind Importance Factor: 1.00

Ice Importance Factor: 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	6.66	20.939	28.79	0.00	0.15	2.77	1.00	1.00	0.00	36.24	181.88	0.00	4,748.0	0.0	568.80	859.00	1,427.80
2	30.0	7.69	16.580	22.11	0.00	0.13	2.84	1.00	1.00	0.00	29.01	181.88	0.00	3,880.6	0.0	538.42	992.65	1,531.07
3	50.0	8.57	20.112	18.57	0.00	0.15	2.76	1.00	1.00	0.00	30.65	181.88	0.00	3,458.3	0.0	617.02	1105.36	1,722.38
4	70.0	9.20	14.776	18.57	0.00	0.15	2.76	1.00	1.00	0.00	25.32	161.03	0.00	3,053.8	0.0	546.29	1034.31	1,580.60
5	90.0	9.70	13.000	15.02	0.00	0.16	2.75	1.00	1.00	0.00	21.54	124.95	0.00	2,299.8	0.0	487.84	826.99	1,314.84
6	110.0	10.12	10.016	11.68	0.00	0.15	2.76	1.00	1.00	0.00	16.65	70.08	0.00	1,519.1	0.0	394.71	474.01	868.72
														18,959.5	0.0	8,445.40		

## Load Case: 1.0D + 1.0W 60° Wind

1.0D + 1.0W 60 mph Wind at 60° From Face

Wind Load Factor: 1.00  
 Dead Load Factor: 1.00  
 Ice Dead Load Factor: 0.00

Wind Importance Factor: 1.00

Ice Importance Factor: 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	6.66	20.939	28.79	0.00	0.15	2.77	0.80	1.00	0.00	32.05	181.88	0.00	4,748.0	0.0	503.06	859.00	1,362.06
2	30.0	7.69	16.580	22.11	0.00	0.13	2.84	0.80	1.00	0.00	25.69	181.88	0.00	3,880.6	0.0	476.87	992.65	1,469.52
3	50.0	8.57	20.112	18.57	0.00	0.15	2.76	0.80	1.00	0.00	26.63	181.88	0.00	3,458.3	0.0	536.06	1105.36	1,641.41
4	70.0	9.20	14.776	18.57	0.00	0.15	2.76	0.80	1.00	0.00	22.37	161.03	0.00	3,053.8	0.0	482.53	1034.31	1,516.84
5	90.0	9.70	13.000	15.02	0.00	0.16	2.75	0.80	1.00	0.00	18.94	124.95	0.00	2,299.8	0.0	428.94	826.99	1,255.94
6	110.0	10.12	10.016	11.68	0.00	0.15	2.76	0.80	1.00	0.00	14.65	70.08	0.00	1,519.1	0.0	347.23	474.01	821.24
														18,959.5	0.0	8,067.01		

## Load Case: 1.0D + 1.0W 90° Wind

1.0D + 1.0W 60 mph Wind at 90° From Face

Wind Load Factor: 1.00  
 Dead Load Factor: 1.00  
 Ice Dead Load Factor: 0.00

Wind Importance Factor: 1.00

Ice Importance Factor: 1.00

Sect Seq	Wind Height (ft)	qz (psf)	Total Flat Area (sqft)	Total Round Area (sqft)	Ice Round Area (sqft)	Sol Ratio	Cf	Df	Dr	Ice Thick (in)	Eff Area (sqft)	Linear Area (sqft)	Linear Area (sqft)	Total Weight (lb)	Weight Ice (lb)	Struct Force (lb)	Linear Force (lb)	Total Force (lb)
1	10.0	6.66	20.939	28.79	0.00	0.15	2.77	0.85	1.00	0.00	33.10	181.88	0.00	4,748.0	0.0	519.50	859.00	1,378.50
2	30.0	7.69	16.580	22.11	0.00	0.13	2.84	0.85	1.00	0.00	26.52	181.88	0.00	3,880.6	0.0	492.26	992.65	1,484.91
3	50.0	8.57	20.112	18.57	0.00	0.15	2.76	0.85	1.00	0.00	27.64	181.88	0.00	3,458.3	0.0	556.30	1105.36	1,661.65
4	70.0	9.20	14.776	18.57	0.00	0.15	2.76	0.85	1.00	0.00	23.10	161.03	0.00	3,053.8	0.0	498.47	1034.31	1,532.78
5	90.0	9.70	13.000	15.02	0.00	0.16	2.75	0.85	1.00	0.00	19.59	124.95	0.00	2,299.8	0.0	443.67	826.99	1,270.66
6	110.0	10.12	10.016	11.68	0.00	0.15	2.76	0.85	1.00	0.00	15.15	70.08	0.00	1,519.1	0.0	359.10	474.01	833.11
														18,959.5	0.0	8,161.61		



# Force/Stress Compression Summary

Structure: 27739-KGI  
Site Name: Birmingham  
Height: 120.00 (ft)  
Base Elev: 0.000 (ft)  
Gh: 0.85

Topography: 1

Code: EIA/TIA-222-G  
Exposure: C  
Crest Height: 0.00  
Site Class: D - Stiff Soil  
Struct Class: II

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## LEG MEMBERS

Sect	Top Elev	Member	Force (kips)	Load Case	Len (ft)	Bracing %	X	Y	Z	KL/R	Fy (ksi)	Mem Cap (kips)	Leg Use %	Controls
1	20	PST - 8" DIA PIPE	-211.40	1.2D + 1.6W Normal Wind	9.76	100	100	100		39.85	50.00	336.56	62.8	Member X
2	40	PST - 6" DIA PIPE	-173.04	1.2D + 1.6W Normal Wind	9.76	100	100	100		52.07	50.00	205.94	84.0	Member X
3	60	PST - 5" DIA PIPE	-135.21	1.2D + 1.6W Normal Wind	6.51	100	100	100		41.55	50.00	170.56	79.3	Member X
4	80	PST - 5" DIA PIPE	-93.11	1.2D + 1.6W Normal Wind	6.51	100	100	100		41.55	50.00	170.56	54.6	Member X
5	100	PST - 4" DIA PIPE	-52.38	1.2D + 1.6W Normal Wind	6.51	100	100	100		51.73	50.00	117.30	44.7	Member X
6	120	PST - 3" DIA PIPE	-18.53	1.2D + 1.6W Normal Wind	6.51	100	100	100		67.34	50.00	72.03	25.7	Member X

## Splices

Top Splice										Bottom Splice					
Sect	Top Elev	Load Case	Force (kips)	Cap (kips)	Use %	Bolt Type	Num Bolts	Load Case	Force (kips)	Cap (kips)	Use %	Bolt Type	Num Bolts		
1	20	1.2D + 1.6W Normal Wind	184.16	0.00	0.0			1.2D + 1.6W Normal Wind	221.61	0.00					
2	40	1.2D + 1.6W Normal Wind	143.30	0.00	0.0			1.2D + 1.6W Normal Wind	184.16	0.00		1/8 A325	6		
3	60	1.2D + 1.6W Normal Wind	101.15	0.00	0.0			1.2D + 1.6W Normal Wind	143.30	0.00		1 A325	6		
4	80	1.2D + 1.6W Normal Wind	59.37	0.00	0.0			1.2D + 1.6W Normal Wind	101.15	0.00		1 A325	5		
5	100	1.2D + 1.6W Normal Wind	24.81	0.00	0.0			1.2D + 1.6W Normal Wind	59.37	0.00		7/8 A325	5		
6	120	1.2D + 1.0Di + 1.0Wi Normal Wi	4.13	0.00	0.0			1.2D + 1.6W Normal Wind	24.81	0.00		7/8 A325	4		

## HORIZONTAL MEMBERS

Sect	Top Elev	Member	Force (kips)	Load Case	Len (ft)	Bracing %	X	Y	Z	KL/R	Fy (ksi)	Mem Cap (kips)	Num Bolts	Num Holes	Shear Cap (kips)	Bear Cap (kips)	Use %	Controls
1	20											0.00	0	0				
2	40											0.00	0	0				
3	60											0.00	0	0				
4	80											0.00	0	0				
5	100											0.00	0	0				
6	120	SAE - 2X2X0.1875	-0.93	1.2D + 1.6W 60° Wind	5.84	100	100	100		177.86	36.00	5.07	1	1	12.43	9.79	18	Member Z

## DIAGONAL MEMBERS

Sect	Top Elev	Member	Force (kips)	Load Case	Len (ft)	Bracing %	X	Y	Z	KL/R	Fy (ksi)	Mem Cap (kips)	Num Bolts	Num Holes	Shear Cap (kips)	Bear Cap (kips)	Use %	Controls
1	20	SAE - 3.5X3.5X0.25	-10.2	0.9D + 1.6W 90° Wind	18.29	48	48	48		151.77	36.00	16.58	1	1	17.89	14.3	71	Bolt Bear
2	40	SAE - 3X3X0.25	-9.60	1.2D + 1.6W 90° Wind	17.50	49	49	49		173.81	36.00	10.77	1	1	12.43	13.0	89	Member Z
3	60	SAU - 3X2.5X0.1875	-8.32	1.2D + 1.6W 90° Wind	14.40	48	48	48		155.60	36.00	9.33	1	1	12.43	9.79	89	Member Z
4	80	SAE - 2.5X2.5X0.1875	-7.64	1.2D + 1.6W 90° Wind	12.79	48	48	48		148.83	36.00	9.20	1	1	12.43	9.79	83	Member Z
5	100	SAU - 2.5X2X0.1875	-5.69	1.2D + 1.6W 90° Wind	11.25	48	48	48		151.78	36.00	7.94	1	1	12.43	9.79	72	Member Z
6	120	SAE - 2X2X0.1875	-3.59	1.2D + 1.6W 90° Wind	9.81	48	48	48		143.47	36.00	7.79	1	1	12.43	9.79	46	Member Z



# Force/Stress Tension Summary

Structure: 27739-KGI  
 Site Name: Birmingham  
 Height: 120.00 (ft)  
 Base Elev: 0.000 (ft)  
 Gh: 0.85

Topography: 1

Code: EIA/TIA-222-G  
 Exposure: C  
 Crest Height: 0.00  
 Site Class: D - Stiff Soil  
 Struct Class: II

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## LEG MEMBERS

Sect	Top Elev	Member	Force (kips)	Load Case	Fy (ksi)	Mem Cap (kips)	Leg Use %	Controls
1	20	PST - 8" DIA PIPE	193.80	0.9D + 1.6W 60° Wind	50	378.00	51.3	Member
2	40	PST - 6" DIA PIPE	159.91	0.9D + 1.6W 60° Wind	50	251.10	63.7	Member
3	60	PST - 5" DIA PIPE	123.03	0.9D + 1.6W 60° Wind	50	193.50	63.6	Member
4	80	PST - 5" DIA PIPE	84.59	0.9D + 1.6W 60° Wind	50	193.50	43.7	Member
5	100	PST - 4" DIA PIPE	48.37	0.9D + 1.6W 60° Wind	50	142.65	33.9	Member
6	120	PST - 3" DIA PIPE	18.55	0.9D + 1.6W 60° Wind	50	100.35	18.5	Member

## Splices

Sect	Top Elev	Top Splice						Bottom Splice					
		Load Case	Force (kips)	Cap (kips)	Use %	Bolt Type	Num Bolts	Load Case	Force (kips)	Cap (kips)	Use %	Bolt Type	Num Bolts
1	20	0.9D + 1.6W 60° Wind	159.64	0.00	0.0			0.9D + 1.6W 60° Wind	193.8	0.00			
2	40	0.9D + 1.6W 60° Wind	122.77	0.00	0.0			0.9D + 1.6W 60° Wind	159.6	360.65	44.3	1 1/8 A325	6
3	60	0.9D + 1.6W 60° Wind	84.40	0.00	0.0			0.9D + 1.6W 60° Wind	122.7	318.06	38.6	1 A325	6
4	80	0.9D + 1.6W 60° Wind	48.18	0.00	0.0			0.9D + 1.6W 60° Wind	84.40	265.05	31.8	1 A325	5
5	100	0.9D + 1.6W 60° Wind	17.68	0.00	0.0			0.9D + 1.6W 60° Wind	48.18	207.80	23.2	7/8 A325	5
6	120		0.00	0.00	0.0			0.9D + 1.6W 60° Wind	17.68	166.24	10.6	7/8 A325	4

## HORIZONTAL MEMBERS

Sect	Top Elev	Member	Force (kips)	Load Case	Fy (ksi)	Mem Cap (kips)	Num Bolts	Num Holes	Shear Cap (kips)	Bear Cap (kips)	B.S. Cap (kips)	Use %	Controls
1	20	-			36	0.00	0	0					
2	40	-			36	0.00	0	0					
3	60	-			36	0.00	0	0					
4	80	-			36	0.00	0	0					
5	100	-			36	0.00	0	0					
6	120	SAE - 2X2X0.1875	0.91	0.9D + 1.6W Normal Wi	36	23.00	1	1	12.43	9.79	8.51	10.7	Blck Shear

## DIAGONAL MEMBERS

Sect	Top Elev	Member	Force (kips)	Load Case	Fy (ksi)	Mem Cap (kips)	Num Bolts	Num Holes	Shear Cap (kips)	Bear Cap (kips)	B.S. Cap (kips)	Use %	Controls
1	20	SAE - 3.5X3.5X0.25	10.13	1.2D + 1.6W 90° Wind	36	54.76	1	1	17.89	14.35	16.62	70.5	Bolt Bear
2	40	SAE - 3X3X0.25	9.78	1.2D + 1.6W 90° Wind	36	46.66	1	1	12.43	13.05	14.07	78.7	Bolt Shear
3	60	SAU - 3X2.5X0.1875	8.30	1.2D + 1.6W 90° Wind	36	32.40	1	1	12.43	9.79	10.55	84.8	Bolt Bear
4	80	SAE - 2.5X2.5X0.1875	7.61	1.2D + 1.6W 90° Wind	36	29.22	1	1	12.43	9.79	9.53	79.8	Blck Shear
5	100	SAU - 2.5X2X0.1875	5.62	1.2D + 1.6W 90° Wind	36	26.24	1	1	12.43	9.79	9.53	58.9	Blck Shear
6	120	SAE - 2X2X0.1875	3.49	0.9D + 1.6W 90° Wind	36	23.00	1	1	12.43	9.79	7.50	46.5	Blck Shear



# Seismic Section Forces

Structure: 27739-KGI  
 Site Name: Birmingham  
 Height: 120.00 (ft)  
 Base Elev: 0.000 (ft)  
 Gh: 0.85

Topography: 1

Code: EIA/TIA-222-G  
 Exposure: C  
 Crest Height: 0.00  
 Site Class: D - Stiff Soil  
 Struct Class: II

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## Load Case: 1.2D + 1.0E

Dead Load Factor	1.20	Sds	0.095	Ss	0.0890	Fa	1.6000	Ke	0.0000
Seismic Load Factor	1.00	Sd1	0.072	S1	0.0450	Fv	2.4000	Kg	0.0000
Seismic Importance Factor	1.00	SA	0.095	R	3.0000	Vs	1.2405	f1	3.2839

Sect #	Elev (ft)	Wz (lb)	a	b	c	Lateral Fsz (lb)
1	10.00	4747.9	0.01	0.06	0.03	10.62
2	30.00	3880.5	0.12	0.07	0.03	22.73
3	50.00	3458.2	0.33	0.04	0.01	39.95
4	70.00	6655.3	0.64	-0.07	0.02	119.92
5	90.00	7188.4	1.06	-0.09	0.17	205.54
6	110.00	6720.6	1.59	0.74	0.65	385.54

## Load Case: 0.9D + 1.0E

Dead Load Factor	0.90	Sds	0.095	Ss	0.0890	Fa	1.6000	Ke	0.0000
Seismic Load Factor	1.00	Sd1	0.072	S1	0.0450	Fv	2.4000	Kg	0.0000
Seismic Importance Factor	1.00	SA	0.095	R	3.0000	Vs	1.2405	f1	3.2839

Sect #	Elev (ft)	Wz (lb)	a	b	c	Lateral Fsz (lb)
1	10.00	4747.9	0.01	0.06	0.03	10.62
2	30.00	3880.5	0.12	0.07	0.03	22.73
3	50.00	3458.2	0.33	0.04	0.01	39.95
4	70.00	6655.3	0.64	-0.07	0.02	119.92
5	90.00	7188.4	1.06	-0.09	0.17	205.54
6	110.00	6720.6	1.59	0.74	0.65	385.54



## Support Forces Summary

**Structure:** 27739-KGI  
**Site Name:** Birmingham  
**Height:** 120.00 (ft)  
**Base Elev:** 0.000 (ft)  
**Gh:** 0.85

**Topography:** 1

**Code:** EIA/TIA-222-G  
**Exposure:** C  
**Crest Height:** 0.00  
**Site Class:** D - Stiff Soil  
**Struct Class:** II

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Load Case	Node	FX (kips)	FY (kips)	FZ (kips)	(-) = Uplift (+) = Down
1.2D + 1.6W Normal Wind	1	0.00	220.97	-25.56	
	1a	8.51	-90.89	-8.65	
	1b	-8.51	-90.89	-8.65	
1.2D + 1.6W 60° Wind	1	-3.09	114.35	-12.79	
	1a	-12.62	114.35	3.72	
	1b	-20.25	-189.51	-11.69	
1.2D + 1.6W 90° Wind	1	-3.61	13.07	-0.74	
	1a	-19.74	189.64	9.32	
	1b	-18.50	-163.53	-8.58	
0.9D + 1.6W Normal Wind	1	0.00	217.47	-25.36	
	1a	8.68	-94.04	-8.75	
	1b	-8.68	-94.04	-8.75	
0.9D + 1.6W 60° Wind	1	-3.09	110.97	-12.58	
	1a	-12.44	110.97	3.62	
	1b	-20.43	-192.55	-11.79	
0.9D + 1.6W 90° Wind	1	-3.62	9.80	-0.54	
	1a	-19.56	186.18	9.22	
	1b	-18.68	-166.60	-8.68	
1.2D + 1.0Di + 1.0Wi Normal Wind	1	0.00	113.60	-9.20	
	1a	1.88	16.62	-2.36	
	1b	-1.88	16.62	-2.36	
1.2D + 1.0Di + 1.0Wi 60° Wind	1	-1.12	81.27	-5.23	
	1a	-5.09	81.27	1.64	
	1b	-5.95	-15.70	-3.43	
1.2D + 1.0Di + 1.0Wi 90° Wind	1	-1.30	48.95	-1.20	
	1a	-7.42	105.05	3.53	
	1b	-5.35	-7.16	-2.34	
1.2D + 1.0E	1	0.00	17.95	2.72	
	1a	2.95	10.62	-1.74	
	1b	-2.95	10.62	-1.74	
0.9D + 1.0E	1	0.00	14.68	2.93	
	1a	3.13	7.35	-1.84	
	1b	-3.13	7.35	-1.84	
1.0D + 1.0W Normal Wind	1	0.00	70.14	-7.78	
	1a	2.03	-18.75	-2.25	
	1b	-2.03	-18.75	-2.25	
1.0D + 1.0W 60° Wind	1	-0.89	39.76	-4.12	
	1a	-4.02	39.75	1.29	
	1b	-5.40	-46.86	-3.12	
1.0D + 1.0W 90° Wind	1	-1.04	10.88	-0.67	
	1a	-6.06	61.22	2.90	
	1b	-4.90	-39.45	-2.22	

### Max Reactions



Leg			Overturning		
Max Uplift:	-192.55	(kips)	Moment:	3030.28	(ft-kips)
Max Down:	220.97	(kips)	Total Down:	39.18	(kips)
Max Shear:	25.56	(kips)	Total Shear:	42.86	(kips)



## Analysis Summary

<b>Structure:</b> 27739-KGI	<b>Code:</b> EIA/TIA-222-G	5/27/2021
<b>Site Name:</b> Birmingham	<b>Exposure:</b> C	
<b>Height:</b> 120.00 (ft)	<b>Crest Height:</b> 0.00	
<b>Base Elev:</b> 0.000 (ft)	<b>Site Class:</b> D - Stiff Soil	
<b>Gh:</b> 0.85	<b>Topography:</b> 1	<b>Struct Class:</b> II
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### Max Reactions

Leg		Overturning	
Max Uplift:	-192.55 (kips)	Moment:	3030.28 (ft-kips)
Max Down:	220.97 (kips)	Total Down:	39.18 (kips)
Max Shear:	25.56 (kips)	Total Shear:	42.86 (kips)

### Anchor Bolts

Bolt Size (in.): 1.13	Number Bolts: 6
Yield Strength (Ksi): 105.00	Tensile Strength (Ksi): 125.00
Detail Type: D	Length: 1.00
<b>Interaction Ratio: 0.59</b>	

### Max Usages

Max Leg: 84.0% (1.2D + 1.6W Normal Wind - Sect 2)  
 Max Diag: 89.2% (1.2D + 1.6W 90° Wind - Sect 3)  
 Max Horiz: 18.4% (1.2D + 1.6W 60° Wind - Sect 6)

### Max Deflection, Twist and Sway

Load Case	Elevation (ft)	Deflection (ft)	Twist (deg)	Sway (deg)
0.9D + 1.0E - Normal To Face	66.75	0.0078	-0.0005	0.0124
	73.25	0.0092	0.0006	0.0133
	80.00	0.0107	0.0007	0.0172
	86.75	0.0123	0.0007	0.0149
	100.00	0.0159	0.0009	0.0206
	106.75	0.0178	0.0008	0.0164
	120.00	0.0217	0.0008	0.0190
0.9D + 1.6W 89 mph Wind at 60° From Face	66.75	0.2541	0.0195	0.4184
	73.25	0.3043	0.0210	0.4496
	80.00	0.3605	0.0242	0.5716
	86.75	0.4200	0.0235	0.5065
	100.00	0.5458	0.0287	0.6856
	106.75	0.6136	0.0258	0.5588
	120.00	0.7494	0.0297	0.7015
0.9D + 1.6W 89 mph Wind at 90° From Face	66.75	0.2553	-0.0223	0.4238
	73.25	0.3058	-0.0240	0.4552
	80.00	0.3622	-0.0274	0.5635
	86.75	0.4222	-0.0269	0.5110
	100.00	0.5487	-0.0326	0.6742
	106.75	0.6168	-0.0298	0.5644
	120.00	0.7535	-0.0339	0.6901



0.9D + 1.6W 89 mph Wind at Normal To Face	66.75	0.2601	0.0197	0.4279
	73.25	0.3113	0.0211	0.4598
	80.00	0.3687	0.0239	0.5867
	86.75	0.4294	0.0237	0.5176
	100.00	0.5580	0.0284	0.7021
	106.75	0.6270	0.0263	0.5707
	120.00	0.7659	0.0297	0.7078
1.0D + 1.0W 60 mph Wind at 60° From Face	66.75	0.0723	0.0055	0.1190
	73.25	0.0866	0.0060	0.1279
	80.00	0.1026	0.0068	0.1624
	86.75	0.1195	0.0067	0.1439
	100.00	0.1554	0.0081	0.1948
	106.75	0.1746	0.0073	0.1588
	120.00	0.2133	0.0084	0.2020
1.0D + 1.0W 60 mph Wind at 90° From Face	66.75	0.0728	-0.0064	0.1206
	73.25	0.0872	-0.0068	0.1296
	80.00	0.1033	-0.0078	0.1606
	86.75	0.1203	-0.0077	0.1454
	100.00	0.1563	-0.0093	0.1918
	106.75	0.1756	-0.0085	0.1605
	120.00	0.2145	-0.0096	0.1985
1.0D + 1.0W 60 mph Wind at Normal To Face	66.75	0.0743	0.0056	0.1220
	73.25	0.0888	0.0060	0.1310
	80.00	0.1052	0.0069	0.1672
	86.75	0.1225	0.0068	0.1474
	100.00	0.1590	-0.0082	0.1998
	106.75	0.1787	0.0075	0.1625
	120.00	0.2181	0.0085	0.1987
1.2D + 1.0Di + 1.0Wi 40 mph Wind at 60° From Face	66.75	0.0802	0.0059	0.1268
	73.25	0.0956	0.0064	0.1359
	80.00	0.1124	0.0073	0.1710
	86.75	0.1301	0.0070	0.1505
	100.00	0.1672	0.0083	0.1969
	106.75	0.1872	0.0075	0.1628
	120.00	0.2268	0.0084	0.2078
1.2D + 1.0Di + 1.0Wi 40 mph Wind at 90° From Face	66.75	0.0802	-0.0067	0.1280
	73.25	0.0956	-0.0073	0.1379
	80.00	0.1124	-0.0082	0.1700
	86.75	0.1302	-0.0080	0.1510
	100.00	0.1674	-0.0095	0.1960
	106.75	0.1874	-0.0087	0.1641
	120.00	0.2271	-0.0096	0.2034
1.2D + 1.0Di + 1.0Wi 40 mph Wind at Normal From Face	66.75	0.0799	-0.0059	0.1278
	73.25	0.0953	0.0063	0.1381
	80.00	0.1123	0.0072	0.1749
	86.75	0.1303	0.0069	0.1518
	100.00	0.1678	0.0083	0.2014
	106.75	0.1877	-0.0076	0.1648
	120.00	0.2276	0.0084	0.1932
1.2D + 1.0E - Normal To Face	66.75	0.0078	-0.0005	0.0124
	73.25	0.0092	0.0006	0.0134
	80.00	0.0107	0.0007	0.0172
	86.75	0.0123	0.0007	0.0150
	100.00	0.0159	0.0009	0.0206
	106.75	0.0178	0.0008	0.0165
	120.00	0.0218	0.0008	0.0193
1.2D + 1.6W 89 mph Wind at 60° From Face	66.75	0.2544	0.0196	0.4191
	73.25	0.3047	0.0210	0.4503
	80.00	0.3610	0.0243	0.5725
	86.75	0.4206	0.0236	0.5073
	100.00	0.5466	0.0288	0.6869
	106.75	0.6146	0.0259	0.5598
	120.00	0.7506	0.0298	0.7039



1.2D + 1.6W 89 mph Wind at 90° From Face

66.75	0.2556	-0.0224	0.4245
73.25	0.3062	-0.0240	0.4559
80.00	0.3627	-0.0274	0.5646
86.75	0.4228	-0.0270	0.5119
100.00	0.5495	-0.0327	0.6756
106.75	0.6178	-0.0298	0.5654
120.00	0.7547	-0.0339	0.6924

1.2D + 1.6W 89 mph Wind at Normal To Face

66.75	0.2605	0.0197	0.4287
73.25	0.3117	0.0212	0.4606
80.00	0.3693	0.0239	0.5880
86.75	0.4301	0.0238	0.5185
100.00	0.5588	0.0284	0.7036
106.75	0.6280	0.0264	0.5718
120.00	0.7672	0.0298	0.7082







# Reinforcing Concrete Pier:

Vertical Steel Rebar Area (sq. in./each):	1.00	Tie / Stirrup Area (sq. in./each):	0.11	Usage	
Calculated Moment Capacity (Mn, Kips-Ft):	1016	> Design Factored Moment (Mu, K-Ft):	258.9	0.25	OK!
Calculated Shear Capacity (Kips):	72.7	> Design Factored Shear (Kips):	34.6	0.48	OK!
Calculated Tension Capacity (Tn, Kips):	1080.0	> Design Factored Tension (Tu Kips):	192.6	0.18	OK!
Calculated Compression Capacity (Pn, Kips):	1323	> Design Factored Axial Load (Pu Kips):	221.0	0.17	OK!
Moment & Tension Strength Combination:	0.22	OK! Max. Allowable Tie/Stirrup Spacing:	12.00	in.	
Pier Reinforcement Ratio:	0.020	Reinforcement Ratio is satisfied per ACI			





## 2021 ANCHOR CONSTRUCTION DRAWINGS

SITE NAME  
**VZW 35 & TRISTAR FKA ATC#81088**

SITE NUMBER  
**DE01248C**  
SITE ADDRESS  
**2100 EAST MAPLE ROAD  
BIRMINGHAM, MICHIGAN 48009**

### DRIVING DIRECTIONS:

FROM DETROIT, TAKE INTERSTATE 75 TO INTERSTATE 696. GO WEST TO WOODWARD EXIT. TAKE WOODWARD NORTH TO MAPLE ROAD AND GO EAST TO 2080 MAPLE ROAD. SITE IS BEHIND AN OFFICE BUILDING. ENTRANCE ROAD IS JUST PAST THE TRAIN OVERPASS.



VICINITY MAP  
NOT TO SCALE

N

**SITE TYPE:**  
UPGRADE OF EQUIPMENT AT AN EXISTING UNMANNED TELECOMMUNICATION SITE.

**GEOGRAPHIC INFORMATION:**  
(LATITUDE & LONGITUDE BASED ON NAD1983)

**LATITUDE:** 42.54527565°  
**LONGITUDE:** -83.1935807°  
**T-MOBILE RAD CENTER HEIGHT:** 100' AGL

**SQUARE FOOTAGE:**  
**T-MOBILE LEASE AREA:** 150 SQ. FT.

**LANDLORD:**  
**STRATEGIS LLC**  
815 SUPERIOR AVE.E, SUITE 1812  
CLEVELAND, OH 44114



**APPLICANT**  
**T-MOBILE CENTRAL, LLC**  
28505 SCHOOLCRAFT RD, BLDG#6  
LIVONIA, MICHIGAN 48150  
Phone: 734.367.7200

**ENGINEER**  
**LANDTECH PROFESSIONAL SURVEYING  
AND ENGINEERING**  
P.O. BOX 193  
1275 MCGREGOR WAY  
GRAWN, MI 49637  
PHONE: (231) 943-0050

**OCCUPANT LOAD:**  
UNOCCUPIED



28505 SCHOOLCRAFT RD, BLDG#6  
LIVONIA, MICHIGAN 48150  
Phone: 734.367.7200  
Fax: 734.367.7242

**CONTACT:** KEN KALOUSEK  
(734) 444-0181

LANDTECH PROJECT NUMBER **21308004**

REV	DATE	DESCRIPTION	BY
A	04/26/21	PRELIMINARY CDs	TLR
0	05/03/21	FINAL---PER STRATEGIS	TLR
1	05/17/21	REV RAD	TLR

### REMOVING:

- (3) T-ARM SECTOR FRAMES
- (6) RB65-19-VDP-R ANTENNA(s)
- (3) TMBXX-6517-R2M ANTENNA(s)
- (6) TWIN STYLE 1A (PCS) AMPLIFIER
- (3) TWIN STYLE 1B (AWS) AMPLIFIER
- (18) 7/8"Ø COAX CABLE(s)

### INSTALLING:

- (3) SFG22HDX14-5 SECTOR FRAMES
- (3) HBXX-6517DS-A2M ANTENNA(s)
- (3) AEHC (MASSIVE MIMO) ANTENNA(s)
- (3) AHFG RADIO(s)
- (2) 1-1/2"Ø HYBRID CABLE(s)

**ATTENTION GC:**  
THESE DRAWINGS ARE PREPARED BASED ON RFDS  
DATED: 10/27/20

GENERAL CONTRACTOR TO CHECK WITH CONSTRUCTION  
TO VERIFY THAT THE RFDS IS CORRECT.

**NOTES:**  
REVIEW MOUNT ANALYSIS AND STRUCTURAL ANALYSIS PRIOR TO  
INSTALLATION OF NEW EQUIPMENT AND FOLLOW  
RECOMMENDATIONS SET FORTH THEREIN.

FOR THE PROPOSED INSTALLATION, GC SHALL CREATE A RIGGING  
PLAN IN COMPLIANCE WITH ANSI/ASSE A10.48 AND ANSI/TIA 322.

## SCOPE OF WORK (TOWER)

1

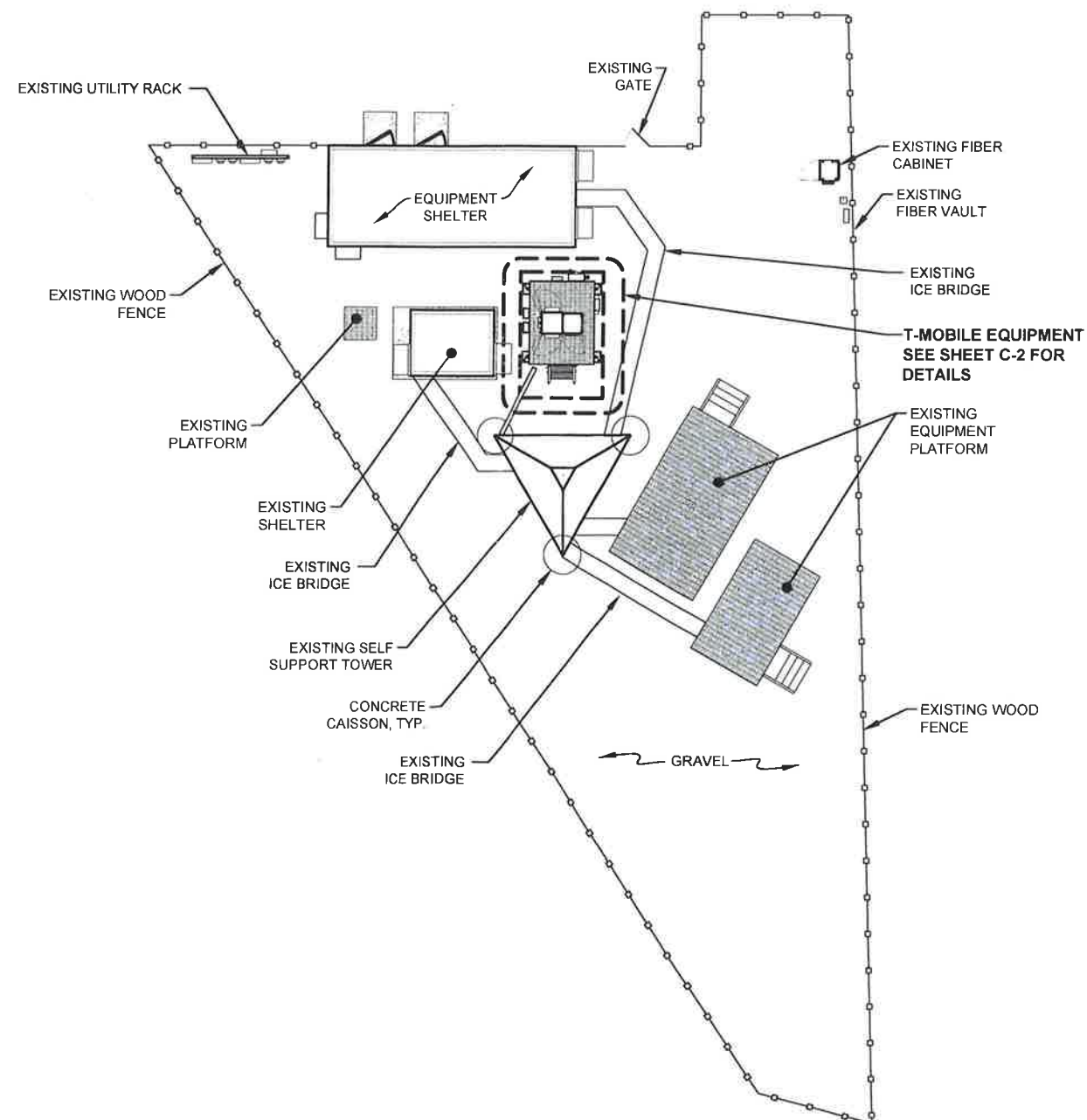
LOW VOLTAGE DC POWER  
REQUIRED (-48 VOLTS)

CHECK BREAKER SIZE. 200 AMP  
BREAKER REQUIRED FOR SSC

THE T-MOBILE EQUIPMENT IS LESS  
THAN 400A ELECTRICAL SERVICE.

N

NOTE: CM TO VERIFY EQUIPMENT LAYOUT PRIOR TO INSTALLATION.



Know what's below.  
Call before you dig.

## 2021 ANCHOR CONSTRUCTION DRAWINGS

NOTE: THESE DRAWINGS ARE TO SCALE  
WHEN PLOTTED ON 11"x17" SHEETS. REFER  
TO GRAPHIC SCALES ON REPRODUCTIONS.



**LANDTECH**  
Professional Surveying & Engineering  
231.943.0050 www.landtechps.com 877.520.LAND

**SITE #:** DE01248C

**SITE NAME:**  
VZW 35 & TRISTAR FKA  
ATC#81088

**SITE ADDRESS:**  
2100 EAST MAPLE ROAD  
BIRMINGHAM, MICHIGAN 48009

**Sheet Title:**

**SITE PLAN**

**Sheet Number:**

**C-1**

**SITE PLAN** 1" = 20'

2



REV	DATE	DESCRIPTION	BY
A	04/26/21	PRELIMINARY CDs	TLR
0	05/03/21	FINAL---PER STRATEGIS	TLR
1	05/17/21	REV RAD	TLR

## 2021 ANCHOR CONSTRUCTION DRAWINGS

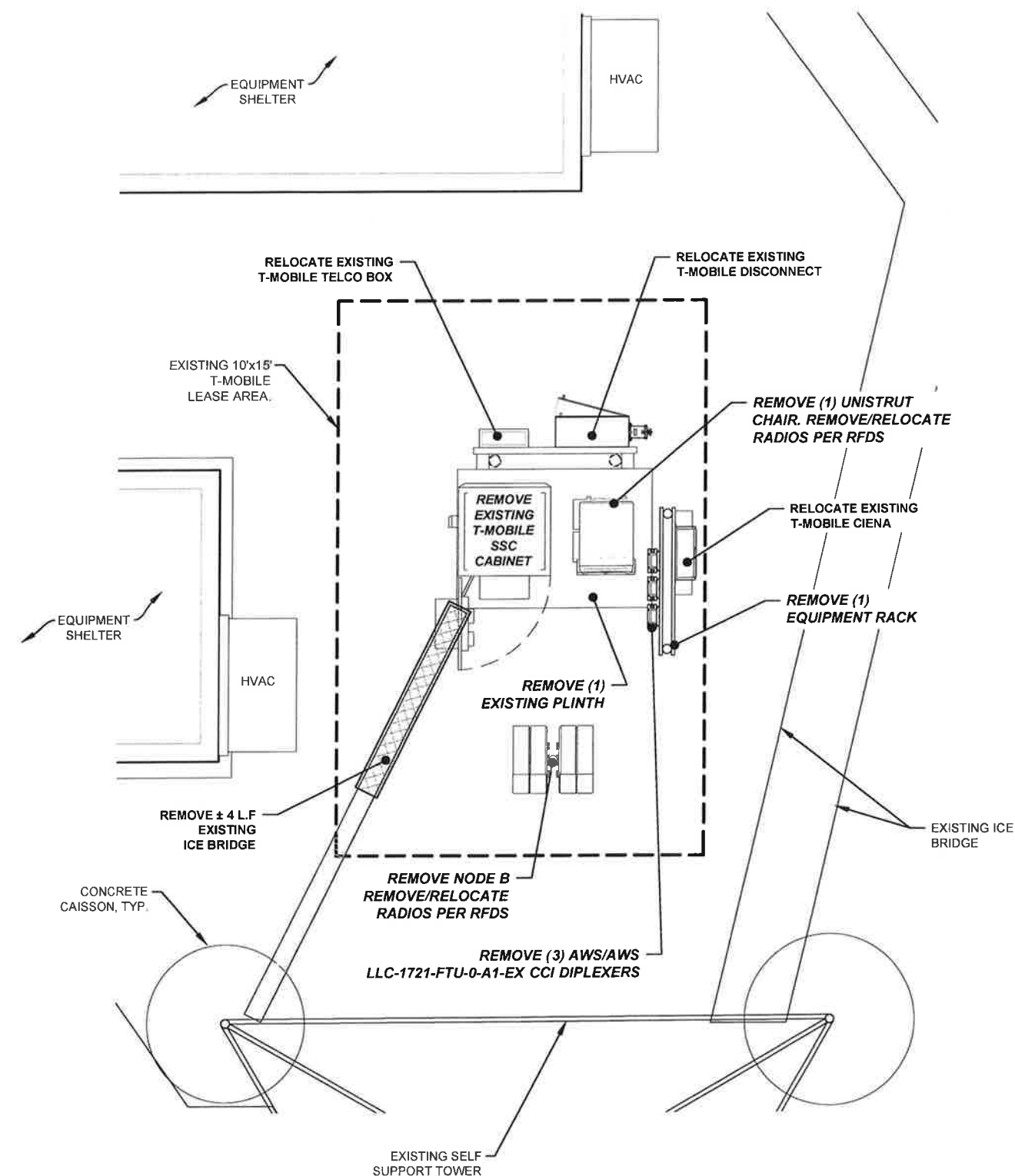
NOTE: THESE DRAWINGS ARE TO SCALE WHEN PLOTTED ON 11"x17" SHEETS. REFER TO GRAPHIC SCALES ON REPRODUCTIONS.



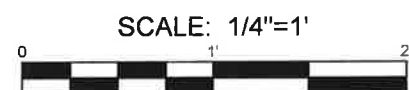
SITE #: DE01248C  
SITE NAME: VZW 35 & TRISTAR FKA ATC#81088  
SITE ADDRESS: 2100 EAST MAPLE ROAD  
BIRMINGHAM, MICHIGAN 48009

Sheet Title:  
**EQUIPMENT PLAN**

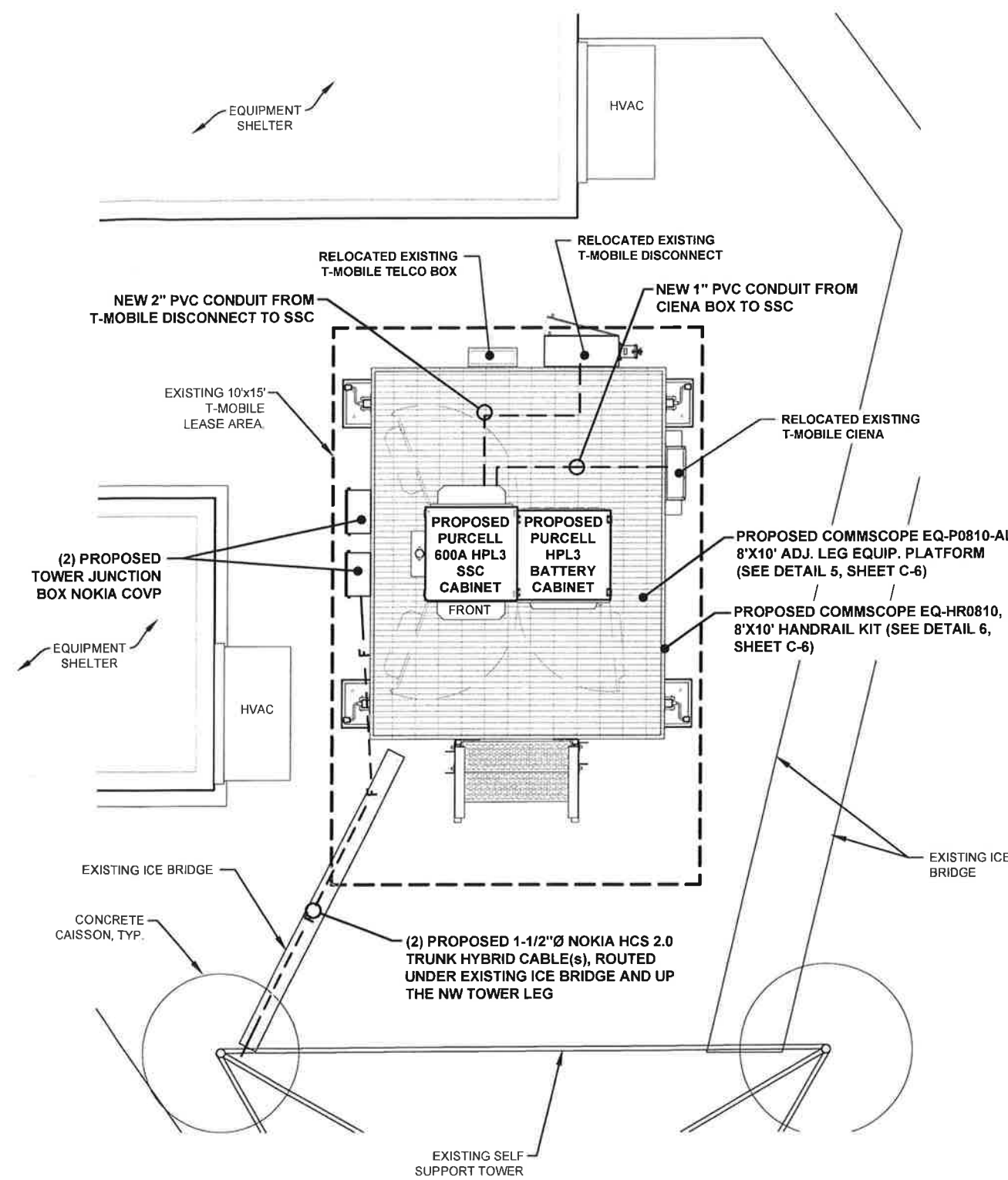
Sheet Number:  
**C-2**



N

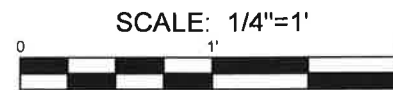


**EXISTING EQUIPMENT LAYOUT** 1/4" = 1' **1**



N

REMOVE (18) 7/8"Ø ANDREW LDF5-50A COAX CABLE(S) REPLACE WITH (2) PROPOSED 1-1/2"Ø NOKIA HCS 2.0 TRUNK HYBRID CABLE(S)



**PROPOSED EQUIPMENT LAYOUT** 1/4" = 1' **2**



GENERAL CONTRACTOR TO CHECK WITH T-MOBILE BEFORE CONSTRUCTION STARTS TO VERIFY THAT THE RFDS IS CORRECT.

ANTENNA SCHEDULE						
SECTOR	ALPHA		BETA		GAMMA	
ANTENNA POSITION	A-1	A-2	B-1	B-2	C-1	C-2
AZIMUTH	30°	30°	150°	150°	270°	270°
RAD CENTER (AGL)	100'	100'	100'	100'	100'	100'
MODEL	HBXX-6517DS-A2M	AEHC (MASSIVE MIMO)	HBXX-6517DS-A2M	AEHC (MASSIVE MIMO)	HBXX-6517DS-A2M	AEHC (MASSIVE MIMO)

**T-Mobile**  
28505 SCHOOLCRAFT RD, BLDG#6  
LIVONIA, MICHIGAN 48150  
Phone: 734.367.7200  
Fax: 734.367.7242  
CONTACT: KEN KALOUSEK  
(734) 444-0181

LANDTECH PROJECT NUMBER: 21308004

REV	DATE	DESCRIPTION	BY
A	04/28/21	PRELIMINARY CDs	TLR
0	05/03/21	FINAL----PER STRATEGIS	TLR
1	05/17/21	REV RAD	TLR

2021 ANCHOR  
CONSTRUCTION  
DRAWINGS

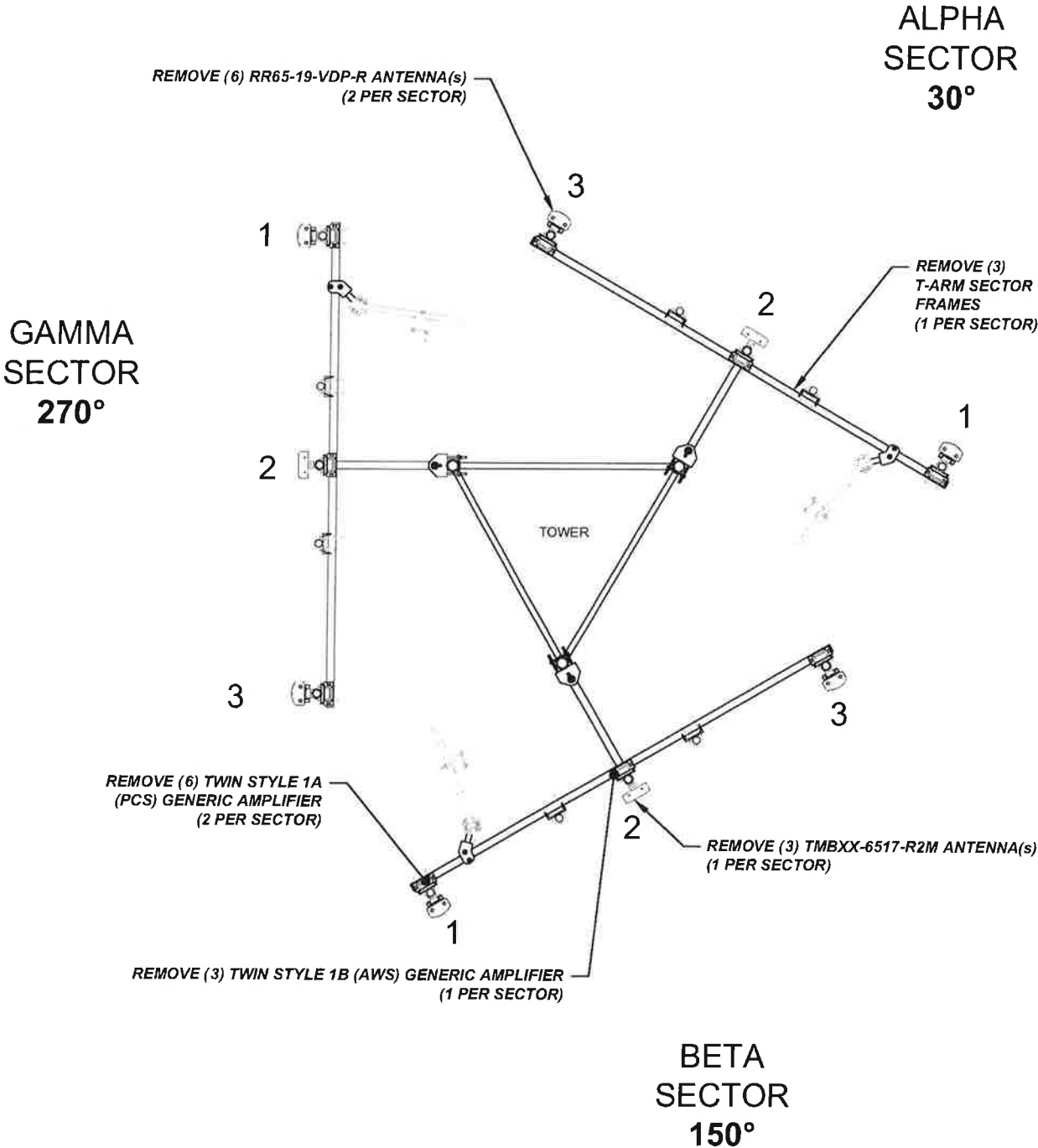
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SITE #: DE01248C  
SITE NAME:  
VZW 35 & TRISTAR FKA  
ATC#81088  
SITE ADDRESS:  
2100 EAST MAPLE ROAD  
BIRMINGHAM, MICHIGAN 48009

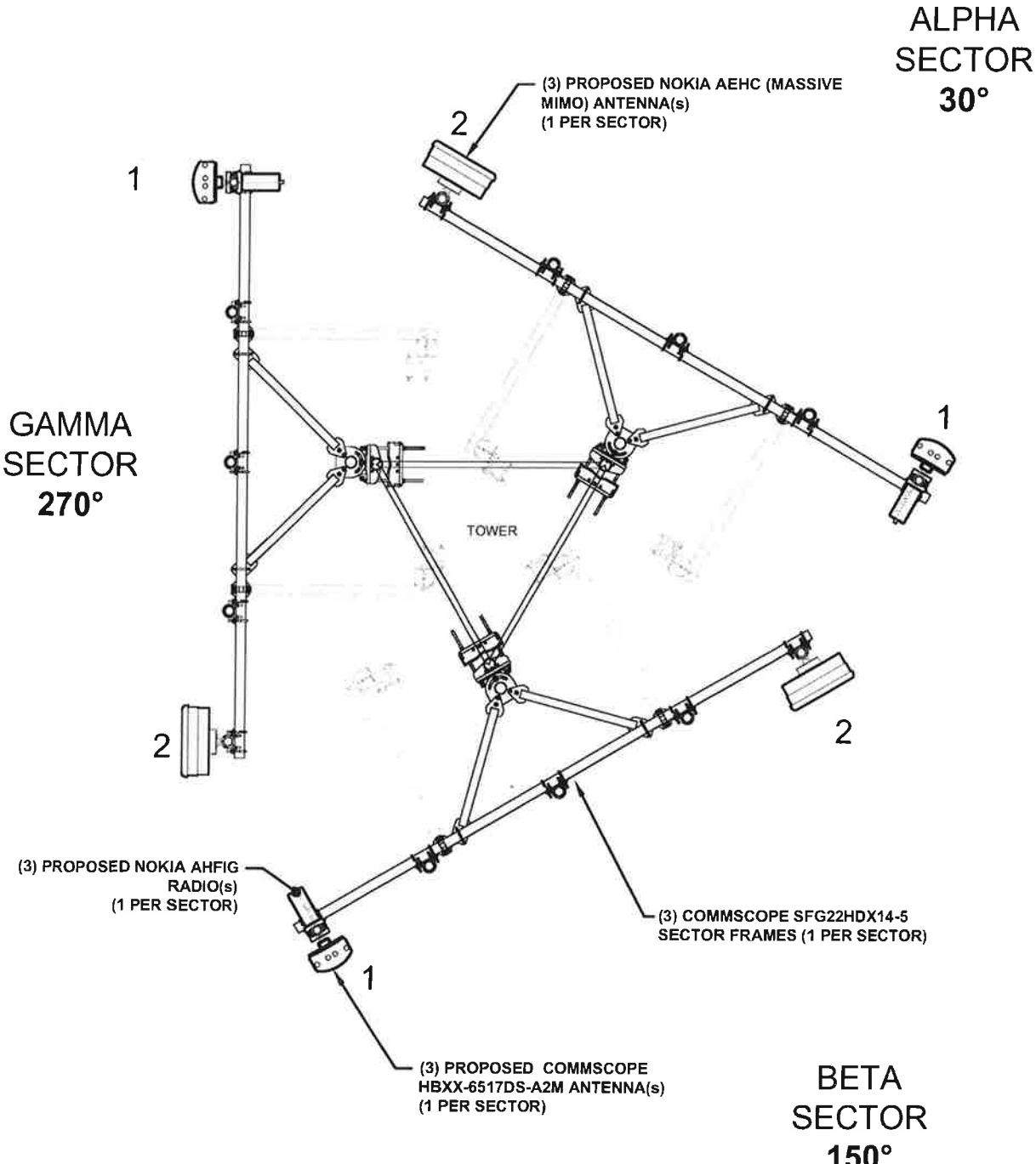
Sheet Title:  
ANTENNA LAYOUT

Sheet Number:  
C-3



EXISTING ANTENNA LAYOUT N.T.S.

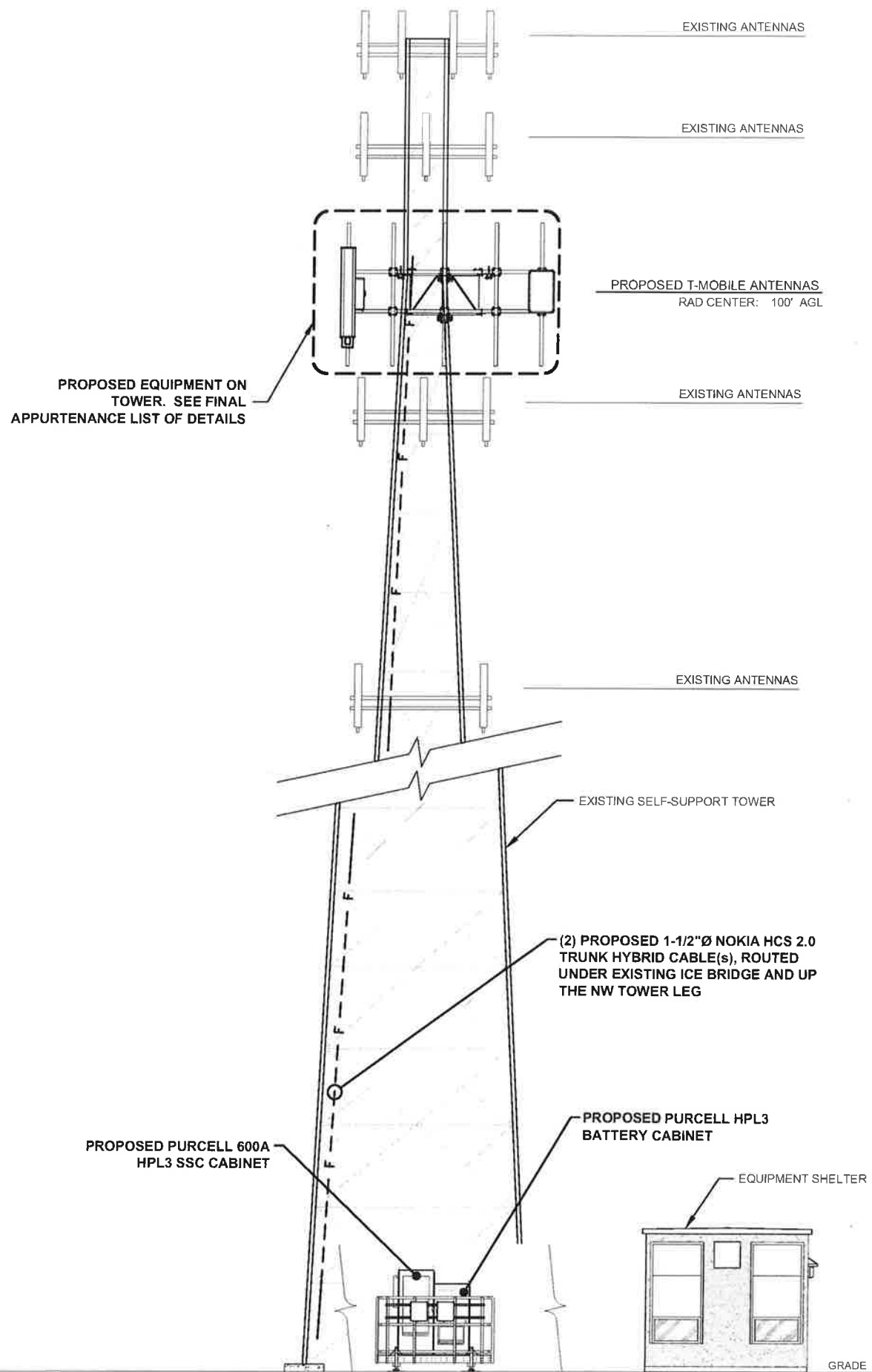
1



PROPOSED ANTENNA LAYOUT N.T.S.

2





ELEVATION VIEW N.T.S.

NOTES:  
REVIEW MOUNT ANALYSIS AND STRUCTURAL ANALYSIS PRIOR TO INSTALLATION OF NEW EQUIPMENT AND FOLLOW RECOMMENDATIONS SET FORTH THEREIN.  
FOR THE PROPOSED INSTALLATION, GC SHALL CREATE A RIGGING PLAN IN COMPLIANCE WITH ANSI/ASSE A10.48 AND ANSI/TIA 322.

NOTE: ALL ANTENNA CENTERLINES MUST BE POSITIONED WITHIN ±6 INCHES OF THE HORIZONTAL CENTERLINE OF THE STEEL ANTENNA PLATFORM AND/OR SECTOR FRAME.

APPURTENANCE LIST (TOWER EQUIPMENT)

TO BE REMOVED

- (6) EMS RR65-19-VDP-R ANTENNA(s)  
[72"l x 8"w x 2.8"d 16lb(s)]
- (3) ANDREW TMBXX-6517-R2M ANTENNA(s)  
[82.9"l x 11.9"w x 6.3"d 44.4lb(s)]
- (3) T-ARM SECTOR FRAMES (@SECTOR)
- (6) TWIN STYLE 1A (PCS) GENERIC AMPLIFIER (@SECTOR)
- (3) TWIN STYLE 1B (AWS) GENERIC AMPLIFIER (@SECTOR)  
[6.3"l x 7.7"w x 3.1"d 11lb(s)]
- (18) 7/8"Ø [1.03"OD] ANDREW LDF5-50A COAX CABLE(s)

PROPOSED

- (3) COMMSCOPE HBXX-6517DS-A2M ANTENNA(s)  
[75"l x 12"w x 6.5"d 40.8lb(s)]
- (3) NOKIA AEHC (MASSIVE MIMO) ANTENNA(s)  
[35.4"l x 21"w x 8.3"d 99.2lb(s)]
- (3) COMMSCOPE SFG22HDX14-5 SECTOR FRAMES (@SECTOR)
- (3) NOKIA AHFIG RADIO(s) (@SECTOR)  
[27.4"l x 12.1"w x 5.2"d 79.3lb(s)]
- (2) 1-1/2"Ø [1.55"OD] NOKIA HCS 2.0 TRUNK HYBRID CABLE(s)

SECTORIZED COLOR IDENTIFICATION	
SECTOR A	RED
SECTOR B	GREEN
SECTOR C	BLUE
SECTOR D	YELLOW
SECTOR E	WHITE
SECTOR F	PURPLE
LMU	BROWN
FIBER ID	GRAY
UNUSED COAX	PINK
MICROWAVE	ORANGE
PWE T-1's	ID w/LABEL MAKER

GENERAL CONTRACTOR TO CHECK WITH T-MOBILE BEFORE CONSTRUCTION STARTS TO VERIFY THAT THE RFDS IS CORRECT.

APPURTENANCE LIST N.T.S.

T-Mobile

28505 SCHOOLCRAFT RD, BLDG#6  
LIVONIA, MICHIGAN 48150  
Phone: 734.367.7200  
Fax: 734.367.7242  
CONTACT: KEN KALOUSEK  
(734) 444-0181

LANDTECH PROJECT NUMBER 21308004			
REV	DATE	DESCRIPTION	BY
A	04/26/21	PRELIMINARY CDs	TLR
0	05/03/21	FINAL---PER STRATEGIS	TLR
1	05/17/21	REV RAD	TLR

2021 ANCHOR  
CONSTRUCTION  
DRAWINGS

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LANDTECH

Professional Surveying & Engineering  
231.943.0050 www.landtechps.com 877.520.LAND

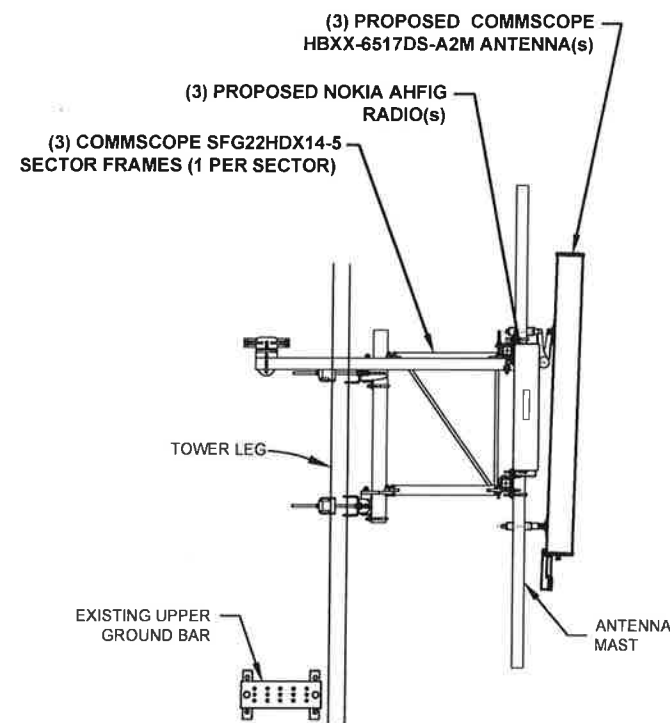
SITE #: DE01248C  
SITE NAME:  
VZW 35 & TRISTAR FKA  
ATC#81088  
SITE ADDRESS:  
2100 EAST MAPLE ROAD  
BIRMINGHAM, MICHIGAN 48009

Sheet Title:  
ELEVATION VIEW

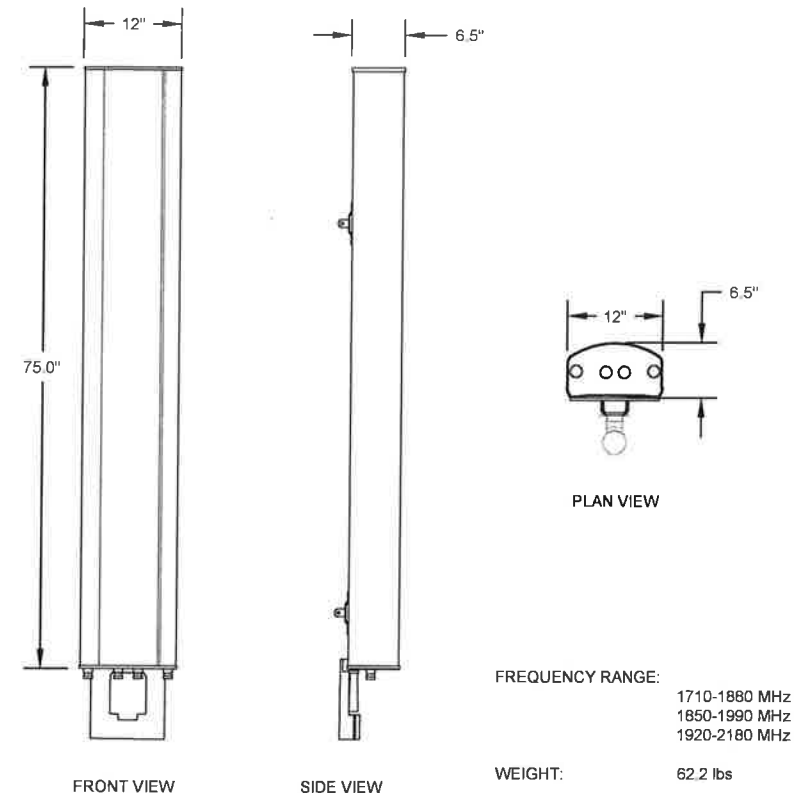
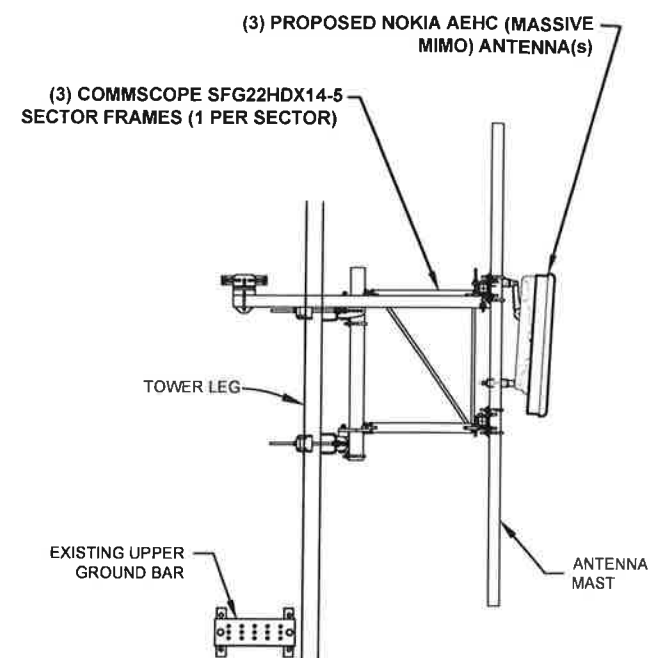
Sheet Number:  
C-4



NOTE: ALL ANTENNA CENTERLINES MUST BE POSITIONED WITHIN ±6 INCHES OF THE HORIZONTAL CENTERLINE OF THE STEEL ANTENNA PLATFORM AND/OR SECTOR FRAME.



NOTE: ALL ANTENNA CENTERLINES MUST BE POSITIONED WITHIN ±6 INCHES OF THE HORIZONTAL CENTERLINE OF THE STEEL ANTENNA PLATFORM AND/OR SECTOR FRAME.



ANTENNA #1 MOUNTING DETAILS N.T.S.

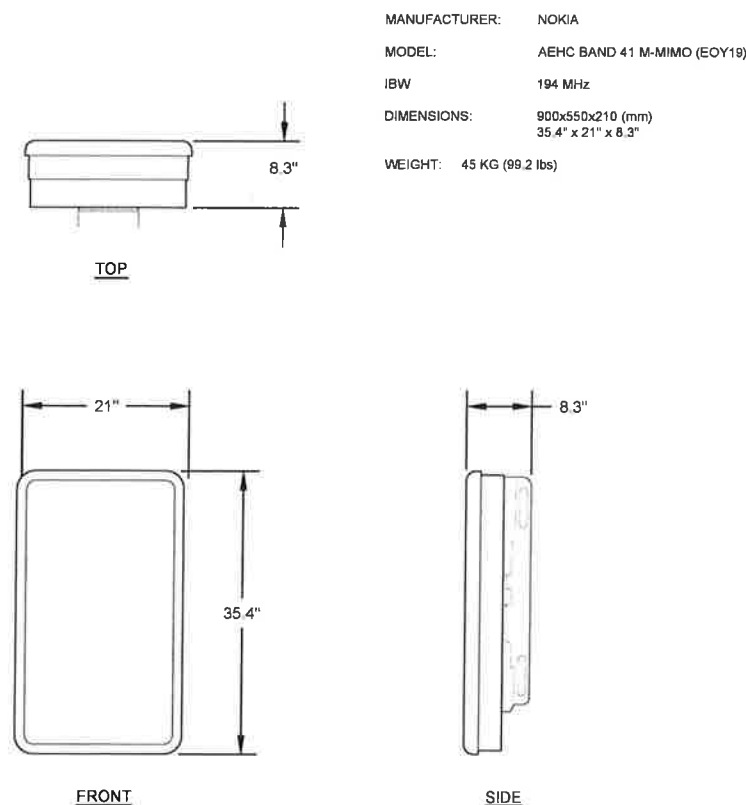
1

ANTENNA #2 MOUNTING DETAILS N.T.S.

2

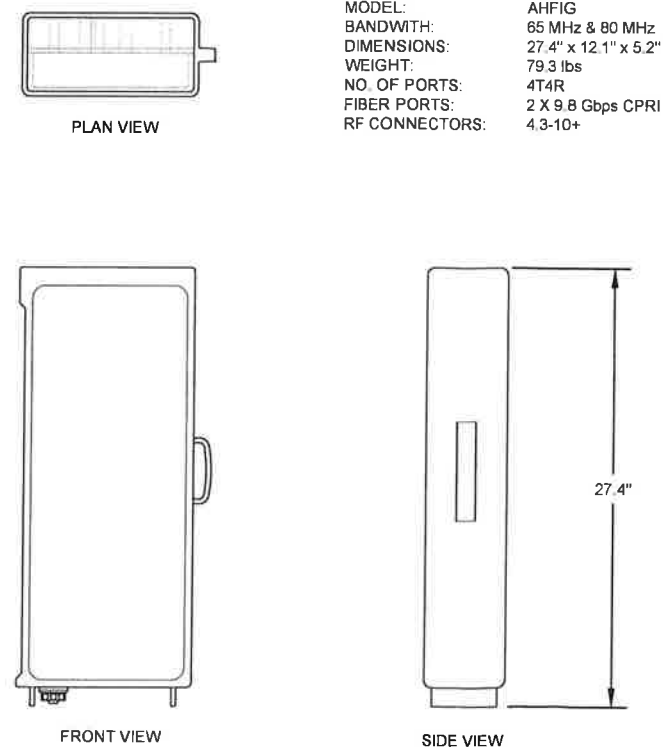
COMMSCOPE HBXX-6517DS-A2M N.T.S

3



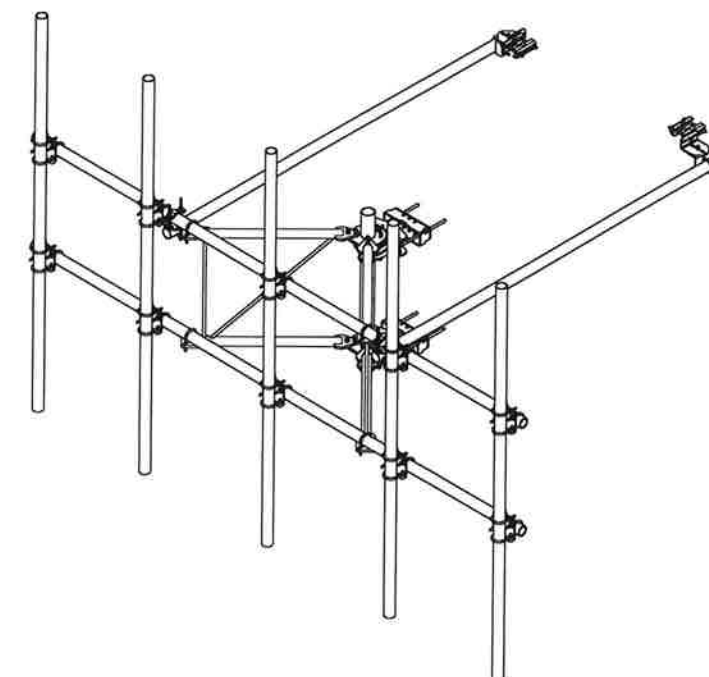
NOKIA AEHC MASS. MIMO ANTENNA N.T.S.

4



AHFIG RRU DETAIL N.T.S.

5



SFG22HDX14-5 SECTOR FRAME N.T.S.

6

**T-Mobile**  
28505 SCHOOLCRAFT RD, BLDG#6  
LIVONIA, MICHIGAN 48150  
Phone: 734.367.7200  
Fax: 734.367.7242  
CONTACT: KEN KALOUSEK  
(734) 444-0181

LANDTECH PROJECT NUMBER: 21308004

REV	DATE	DESCRIPTION	BY
A	04/26/21	PRELIMINARY CDs	TLR
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1	05/17/21	REV RAD	TLR

## 2021 ANCHOR CONSTRUCTION DRAWINGS

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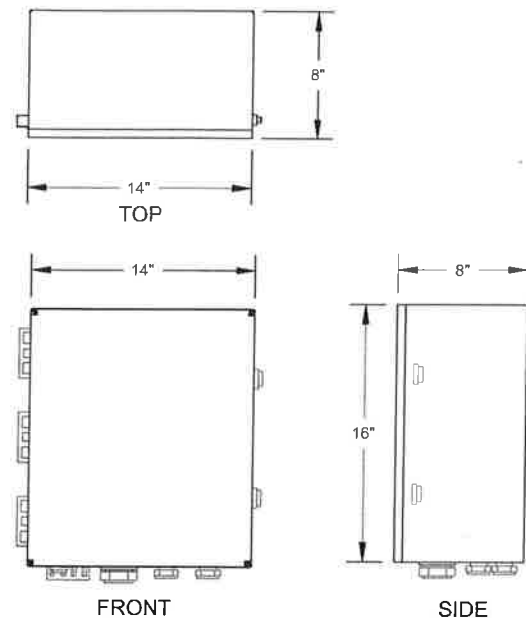


SITE #: DE01248C  
SITE NAME:  
VZW 35 & TRISTAR FKA  
ATC#81088  
SITE ADDRESS:  
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BIRMINGHAM, MICHIGAN 48009

Sheet Title:  
**ANTENNA ELEVATIONS**

Sheet Number:  
**C-5**

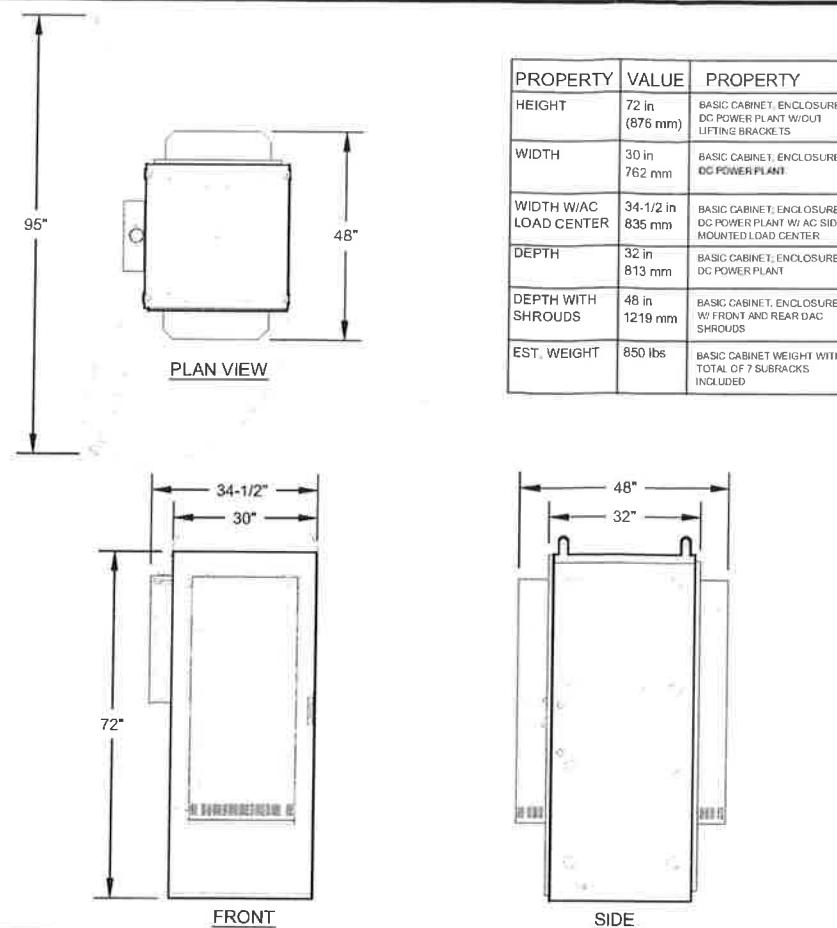




MANUFACTURER:	COMMSCOPE	MANUFACTURER:	RAYCAP
DIMENSIONS:	14"x16"x8"	DIMENSIONS:	14"x16"x8"
WEIGHT:	23.5 LB	WEIGHT:	21.9 LB
FIBER PATCH PANEL	24 LC PAIRS	FIBER PATCH PANEL	24 LC PAIRS
ENV. RATING	IP67	ENV. RATING	IP66

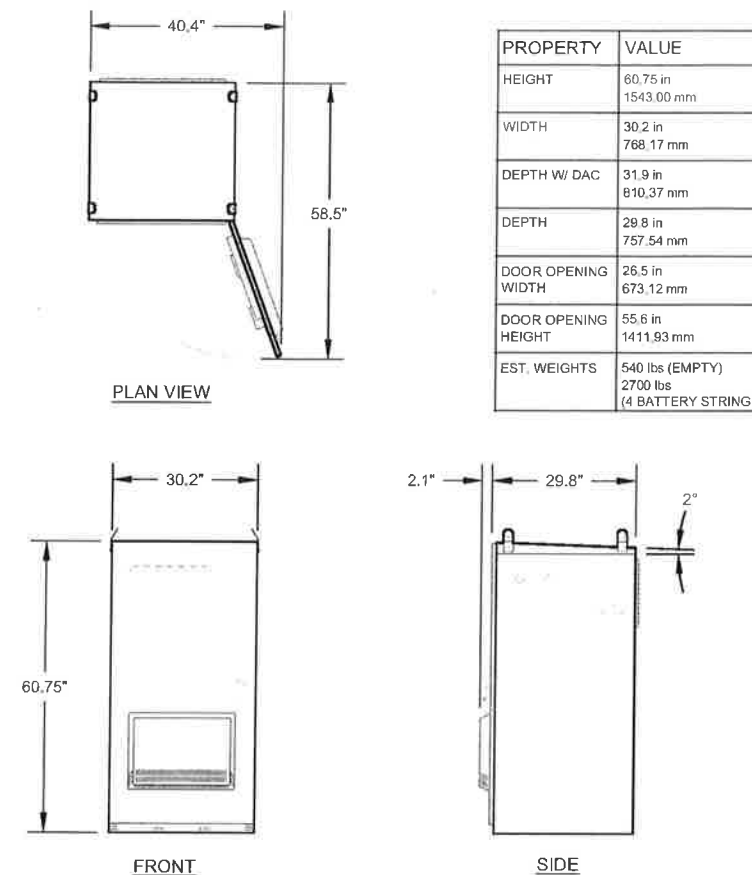
**TOWER JUNCTION BOX DETAIL** N.T.S.

**1**



**PURCELL 600A HPL3 SSC** N.T.S.

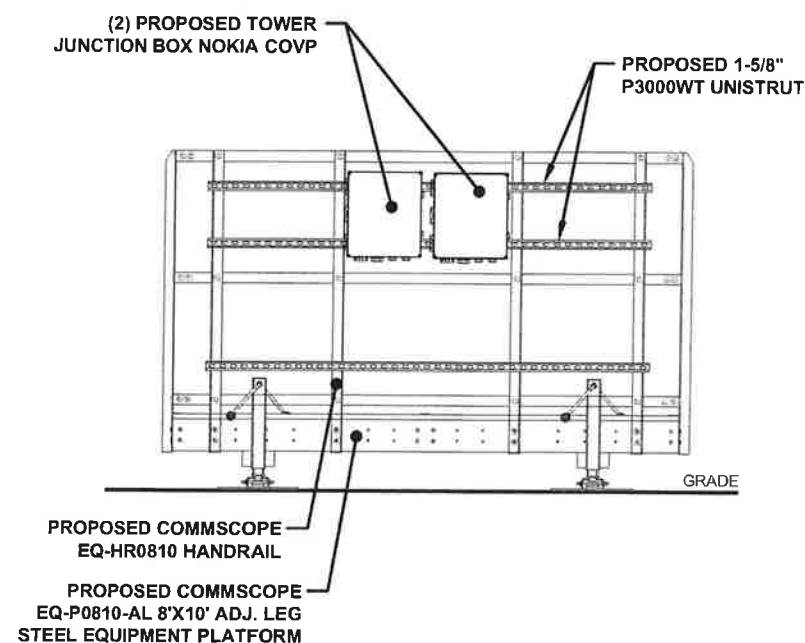
**2**



**PURCELL LARGE BATTERY CABINET** N.T.S.

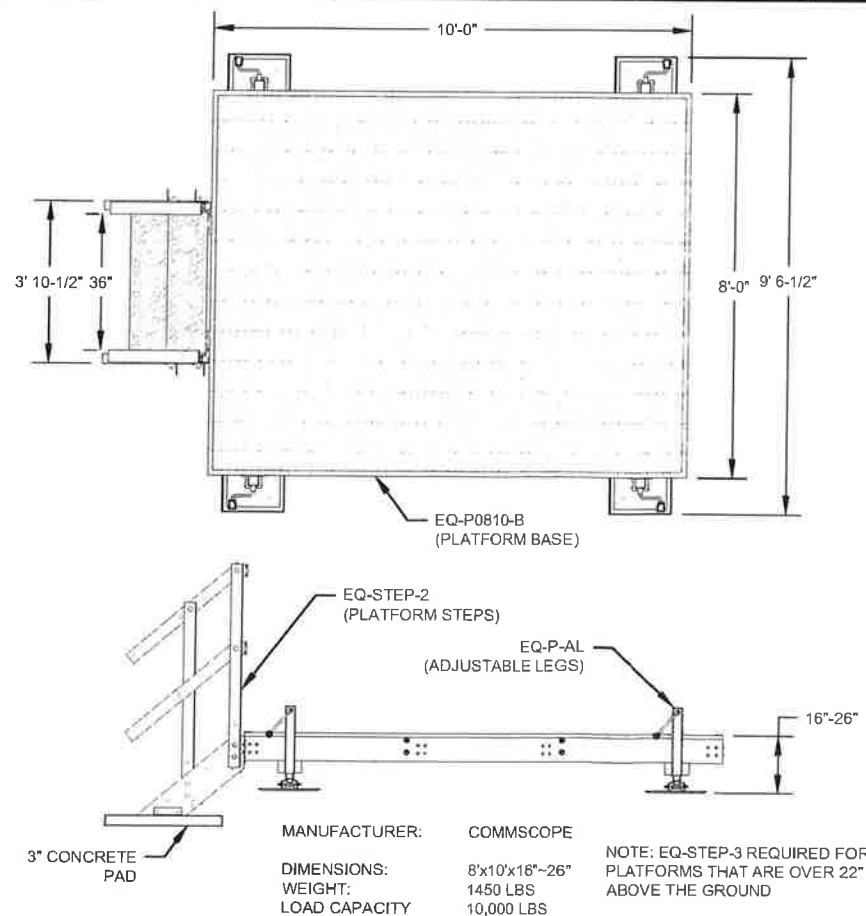
**3**

NOTE: GROUND ALL PROPOSED EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. INSPECT EXISTING GROUND SYSTEM AND ALERT GC IF ANY BUSS BAR OR GROUND CONNECTIONS ARE MISSING OR IN POOR CONDITION.



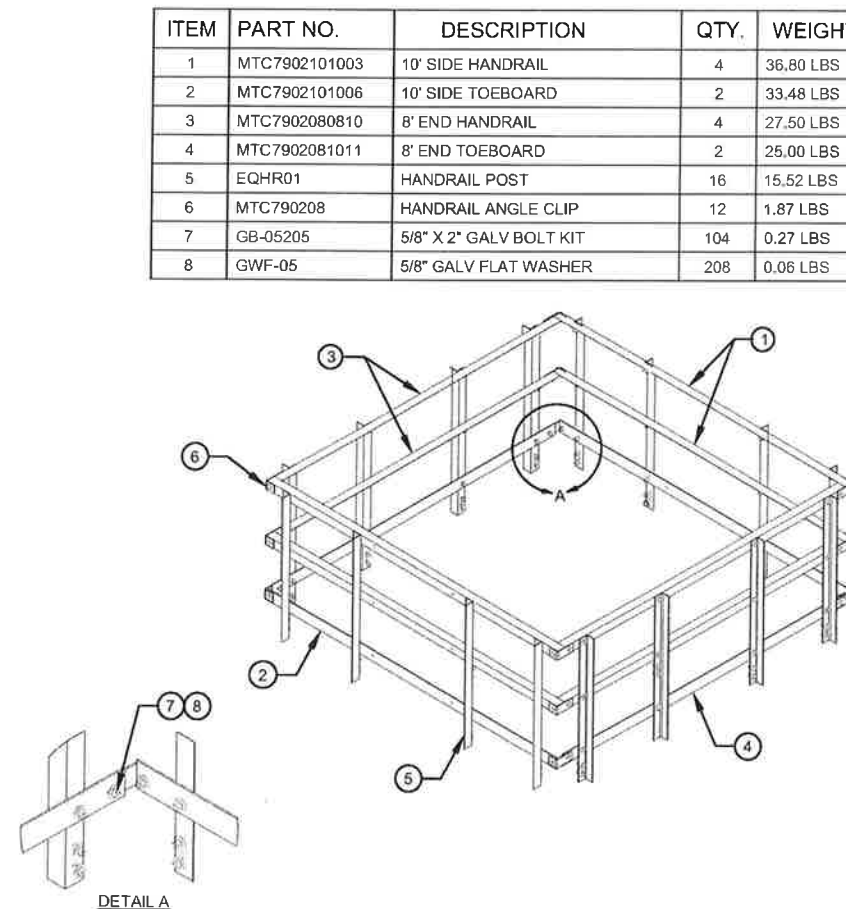
**EQUIPMENT MOUNTING DETAIL** 1' = 4'

**4**



**COMMSCOPE EQ-P0810-AL PLATFORM** N.T.S.

**5**



**COMMSCOPE EQ-HR0810 HANDRAIL** N.T.S.

**6**

**T-Mobile**  
28505 SCHOOLCRAFT RD, BLDG#6  
LIVONIA, MICHIGAN 48150  
Phone: 734.367.7200  
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CONTACT: KEN KALOUSEK  
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LANDTECH PROJECT NUMBER 21308004

REV	DATE	DESCRIPTION	BY
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**LANDTECH**  
Professional Surveying & Engineering  
231.843.0050 www.landtechps.com 877.520.LAND

SITE #: DE01248C  
SITE NAME:  
VZW 35 & TRISTAR FKA  
ATC#81088  
SITE ADDRESS:  
2100 EAST MAPLE ROAD  
BIRMINGHAM, MICHIGAN 48009

Sheet Title:  
**EQUIPMENT DETAILS**

Sheet Number:

**C-6**





## Administrative Approval Application Planning Division

**APPROVED**

*Form will not be processed until it is completely filled out.*

10/25/21  
PAA01-0114

### 1. Applicant

Name: Robert Chapman- SJR Pavement Rep  
Address: 22120 Ryan Road Warren MI 48091

Phone Number: 248-914-0818

Fax Number: 586-755-4252

Email Address: sirpavementrepair@wowway.com

### 2. Property Owner

Name: Sayed Properties  
Address: 2425 E. Lincoln St. Suite 100  
Birmingham MI 48009

Phone Number: 248 901-0000

Fax Number: 248 901-0003

Email Address: debbie@drsayed.com

### 3. Applicant's Attorney/Contact Person

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Fax Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

### 4. Project Designer/Developer

Name: SJR Pavement Repair

Address: 22120 Ryan Rd Warren MI 48091

Phone Number: 586-755-4206

Fax Number: 586-755-4252

Email Address: sirpavementrepair@wowway.com

### 5. Project Information

Address/Location of Property: \_\_\_\_\_

2425 E. Lincoln St. Birmingham MI 48009

Name of Development: \_\_\_\_\_

Parcel ID#: 08-20-31-426-016

Current Use: \_\_\_\_\_

Area in Acres: \_\_\_\_\_

Current Zoning: \_\_\_\_\_

Name of Historic District if any: \_\_\_\_\_

Date of HDC Approval, if any: \_\_\_\_\_

Date of Application for Preliminary Site Plan: \_\_\_\_\_

Date of Preliminary Site Plan Approval: \_\_\_\_\_

Date of Application for Final Site Plan: \_\_\_\_\_

Date of Final Site Plan Approval: \_\_\_\_\_

Date of Revised Final Site Plan Approval: \_\_\_\_\_

### 6. Required Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Specification sheets for all proposed materials, fixtures, and/or mechanical equipment
- One (1) digital copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations
- Photographs of existing conditions on the site where changes are proposed

### 7. Details of the Request for Administrative Approval

This Project is to Remove the 4" asphalt in front of the dumpster approach and remove the base concrete, and 8" of concrete for the first 10' then 6" concrete for the rest of the approach leading to the garbage truck is tearing up the asphalt and the concrete will hold up to the heavy dump truck.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and/or Building Division of any additional changes to the approved site plan.

Signature of Applicant: [Signature]

Date: 10-18-21

#### Office Use Only

Application #: PAA01-0114

Date Received: 10/21/21

Fee: \$100.00

Date of Approval: 10/25/21

Date of Denial: N/A

Reviewed By: [Signature]





City of Birmingham

### CONSENT OF PROPERTY OWNER

I, Abdullah Syed, OF THE STATE OF MI AND

COUNTY OF Oakland STATE THE FOLLOWING

1. That I am the owner of real estate located at 3954 E. Lincoln Birmingham MI 48011  
(Address of Affected Property)

2. That I have read and examined the Application for Administrative Approval made to the City of

Birmingham by Robert Chapman  
(Name of Applicant)

3. That I have no objections to and consent to the request(s) described in the Application made to the City of  
Birmingham

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Name of Owner (Printed) Abdullah Syed

Signature of Owner [Signature] Date 10-15-21



# Satterlund

## SUPPLY COMPANY

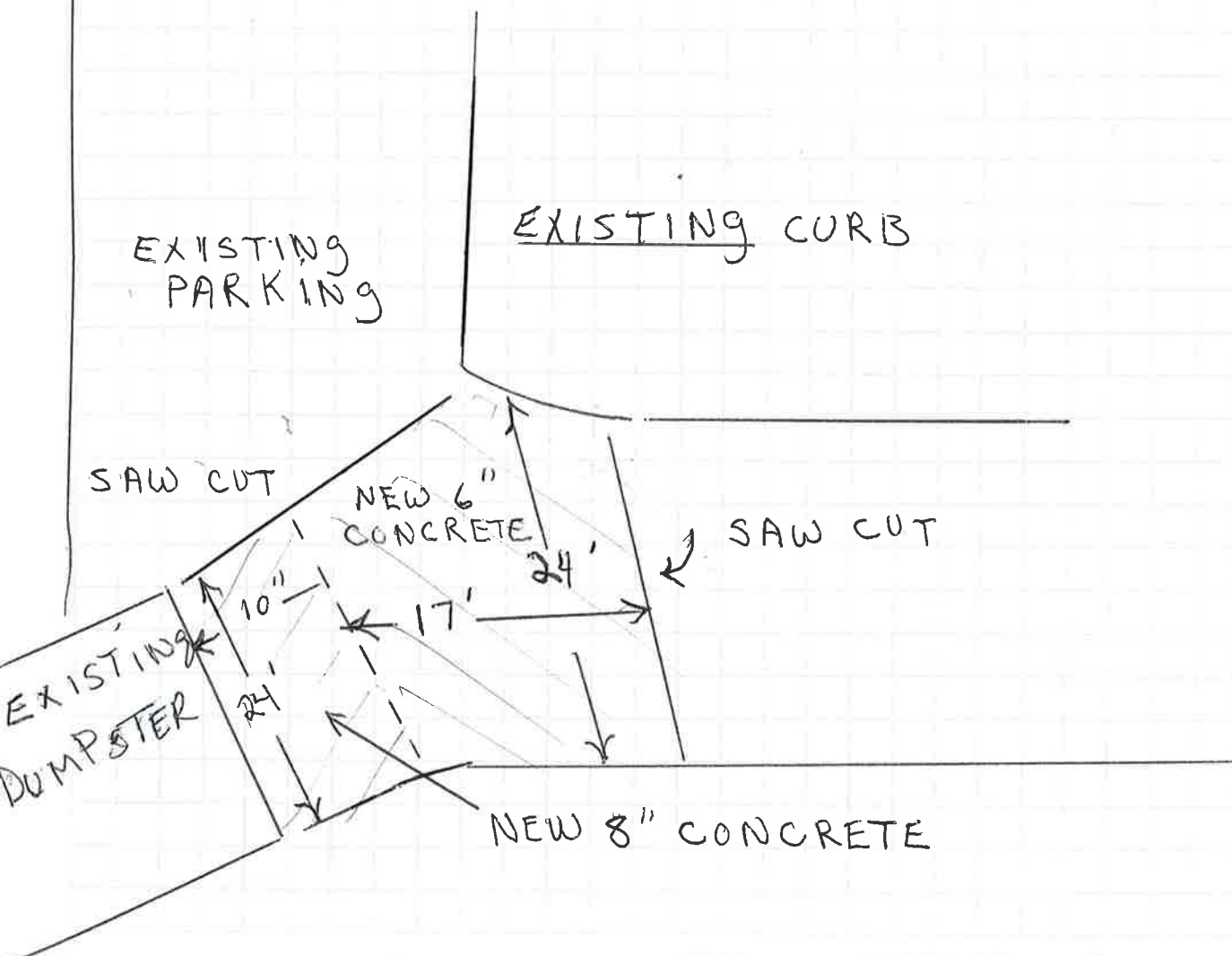
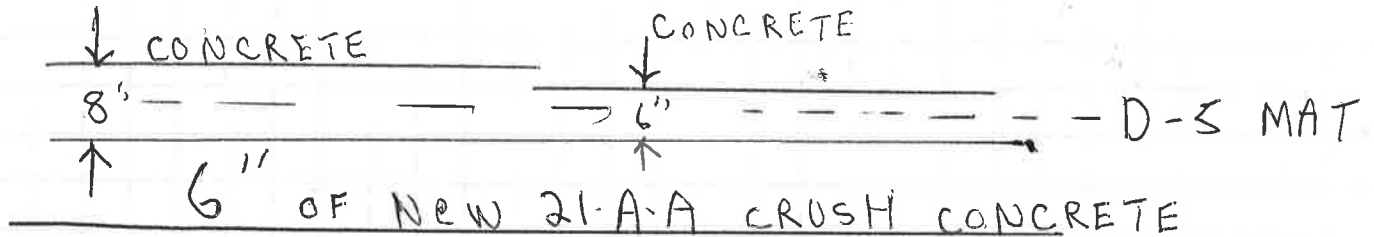
Specializing in Products for the Piping Industry

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(586) 755-9700 • FAX (586) 755-9713

**APPROVED**

10/25/21

PA401-0114



**Stainless, Carbon, Copper, PVC and CPVC Materials in Stock**



**Linda Chapman**

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**From:** Robert Chapman <sjrpavementrepair@wowway.com>  
**Sent:** Monday, October 18, 2021 12:06 PM  
**To:** Linda Chapman  
**Subject:** Please Print

## **2425 East Lincoln Street, Birmingham, MI- Rmoving Asphalt and replacing with Cor**

Area outlined in Red will be 6" Concrete with D5 Wire mat reinforcement. Area in Green will Be 8 " Concrete with D5 Wire Mat reinforcement. Base will be replaced with 4" of 21aa Crushed concrete. Approximately 650 FT2





**AGENDA**  
**REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD**  
**WEDNESDAY, JANUARY 26, 2022**  
**151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI \***  
**\*\*\*\*\*7:30 pm\*\*\*\*\***

The highly transmissible COVID-19 Delta variant is spreading throughout the nation at an alarming rate. As a result, the CDC is recommending that vaccinated and unvaccinated personnel wear a facemask indoors while in public if you live or work in a substantial or high transmission area. Oakland County is currently classified as a substantial transmission area. The City has reinstated mask requirements for all employees while indoors. The mask requirement also applies to all board and commission members as well as the public attending public meetings.

- A. Roll Call
- B. Review and Approval of the Minutes of the Regular Meeting of **January 12, 2022**
- C. Chairpersons' Comments
- D. Review of the Agenda
- E. Unfinished Business
- F. Rezoning Applications
- G. Community Impact Studies
  - 1. **770 S. Adams – Request for a new 4 & 5-story mixed use building**
- H. Special Land Use Permits
  - 1. **100 Townsend – Townsend Hotel – Request for a new outdoor dining platform in the Townsend right-of-way**
- I. Site Plan & Design Reviews
  - 1. **770 S. Adams – Request for a new 4 & 5-story mixed use building**
  - 2. **100 Townsend – Townsend Hotel – Request for a new outdoor dining platform in the Townsend right-of-way**
  - 3. **159 N. Eton – Canelle – Request for new outdoor dining patio and site changes**
- J. Study Session
- K. Miscellaneous Business and Communications:
  - 1. Communications
  - 2. Administrative Approval Correspondence
  - 3. Draft Agenda – **February 9, 2022**
  - 4. Other Business
- L. Planning Division Action Items
  - 1. Staff Report on Previous Requests
  - 2. Additional Items from Tonight's Meeting
- M. Adjournment

\* Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

**Link to Access Virtual Meeting:** <https://zoom.us/j/111656967>

**Telephone Meeting Access:** 877-853-5247 US Toll-Free

**Meeting ID Code:** 111656967

NOTICE: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).





Nicholas Dupuis <ndupuis@bhamgov.org>

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## FW: learning from the Daxton problem

2 messages

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**Scott Clein** <sclein@giffelswebster.com>  
To: Nick Dupuis <ndupuis@bhamgov.org>

Mon, Jan 3, 2022 at 10:49 AM

Nick

See below. I am not suggesting Mr. Bloom is correct or otherwise, but want to make sure it is forwarded out of courtesy. Will you please forward to the rest of the planning board and/or include in our next packet as appropriate.

Thanks.

**Scott Clein, PE**  
President | Partner



Voted a Top Work Place 5 Years in a Row

28 W. Adams Street, Suite 1200  
Detroit, MI, 48226  
p 313.962.4442  
m 313.330.0217  
f 313.962.5068

[sclein@giffelswebster.com](mailto:sclein@giffelswebster.com)  
[www.giffelswebster.com](http://www.giffelswebster.com)  
[privacy policy](#)

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**From:** David Bloom <davembloom@yahoo.com>  
**Sent:** Wednesday, December 29, 2021 11:44 PM  
**To:** Scott Clein <sclein@giffelswebster.com>  
**Subject:** learning from the Daxton problem

Hello Scott,

Happy Holidays. This email is for you and the other Planning Board Members. Would you please pass this email on to them?



Thanks,

David Bloom

Dear Planning Board Members,

As 2022 begins and you continue your review of the second master plan draft I'd like to reinforce how important your work is for the future of Birmingham and ask you to be mindful of lessons learned with other projects as part of your deliberations and recommendations.

I address this letter to you with the hindsight of the issues that are now evident with the Daxton. If you are not aware I am sure Chief Clemence or Tom Marcus can bring you up to speed.

The Daxton site was built in a way that cannot enable certain operations to be efficiently conducted. This means that to operate the hotel, the public is at best inconvenienced, at worst, pedestrian and traffic safety is questionable.



There is no dumpster at ground level in the Daxton, or it would seem space to put one. Waste is handled by using the sole loading dock which to my eyes appears to be undersized in the first place as the garbage can staging area.

For deliveries when the loading dock is unavailable or not large enough, trucks either have to either use the front entrance - which has blocked up Old Woodward to Maple because they do not, or cannot use the valet parking area, or use the north side of Brown blocking the only lane of traffic (the PD has specifically said this is not allowed for safety reasons though they did it anyway) or they use the south side of Brown and then the truck driver has to cross the street to get to the loading dock or garage entrance and back at least twice.

These are issues that cannot be fixed at this point, only managed in degrees, either to the hotel's or the public's detriment, or a combination of both.

Now being able to see these critical concerns and their significant effects, how did this get past your site review process and how can our community use this knowledge within the scope of the Planning Board to help ensure future plans - 2040 master planning and site planning - add to improving Birmingham and our quality of life instead of the opposite occurring? The consequences of these kinds of mistakes are ones we



have to struggle with for decades to come so I ask that you please exercise your responsibilities with greater care and look to bring in as many different viewpoints and resources outside of the ones you have within the board to help us have the best possible decision making for our community.

Sincerely,

David Bloom

Sent from Yahoo Mail for iPhone

[EXTERNAL]

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**Nicholas Dupuis** <ndupuis@bhamgov.org>  
To: Scott Clein <sclein@giffelswebster.com>

Tue, Jan 4, 2022 at 10:21 AM

Thank you Scott,

I will include this in the next packet. This is also being worked on internally, thank you for the heads up!

[Quoted text hidden]

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**Nicholas J. Dupuis**

Planning Director



Email: [ndupuis@bhamgov.org](mailto:ndupuis@bhamgov.org)

Office: 248-530-1856

Social: [Linkedin](#)

**\*Important Note to Residents\***

Let's connect! Join the Citywide Email System to receive important City updates and critical information specific to your neighborhood at [www.bhamgov.org/citywideemail](http://www.bhamgov.org/citywideemail).



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## Planning Board Comment

2 messages

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**Joe Bongiovanni** <jbongi05@gmail.com>  
To: Nicholas Dupuis <ndupuis@bhamgov.org>

Mon, Dec 20, 2021 at 12:56 PM

Planning Board Members

Please recognize the following observations about the Bistro application process and consider the added responsibilities that the Commission seems to have placed on the Planning Board.

In the 11/8/21 Commission meeting, Bistro applicants were to be screened by commissioners to be sent to planning for their more detailed approvals.

Unfortunately the minutes do not reflect what occurred that evening accurately and we hope you will be made aware of some of the process that did not seem to be considered fully. In fact there was extensive dialog in which commissioners ( 3 of which are new ) admittedly indicated that they were not familiar with the details of the ordinance in which they were being asked to vote on. Extra time was not taken to fully educate everyone necessary or to review the details fully before presenting.

Conceptually, we understand the process is the commissioners were to approve a "short version" of an application that met the principles of the ordinance, then more details are flushed at planning.

In this meeting considerations typically made would have included, Cuisine and Need for Such, Location and Need for Activation, Parking and Street Concerns, Potential affect on Neighborhoods. No discussion or review of these were considered.

That said, there was a quote by leadership responding to some of the ordinance questions by saying that "Planning will review the details". This signaled a change in thinking that we believe a greater responsibility falls to the planning board.

The process to award Bistro Licenses has always been held to a high standard, the city has in the past not wanted development in certain areas and has encouraged operators to seek the areas that need activation. Style and Offerings are to be considered as to their need in the area. We hope that the PB will carefully review the applicants under the auspices that they are the first to consider the whole ordinance in their recommendation.

Thank you for your attention to this matter

Joe Bongiovanni

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Joe Bongiovanni  
583 N. Old Woodward  
48009  
Cell: 248.425.4395  
Market: 248.712.4953

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**Nicholas Dupuis** <ndupuis@bhamgov.org>  
To: Joe Bongiovanni <jbongi05@gmail.com>

Mon, Dec 20, 2021 at 1:00 PM

Received Joe!

This will go to the Planning Board at their next meeting on Jan. 12, 2021.

[Quoted text hidden]

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**Nicholas J. Dupuis**  
Planning Director