

AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD

WEDNESDAY APRIL 27, 2022

151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI *

*******7:30 pm*******

Michigan and Oakland County are at a substantial rate of COVID-19 community transmission. Per Occupational Safety and Health Administration (OSHA) mask guidance for areas of high or substantial community transmission levels, and to continue to protect essential government operations and functions, the city requires masks in City Hall for all employees, and for board and commission members. Masks are recommended for members of the public who attend city meetings. The city continues to provide KN-95 respirators for all in-person meeting attendees.

- A. Roll Call**
- B. Review and Approval of the Minutes of the Regular Meeting of **April 13, 2022****
- C. Chairpersons' Comments**
- D. Review of the Agenda**
- E. Unfinished Business**
- F. Rezoning Applications**
 - 1. **Watkins/Brown Property (No address, Parcel Identification Number: 1936151027) – Request to rezone property from R8 to R2**
- G. Community Impact Studies**
- H. Special Land Use Permits**
 - 1. **588 S. Old Woodward – Phoenicia – Request for small addition to rear of building**
 - 2. **243 E. Merrill – La Strada – Request for expansion and a new outdoor dining platform**
- I. Site Plan & Design Reviews**
 - 1. **588 S. Old Woodward – Phoenicia – Request for small addition to rear of building**
 - 2. **294 E. Brown – Request for a new 4-story mixed-use building**
 - 3. **243 E. Merrill – La Strada – Request for expansion and a new outdoor dining platform**
- J. Study Session**
- K. Miscellaneous Business and Communications:**
 - 1. Pre-Application Discussions
 - 2. Communications
 - 3. Administrative Approval Correspondence
 - 4. Draft Agenda – **May 11, 2022**
 - 5. Action List - 2022
 - 6. Other Business
- L. Planning Division Action Items**
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
- M. Adjournment**

* Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

Link to Access Virtual Meeting: [**https://zoom.us/j/111656967**](https://zoom.us/j/111656967)

Telephone Meeting Access: 877-853-5247 US Toll-Free

Meeting ID Code: 111656967

NOTICE: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

City Of Birmingham
Regular Meeting Of The Planning Board
Wednesday, April 13, 2022
City Commission Room
151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on April 13, 2022.
Chair Scott Clein convened the meeting at 7:30 p.m.

A. Roll Call

Present: Chair Scott Clein; Board Members, Stuart Jeffares, Bert Koseck, Daniel Share, Janelle Whipple-Boyce; Alternate Board Member Nasseem Ramin; Student Representative MacKinzie Clein

Absent: Board Members Robin Boyle, Bryan Williams; Alternate Board Member Jason Emerine; Student Representative Andrew Fuller

Administration:

Nick Dupuis, Planning Director
Leah Blizinski, City Planner
Bruce Johnson, Building Official
Jeff Zielke, Assistant Building Official
Laura Eichenhorn, City Transcriptionist

04-86-22

B. Approval Of The Minutes Of The Regular Planning Board Meeting Of March 23, 2022 And The Special Meeting Of The Planning Board on March 31, 2022

Motion by Mr. Share

Seconded by Ms. Whipple-Boyce to approve the minutes of the Regular Planning Board meeting of March 23, 2022 as submitted.

Motion carried, 6-0.

VOICE VOTE

Yeas: Share, Whipple-Boyce, Clein, Jeffares, Koseck, Ramin

Nays: None

Motion by Mr. Jeffares

Seconded by Ms. Whipple-Boyce to approve the minutes of the Special Planning Board meeting of March 31, 2022 as submitted.

Motion Carried, 5-0.

VOICE VOTE

Yeas: Jeffares, Whipple-Boyce, Clein, Ramin, Share

Nays: None
Abstain: Koseck

04-87-22

C. Chair's Comments

Chair Clein welcomed everyone to the meeting and reviewed the meeting's procedures.

04-88-22

D. Review Of The Agenda

04-89-22

E. Unfinished Business

None.

04-90-22

F. Rezoning Applications

None.

04-91-22

G. Community Impact Study

None.

04-92-22

H. Site Plan & Design Review

1. 191 N. Chester - 191 N. Chester – OneStream – Request for new dumpster enclosure (WITHDAWN)

04-93-22

I. Special Land Use Permit

None.

04-94-22

J. Site Plan & Design Review

None.

04-95-22

K. Study Session

1. Outdoor Dining – Public Hearing

PD Dupuis explained that the public hearing was not noticed for the meeting and thus, could not be held.

Chair Clein requested that language requiring any extensions in front of neighboring property have the subsequent agreements between property owner(s) affected to be re-submitted each year.

Motion by Mr. Share

Seconded by Mr. Koseck to set a public hearing date of May 11, 2022 to consider amendments to the outdoor dining standards.

Motion carried, 6-0

VOICE VOTE

Yeas: Share, Koseck, Clein, Jeffares, Ramin, Whipple-Boyce

Nays: None

Mr. Koseck requested clarification on noticing for ordinance public hearings.

2. Side Yard A/C Units – Study Session

CP Blizinski introduced the item.

Mr. Koseck asked if a/c units are permitted in the side setback, and clarified that a/c units are not allowed in the required side yard open space, but are permitted in the side yard if space permits.

BO Johnson stated that a/c units are considered accessory structures and confirmed Mr. Kosecks statement regarding placement in side setbacks versus required side yards.

In response to Chair Cleins request to state the proposed ordinance language, CP Blizinski read the proposed language to the board.

Mr. Share asked about efficiency ratings and how efficiency may relate to the noise produced by a unit. He continued on to state that he has concerns regarding different components and styles of heating and cooling systems and how the proposed ordinance language would regulate equipment that may not be considered a traditional a/c unit.

BO Johnson stated background information regarding the issue and the concerns that the proposed ordinance was written to resolve.

Ms. Whipple-Boyce expressed concerns regarding consistent regulation with the proposed ordinance and how it would be applied in different conditions.

Chair Clein stated that he is unclear as to what issue the board is trying to solve with the proposed language.

Mr. Koseck stated that he feels that despite the technological advancements, the noise is still an issue with a/c units and feels as though a/c units are better placed in the rear yard. However, he is in favor of allowing homeowners to replace existing units in the side yard.

The board discussed the issues with bringing a/c units up to code during replacements including the need for new pads, connections and efficiency.

Mr. Jeffares added that there is also a potential requirement for other items to be brought up to code during a/c replacement such as electrical.

The board agreed that the language should be brought back for further study based on comments from the review.

Public Comment

Patrick Hillberg, resident, explained that he originated the concern that predicated this review, and that he has major concerns regarding public health and comfort during heat waves that are related to the speed at which a/c units can be replaced.

3. Barrier-Free Ramps – Study Session

PD Dupuis introduced the item.

Mr. Share asked if the reference to the residential building code would be adequate in regulating the size and location of the ramp.

Chair Klein, Mr. Share and Staff clarified that this proposed ordinance prevents any unintended consequences relating to accessibility ramps and excessive projections into the front or rear yard, and suggested adding width requirements to the language to prevent unnecessarily wide ramps.

Motion by Mr. Share

Seconded by Mr. Koseck to set a public hearing date of May 11, 2022 to amend Article 4, Section 4.30, Open Space Standards, to add language to permit accessibility ramps in the required open space.

Motion carried, 6-0

VOICE VOTE

Yeas: Share, Koseck, Klein, Jeffares, Ramin, Whipple-Boyce

Nays: None

4. Front Yard Setbacks – Study Session

PD Dupuis introduced the item.

Ms. Whipple-Boyce commended the ordinance and was supportive of the change. She went on to ask if there is anything that can be done to address homes that are currently being built under the current standards.

Mr. Koseck asked how the front lot line is determined.

Public Comment

Cindy Rose, resident, thanked the Planning Board for looking into the item and was supportive of the new language.

Motion by Ms. Whipple-Boyce

Seconded by Mr. Koseck to set a public hearing date of May 11, 2022 to amend Article 2, Sections 2.04, 2.06, 2.08 and 2.10 to modify the minimum front yard setback requirement.

Motion carried, 6-0

VOICE VOTE

Yeas: Whipple-Boyce, Koseck, Clein, Jeffares, Ramin, Share

Nays: None

Mr. Koseck stated that based on his experience working with our ordinance, he was very glad to see some of these things are being cleared up.

04-96-22

L. Miscellaneous Business and Communications

1. Pre-Application Discussions

i. 115 Willits – Mare

PD Dupuis summarized the item and asked the Board what the application process should be for the proposed pergola.

Antonino Cutraro, owner of Bella Piatti and Mare Mediterranean, detailed the proposed pergola and explained that the impetus for the proposal was weather-based.

The Board discussed the construction of the pergola and the attachments that would be required to secure the pergola.

The Board recommended Administrative Approval for the basic black table umbrellas, but asked that the pergola proposal be brought before the Board through a Special Land Use Permit Amendment.

2. Communications

i. Joint Meeting with City Commission – Monday April 18, 2022

The Board clarified that this meeting is only to discuss the 2040 Plan.

3. Administrative Approval Correspondence

4. Draft Agenda

5. Other Business

i. Action List – 2022

04-97-22

L. Planning Division Action Items

- a. Staff Report on Previous Requests**
- b. Additional Items from tonight's meeting**

04-98-22

M. Adjournment

No further business being evident, the Chair adjourned the meeting at 9:03 p.m.



Nick Dupuis
Planning Director



MEMORANDUM

Planning Division

DATE: April 22nd, 2022

TO: Planning Board

FROM: Brooks Cowan, Senior Planner

APPROVED: Nick Dupuis, Planning Director

SUBJECT: Request to Rezone Parcel # 08-19-36-151-027 from R8 Attached Single-Family Residential to R2 Single-Family Residential Zone on Watkins Street (695 W. Brown vacant parcel)

The subject site includes the vacant lot on the west side of Watkins Street, south of the 695 W. Brown townhome development (Westbrown Condominiums). The subject property has a total land area of 10,507 square feet (0.25 acres). The property is situated between the R8 Attached Single-Family Residential development at 695 W Brown to the north and the R2 Single Family Residential home at 525 Watkins to the south.

The applicant, LB Land, LLC, is applying to rezone the subject property from R8 Attached Single-Family to R2 Single-Family Residential to match the surrounding R2 Single-Family zone on Watkins Street to the south. The proposed zone of R2 Single-Family would permit a single family dwelling on site only – **a duplex, multi-family units, or attached single-family development would not be permitted.**

The subject greenspace remains part of the Westbrown Condominium development which is maxed out on the number of permissible residential units. The applicant will have to formally separate the greenspace lot from the Westbrown Condominium development for it to be eligible for a new dwelling.

Being zoned R2 Single Family enables the subject area to satisfy the City of Birmingham's lot split requirements which factors in lot widths of properties on the same street in the same zone within 300 feet. **The applicant is required to obtain lot split approval of the City Commission to formalize the creation of the new lot and enable a single family home to be constructed on it. The lot split will be a separate application reviewed at City Commission after the hearing for the request to rezone from R8 to R2.**

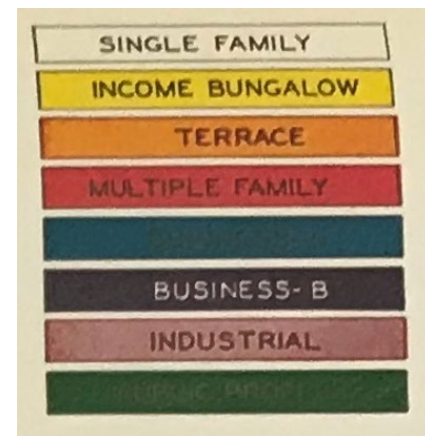
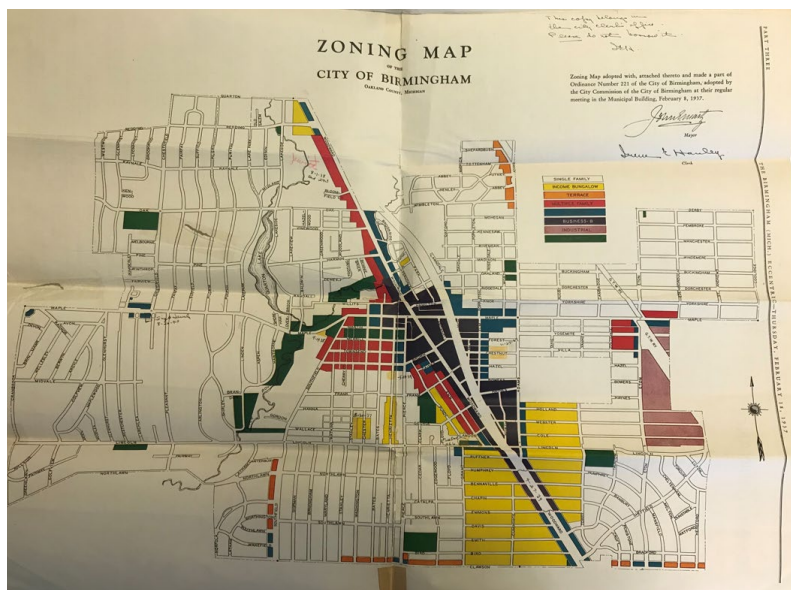
City staff would like to mention that 695 W. Brown submitted their condominium documentation for the master deed to Oakland County in 2018 indicating a "general common area" for the northern portion of the property known as the Westbrown Condominium. Instead of maintaining the original lot and creating Parcel ID #s for each individual condo, the general common area, and future development area outlined on the master deed survey, the county created a "balance parcel" that sits outside of the common element area. In effect, the county split the parcel and

created a new lot. The county cannot approve a lot split in Birmingham without City Commission approval. Therefore the applicant has been advised to go through the proper city protocol. **No error was made by the applicant - representatives of the Westbrowm Condominium development contacted city staff to inquire about what had transpired.**

Since that time, the review process for all new parcel IDs has been updated to require review and approval from the Planning Department before new taxable IDs can be finalized. The City will require the County to undo the lot split for the "balance parcel" if the City Commission does not approve the lot split application.

History of Property

The subject property has been zoned multi-family since Birmingham's first Zoning Ordinance as indicated in the 1937 Zoning Map. The original plat map from 1932 shows that the subject area spanned from Watkins Street to Southfield Road and was included in the Multiple Family zone with the adjacent properties facing Brown Street. The subject area was the only non-Brown Street facing lot that was included in the Multiple Family zone on the south side of Brown street between Southfield and Henrietta.



Prior to the Westbrown Development, there was a medical office with a large parking lot and greenspace in the area.

2017 aerial (Google Maps)



2012 Streetview (Google Maps)



On February 21st, 2018, the property now know as 695 W. Brown (formerly 525 Southfield) was approved for 8 attached single-family units facing Brown Street between Southfield Road and Watkins Street. **According to the Planning Board minutes from February 21st, 2018, the applicant explained how the intended use for the space under consideration for rezoning would be a single-family home that will be contextual with the townhomes and the neighborhood.** Condition of site plan approval item #7 for the Westbrown Condominium development stated the following (Minutes are attached):

Regarding the open land to the south of the site, the land to be used for staging, that the land be restored per ordinance (until such time as the other development comes forward) with a landscape plan to be administratively approved. This condition would be maintained until, at a date yet to be determined, the owner brings a proposed development for that site.

On May 24th, 2021, the property owner appeared before City Commission to request a lot split for the subject property under the current zone of R8. Birmingham's lot split ordinance standards for approval states that the proposed lot may not be less than the average lot width of properties on the same street in the same zone. The only other R8 property on Watkins Street (525 Watkins) has a lot width of 106 feet, therefore the proposed lot width of 58 feet would not satisfy the lot split requirements because the proposal would be less than the 106 feet standard from 525 Watkins. City staff's recommended action was to cancel the public hearing for the lot split and direct the applicant to seek a rezoning of the property to R2 Single-Family in order to satisfy the lot split requirements. City Commission concurred with staff's recommendation and motioned to direct the applicant to pursue a rezoning of the subject property to R2-Single Family Zone in order to meet the lot split requirements of the municipal code (minutes attached).

Requirements for Rezoning

The requirements for a request for the rezoning of a property are set forth in Article 07, section 7.02 of the Zoning Ordinance as follows:

Each application for an amendment to change the zoning classification of a particular property shall include statements addressing the following:

- 1. An explanation of why the rezoning is necessary for the preservation and enjoyment of the rights of usage commonly associated with property ownership.**

Applicant response:

- A rezone to R2 is consistent with adjacent single-family homes (see attached zoning map). The property has been zoned for multi-family since 1937, but the 1980 Master Plan recommends it be single-family residential.

- 2. An explanation of why the existing zoning classification is no longer appropriate**

Applicant response:

- The existing zoning classification of R8 is no longer appropriate given intention is to build a single family home separate from the recently constructed townhouses (Westbrown Condominiums). The property in question is currently vacant and maintained by LB Land LLC.

- 3. An explanation of why the proposed rezoning will not be detrimental to the surrounding properties.**

Applicant response:

- LB Land LLC has performed extensive due diligence to ensure that the requested rezone will be of no detriment to the surrounding properties and is consistent in aesthetic and scale with adjacent single-family homes. LB Land LLC has contracted the services of local Birmingham architecture firm, Brian Neeper Architecture P.C. to design a home that is appropriate for the lot and surrounding areas. LB Land LLC is working with a landscape architect to maximize green space and privacy for all neighboring properties.

Article 7, section 7.02 of the Zoning Ordinance further states:

Applications for amendments that are intended to change the zoning classification of a particular property shall be accompanied by a plot plan. Information required on plot plans shall be as follows:

1. Applicant's name, address and telephone number.
2. Scale, north point, and dates of submission and revisions.
3. Zoning classification of petitioner's parcel and all abutting parcels.
4. Existing lot lines, building lines, structures, parking areas, driveways, and other improvements on the site and within 100 feet of the site.
5. Existing use of the property.
6. Dimensions, centerlines and right-of-way widths of all abutting streets and alleys.
7. Location of existing drainage courses, floodplains, lakes, streams, and wood lots.
8. All existing easements.
9. Location of existing sanitary systems and or septic systems.
10. Location and size of existing water mains, well sites and building service.
11. Identification and seal of architect, engineer, land surveyor, or landscape architect who prepared the plans. If any of the items listed above are not applicable to a particular plot plan, the applicant must specify in the plot plan which items do not apply and, furthermore, why the items are not applicable.

A land survey was provided by the applicant with the required details and is attached to this report.

Planning Division Analysis & Findings

In accordance with Article 7 of the Zoning Ordinance, the Planning Board is required to conduct a public hearing on an application for rezoning, and to make a recommendation on the rezoning to the City Commission. Article 7, section 7.02(B)(5) of the Zoning Ordinance states:

The Planning Board shall make written findings of fact and transmit same, together with its recommendation, to the City Commission. The City Commission may hold additional hearings if the City Commission considers it necessary. The Planning Board shall make findings based on the evidence presented to it with respect to the following matters:

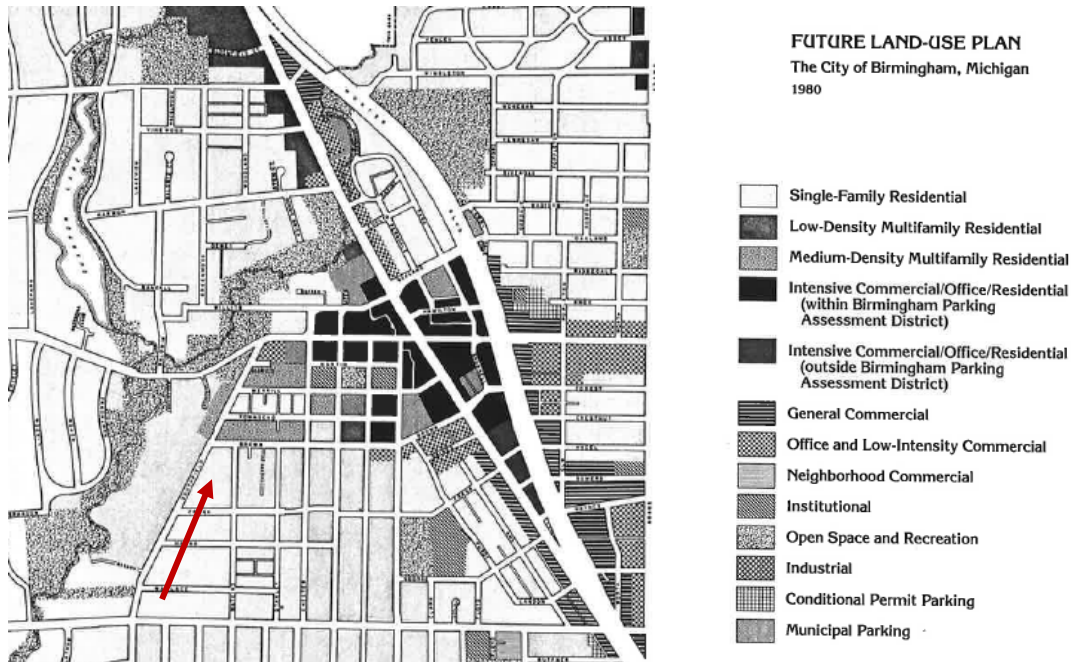
- a. The objectives of the City's then current master plan and the City's 2016 Plan.
- b. Existing uses of property within the general area of the property in question.

- c. Zoning classification of property within the general area of the property in question.
- d. The suitability of the property in question to the uses permitted under the existing zoning classification.
- e. The trend of development in the general area of the property in question, including any changes which have taken place in the zoning classification.

Accordingly, the Planning Division has reviewed the evidence presented with respect to the matters listed in Article 7, section 7.02(B)(5) of the Zoning Ordinance as noted below.

A. The objectives of the City's then current master plan and the City's 2016 Plan

The Birmingham Plan (1980) is the master plan currently in effect for the entire city. The 1980 Future Land Use Plan recommends the subject property to be a single-family residential use. The 1980 Plan also recommends single family use on the south side of Brown Street from Southfield Road to Henrietta Street.



The 1980 Birmingham Plan has a chapter titled "Sensitive Residential Areas" which identifies the subject property within the "Merrill-Townsend-Brown Residential Area" and states:

The City of Birmingham contains no declining neighborhoods. In fact, many of the older residential areas of the city have experienced dramatic reinvigoration due to the substantial improvements made by private homeowners. However, there are certain residential areas of the city which merit special attention from the Planning Board and the city administration in to ensure continued preservation and enhancement of residential quality (pg. 47).

The section titled "Single-Family Residential Development" states:

Most areas indicated for single family-residential development are already built-up. New residential development can occur on the few remaining vacant lots located within these areas.

...

Single-family residential development is indicated in the Future Land-Use Plan for some areas in which two-family and multiple-family residential development has occurred in the past. These areas are indicated as single-family residential areas because it is the intention of the plan to prevent further proliferation of two-family and multiple-family residential development within them (pg. 94).

The objective of the City's current Master Plan for the subject area appears to support the applicant's request to rezone the property to R2 Single-Family Residential given the recommendations of the Future Land Use Map and the Single Family Residential Development chapter.

B. Existing uses of property within the general area of the property in question

The building to the north of the subject site is the Westbrowm Condominium development with 8 townhomes. Further to the north across Brown Street is a five story multi-family apartment complex next to a single family house at 576 Brown Street. Brown Street appears to have a mix of townhomes, multi-family, and single family homes.

The property directly to the east of the site include a single family home at 543 Watkins Steet. Northeast of the property is an apartment complex at 525 Watkins. The properties to the west of the subject site includes a parking a lot for the Westbrowm Condominium development and a single-family residential house facing Southfield. Further across Southfield Road to the west are a mix of townhomes, single family homes, and single family cluster developments.

The properties to the south are single family residential homes facing Watkins Street or Southfield Road. There is a Single Family Cluster Development half a block south along Southfield Road. Single family clusters are only permitted on lots 36,000 square feet or more.

	North	South	East	West
Existing Land Use	Attached Single-Family	Single Family Residential	Single Family Residential	Attached Single-Family
Existing Zoning	R8, Attached Single Family	R2, Single Family Residential	R2, Single Family Residential	R8, Attached Single Family
Overlay Zoning	N/A	N/A	N/A	N/A

C. Zoning classification of property within the general area of the property in question.

The building immediately north of the subject site is zoned R-8 Attached Single Family. The north side of Brown Street from Southfield Road to S. Chester Street is zoned R7 Multiple-Family Residential.

Properties directly to the east are zoned R2 Single Family and transition to R3 Single Family one block east at Stanley Drive. West of the property is R8 Attached Single Family and R2 Single Family Residential. Across Southfield road to the west is R1 Single Family with single family cluster developments.

The properties to the south on Watkins Street are all zoned R2 Single Family.

D. The suitability of the property in question to the uses permitted under the existing zoning classification.

Under the current zoning, the subject property cannot be built upon because the area is still considered to be part of the Westbrowm Condominium development. The R8 zone has a maximum of 8 units as defined in Article 9, Section 9.02 as follows:

A building that has not more than 8 one-family dwelling units erected side-by-side as a single building, each being separated from the adjoining units by walls extending from the basement floor to the roof, which meet or exceed the sound transmission class (STC) rating of 45 for residential buildings as established by the most current addition of the International Code Council's (ICC) Building Code as promulgated and published by the Building Officials and Code Administrators International, Inc. No two single-family dwelling units may be served by the same stairway or by the same exterior door of the dwelling.

The subject property must be split from the Westbrowm Condominium development before new units can be built upon it, and the property can only satisfy the lot split requirements if zoned R2-Single Family like the surrounding properties on Watkins Street to the south.

E. The trend of development in the general area of the property in question, including any changes which have taken place in the zoning classification.

Recent development in the general area has consisted of the Westbrowm Condominium development. The development trend in the surrounding area has been townhome updates along Brown Street and Southfield Road. Properties to the south have mostly experienced single family home construction and remodeling. Single family cluster developments have also occurred along Southfield Road.

Based on a review of the rezoning application and supporting documentation submitted by the applicant, a review of the applicable master plan documents, current zoning and recent development trends in the area, the Planning Department finds that the applicant meets the established Zoning Ordinance requirements in Article 7, section 7.02(B)(5) to qualify for a rezoning of the property from R8 Attached Single Family to R2 Single Family.

Departmental Reports

1. Engineering Division – The Engineering Department has no concerns with the rezoning at this time.
2. Department of Public Services – The Department of Public Services has no concerns with the rezoning at this time.
3. Fire Department – The Fire Department has no concerns with the rezoning at this time.
4. Police Department – The Police Department has no concerns with the rezoning application.
5. Building Department – The Building Department has no concerns with the rezoning application at this time.
6. Parking Management – Parking Management has no concerns with the rezoning application at this time.

Sample motions with attached conditions have been provided in the event that the Planning Board deems it appropriate to send a recommendation of approval forward to the City Commission.

Suggested Action:

Based on a review of the rezoning request and supporting documentation submitted by the applicant, a review of the applicable master plan documents and the development trends in the area, the Planning Board adopts the findings of fact contained in the staff report dated April 22nd, 2022 and recommends **APPROVAL** to the City Commission for the rezoning of parcel #19-36-151-027 from R8 Attached Single Family to R2 Single Family Residential.

OR

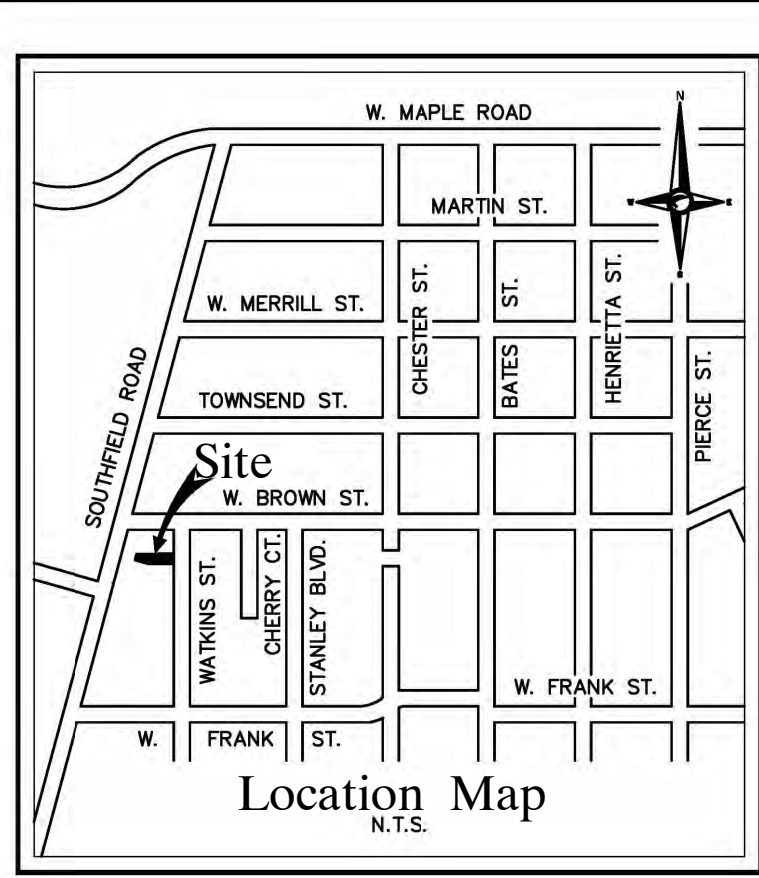
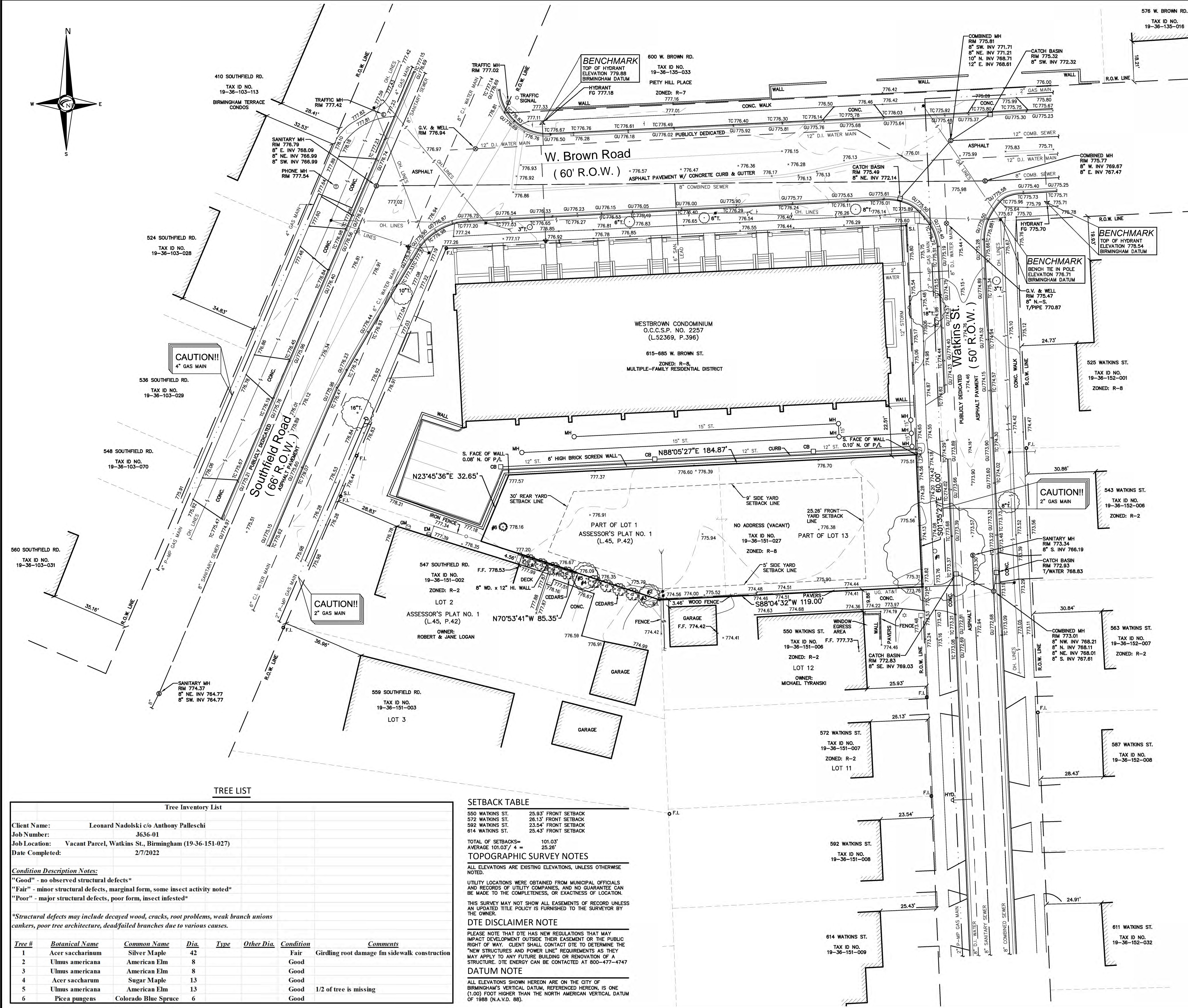
Based on a review of the rezoning request and supporting documentation submitted by the applicant, a review of the applicable master plan documents and the development trends in the area, the Planning Board recommends **DENIAL** to the City Commission of the applicant's request for the rezoning of parcel #19-36-151-027 from R8 Attached Single Family to R2 Single Family Residential.

1. _____
2. _____
3. _____

OR

Motion to recommend **POSTPONEMENT** of the applicant's request for the rezoning for the rezoning of parcel #19-36-151-027 from R8 Attached Single Family to R2 Single Family Residential, pending receipt and review of the following information:

1. _____
2. _____
3. _____



**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

CERTIFICATE OF SURVEY
WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED.

KEVIN NAVAROLI, P.S. NO. 4001053503
2-14-2022
DATE

LEGAL DESCRIPTION - PER TAX RECORD
PART OF LOTS 1 AND 13 OF ASSESSOR'S PLAT NO. 1 AS RECORDED IN LIBER 45 OF PLATS, ON PAGE 42, OAKLAND COUNTY RECORDS, BEING A PART OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 13, THENCE SOUTH 68 DEGREES 04 MINUTES 32 SECONDS WEST, 119.00 FEET; THENCE NORTH 70 DEGREES 53 MINUTES 41 SECONDS WEST, 85.35 FEET; THENCE NORTH 23 DEGREES 45 MINUTES 36 SECONDS EAST, 32.65 FEET; THENCE NORTH 88 DEGREES 05 MINUTES 27 SECONDS EAST, 184.87 FEET; THENCE SOUTH 01 DEGREES 35 MINUTES 27 SECONDS EAST, 60.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 10,507 SQUARE FEET OR 0.24 ACRES OF LAND.

BASIS OF BEARING NOTE
ALL BEARINGS ARE IN RELATION TO THE PREVIOUSLY ESTABLISHED EASTERLY LINE OF SOUTHFIELD AVENUE (NOW ROAD) OF ASSESSOR'S PLAT NO. 1, A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, VILLAGE OF BIRMINGHAM (NOW CITY), OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 45 OF PLATS, PAGE 42, OAKLAND COUNTY RECORDS. (N.24°05'00"E.)

FLOOD HAZARD NOTE
THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26125C0536F BEARING AN EFFECTIVE DATE OF 09-29-2006.

MISS DIG / UTILITY DISCLAIMER NOTE
A MISS DIG TICKET NUMBER 2022013100454, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED. ON FEBRUARY 8, 2022, THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.



PROJECT
Vacant Parcel
Watkins Street
Birmingham, MI 48009
(Tax ID No. 19-36-151-027)

CLIENT
Leonard Nadolski c/o
Anthony Palleschi

Contact: Anthony Palleschi
Phone: 586.822.0851
Email: apalleschi@championautoinc.com

PROJECT LOCATION
Part of the NW 1/4
of Section 36
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET
Boundary / Topographic /
Tree Survey / Rezoning
Plan



DATE ISSUED/REVISED
02-08-22 SURVEY ISSUED
02-14-22 ISSUED FOR REZONING

DRAWN BY:
M. Carnaghi
DESIGNED BY:

APPROVED BY:
K. Navaroli
DATE:
February 8, 2022

SCALE: 1" = 20'
20 10 0 10 20 30
NFE JOB NO. SHEET NO.
J636-01 1 of 1

TREE LIST

Tree Inventory List							
Client Name: Leonard Nadolski c/o Anthony Palleschi							
Job Number: J636-01							
Job Location: Vacant Parcel, Watkins St., Birmingham (19-36-151-027)							
Date Completed: 2/7/2022							
Condition Description Notes:							
"Good" - no observed structural defects*							
"Fair" - minor structural defects, marginal form, some insect activity noted*							
"Poor" - major structural defects, poor form, insect infested*							
*Structural defects may include decayed wood, cracks, root problems, weak branch unions, cankers, poor tree architecture, dead/failed branches due to various causes.							
Tree #	Botanical Name	Common Name	Dia.	Type	Other Dia.	Condition	Comments
1	Acer saccharinum	Silver Maple	42			Fair	Girdling root damage fm sidewalk construction
2	Ulmus americana	American Elm	8			Good	
3	Ulmus americana	American Elm	8			Good	
4	Acer saccharum	Sugar Maple	13			Good	
5	Ulmus americana	American Elm	13			Good	1/2 of tree is missing
6	Picea pungens	Colorado Blue Spruce	6			Good	

SETBACK TABLE

550 WATKINS ST.	25.93' FRONT SETBACK
572 WATKINS ST.	26.13' FRONT SETBACK
592 WATKINS ST.	23.54' FRONT SETBACK
614 WATKINS ST.	25.43' FRONT SETBACK

TOTAL OF SETBACKS= 101.03'
AVERAGE 101.03' / 4 = 25.26'

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747

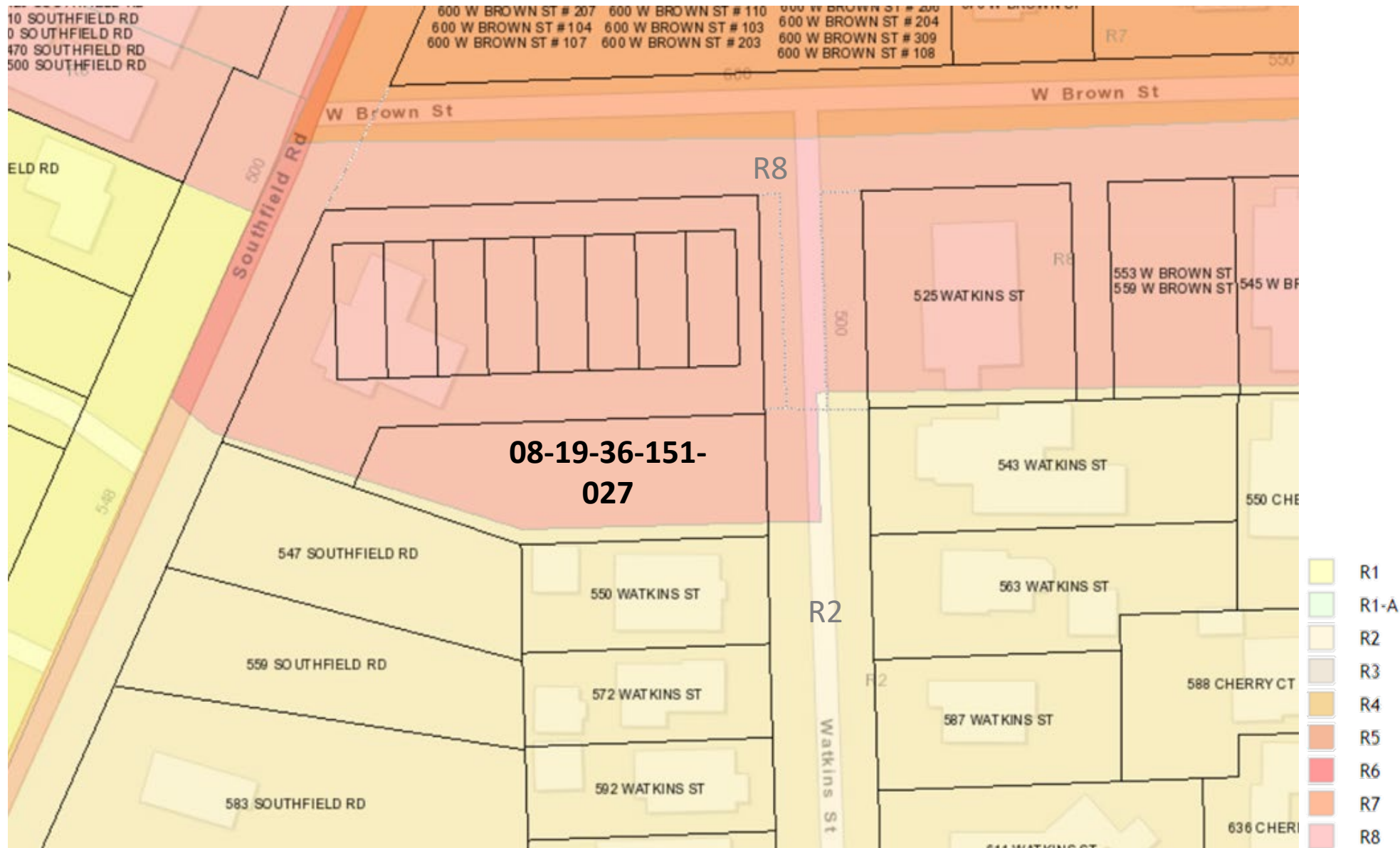
DATUM NOTE

ALL ELEVATIONS SHOWN HEREON ARE ON THE CITY OF BIRMINGHAM'S VERTICAL DATUM, REFERENCED HEREON, IS ONE (1.00) FOOT HIGHER THAN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88).

∞ **Proposed Build**
Lot: 10,507 sqft.
Home: 4,500 sqft.

550 Watkins
Lot: 6,098 sqft.
Home: 3,900 sqft.

587 Watkins
Lot: 7,449 sqft.
Home: 3,905 sqft.



APPLICATION FOR ZONING MAP OR ORDINANCE CHANGE **Birmingham, Michigan**

TO THE CITY COMMISSION:

The undersigned hereby makes application to the City Commission to:

1. Zoning Map Change:

Change premises described as:

Parcel ID No: 08-19-36-151-027 Watkins St.

No.

Street

See attached plan for legal description

Legal Description

from its present zoning

classification of R-8 to R-2.

A sealed land survey showing location, size of lot and placement of building (if any) on the lot to scale must be attached.

Statements and reason for request or other data have a direct bearing on the request.

2. Change premises described as:

Parcel ID No: 08-19-36-151-027 Watkins St.

No.

Street

See attached plan for legal description

Legal Description

from its present zoning

classification of R-8 to R-2.

A sealed land survey showing location, size of lot and placement of building (if any) on the lot to scale must be attached.

Statements and reasons for request or other data have a direct bearing on the request.

Signature of Applicant: Anthony P. Palleschi

Print Name: Anthony P. Palleschi

Name of Owner: LB Land, LLC

Address and Telephone Number: 5000 E Grand River Avenue, Howell MI 48843

(586) 822-0851

APPLICATION FOR ZONING MAP OR ORDINANCE CHANGE
Birmingham, Michigan

A letter of authority, or power of attorney, shall be attached in case the appeal is made by a person other than the actual owner of the property.

Date Received: _____ Received By: _____

Resolution No. _____ Approved/Denied _____

Application Fee: \$1,500.00 Receipt Number _____

The petitioner shall be responsible for any costs incurred by consultant, including but not limited to traffic and environmental, contracted by the city to review the proposed site plan and/or community impact study as determined by the city planner.

ZONING MAP OR ORDINANCE AMENDMENT PROCEDURE

Procedure to be followed on all applications for Zoning Map or Ordinance amendments.

1. Preliminary discussion with the Community Development Director or City Planner.
2. Formal application to City Commission with the following information:
 - a) Change requested
 - b) Signature and name of persons requesting change
 - c) Reasons for requested change
3. City Commission will refer request to the Planning Board for recommendation and final report.
4. Planning Board will hold a public hearing prior to which a notice will be published in an official paper or a paper of general circulation not less than fifteen (15) days prior to the hearing.
5. At the conclusion of a public hearing, the Planning Board will forward a recommendation of the Zoning Map or Ordinance amendment request. The City Commission may, by ordinance, change the Zoning Map or Ordinance only after the Planning Board had held at least one (1) public hearing regarding the proposed amendment and has reported to the City Commission thereon. The City Commission may hold additional public hearings as it deems necessary.
6. Upon the presentation of protest petition meeting the requirements listed below, an amendment to the Zoning Map or Ordinance which is the object of the petition shall be passed only by a three-fourths (3/4) vote of the City Commission. The protest petition shall be presented to the City Commission before final action on the amendment, and shall be signed by one (1) of the following:
 - a) The owners of at least twenty percent (20%) of the area of land included in the proposed change.
 - b) The owners of at least twenty percent (20%) of the area of the land included within an area extending outward one hundred (100) feet from any point on the boundary of the land included in the proposed change.

For the purpose of calculating the twenty percent (20%) requirement, publicly-owned land shall be excluded.

7. The City Commission will then take action on the application upon review of the Planning Board's recommendation and approved minutes of the Public Hearing.
8. Following adoption of a Zoning Map or Ordinance change by the City Commission, one (1) notice of adoption shall be published in the newspaper of general circulation in the City within fifteen (15) days after adoption.

LB Land LLC

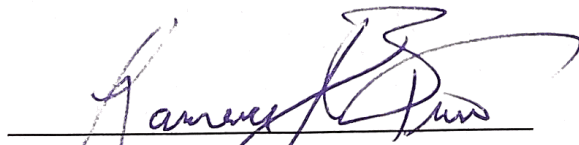
5000 E GRAND RIVER AVE, HOWELL, MI 48843

February 14, 2022

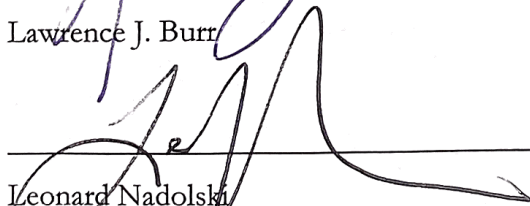
I, Anthony Palleschi, on behalf of LB Land LLC, request the rezoning of the parcel in question (Tax ID No. 19-36-151-027) from R8 to R2 as to fulfill the requirements for a lot split, per conversations with City Planner Brooks Cowan. LB Land LLC intends to build a single-family home of approximately 4,500 sqft (consistent with neighborhood; see attached zoning map). A rezone to R2 is consistent with existing adjacent single-family homes (see attached zoning map). The property has been zoned for multifamily since 1937, but the 1980 Master Plan recommends it be single-family residential.

The existing zoning classification of R8 is no longer appropriate given intention is to build a single-family home separate from the recently constructed townhouses (Westbrown Condominiums). The property in question is currently vacant and maintained by LB Land LLC.

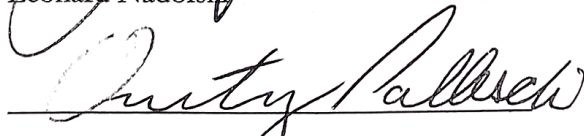
LB Land LLC has performed extensive due diligence to ensure that the requested rezone will be of no detriment to the surrounding properties and is consistent in aesthetic and scale with adjacent single-family homes. LB Land LLC has contracted the services of local Birmingham architecture firm, Brian Neeper Architecture P.C. to design a home that is appropriate for the lot and surrounding areas. LB Land LLC is working with a landscape architect to maximize green space and privacy for all neighboring properties.



Lawrence J. Burr



Leonard Nadolski



Anthony P. Palleschi

LB Land LLC

5000 E GRAND RIVER AVE, HOWELL, MI 48843

To whom it may concern:

I, Leonard Nadolski, hereby authorize Anthony P. Palleschi to represent publicly and make decisions on behalf of LB Land LLC in matters regarding land ownership, development, zoning, etc. in Birmingham, MI. Please extend him the same courtesies as if I were handling the matters myself. I ensure you my full consent with regards to this authorization.

This authorization is effective January 24, 2022 until further notice.

If you have questions regarding this matter, please contact me at (810) 577-7156, or lnadolski@champion-chev.com.


Leonard Nadolski Member Date
L.B. LAND.

To the Birmingham Planning Board:

APR 22 2022
4pm CWoods

RECEIVED

My wife and I live at 615 West Brown Street and were the first owners/residents at The Westbrowne Condominium, located immediately North of Parcel # 1936151027, the parcel in question for rezoning. We are writing this letter because we are on a long-planned trip with our children, but if we could be present for the hearing, we would be.

We strongly recommend that this request be **DENIED**. This property is controlled by the developer, L. B. Land LLC. It was approved November 19, 2018 in the Master Deed with the option that it could be combined with The Westbrowne Condominium (Sec 7.2 AND 7.3 "None of the additional land and unit area need to be developed for residential use"). It is also interesting that 100% of the value of the project is assigned to the original 8 units, per Sec 5.2. The idea of combining it and developing it as greenspace has been held out as a carrot to potential buyers of townhomes (and to us, as homeowners) since early on in this process, though with constant delays and price increases. Approving this rezoning and allowing the building of one very large home on this lot would be detrimental to the views from our kitchens and decks and would reward this disingenuous developer, while reinforcing its shoddy business practices. We suggest that the original option for this space to be attached to The Westbrowne Condominium be reconsidered with the vision that this could be developed as "green space" or as a small park that would enhance the experience and value of our homes as well as all of those on Watkins.

By way of history, Mike Tyranski and I approached the developers last summer with the option above and while greeted with reservation, it was not dismissed. It was a matter of price. Later in a conversation with Larry, one of the partners in L. B. Land LLC, it was expressed that this was a fruitful idea and that we should wait until more units were sold. That way, the costs of landscaping could be spread among more participants. The next communication, months later, was that they were planning to build a substantial home, completely opposite to what had been discussed with us. The developer did not reach out to us or follow through to consider other alternatives that could be a win-win for everyone, but rather only considered a money grab for themselves. In the meantime, they began to (finally) sell more of the six remaining units.

Based on conversations with others who subsequently purchased at The Westbrowne, it was obvious that representations were made to purchasers that the adjacent property might be developed as a Green Space. Was this a representation made to induce further sales? If this was done by realtors, where did they get this information from? If it was done in good faith, why didn't they discuss the plan with us?

In the meantime, we have had design problems, construction difficulties, never-ending delays that were far more than could be excused by the pandemic. To name but a few:

- An EV charger installed by the builder **AFTER** the electrical inspection resulted in a fire. If we had not caught the fire immediately as it started, the results would have been catastrophic. Among the problems later identified, the electrician did not even follow the instructions provided by the factory which clearly delineated what type of circuit breaker to install. This electrician has been used for the entire Westbrowne project.
- Inadequate diversion of snow and water from the roof due to poor design now dumps onto the front steps of every unit, resulting in a constant cycle of melt/freeze on stone which is so

dangerous that the USPS refused delivery for some residents due to obvious safety issues. This is a huge design flaw that the builder *refuses to address*.

- Several units, including ours, have experienced significant water damage from roof leaks, due to improper installation and/or design.
- The developers built a wall that extends along the back of our access all the way to the sidewalk at a height that is simply dangerous. You cannot see pedestrians or dogs or strollers on the sidewalk. It is a tragedy waiting to happen. In addition, with the ongoing construction and trucks parked along Watkins, visibility is even further diminished. Foot traffic is not diminished, however.
- The developer is in violation of the Association documents regarding the appointment of directors. They have been notified of this "oversight" and done nothing to correct it. As a result, we who live at Westbrowne have no input into our own management, nor do we even have access to the names and phone numbers of each other, other than by going door to door.

It is our view that the City of Birmingham should recognize that this developer, L. B. Land LLC., is interested in profit at any cost - to the city or its residents - and they have been disingenuous, not willing to reasonably negotiate an alternative and had a history of poor business practices. After dealing with them for well over two years, we do not see that they are likely to change if given a chance to "build a \$4 million dollar spec house" next door. We are willing to join with my neighbors to compensate this developer fairly for their property, enhance what we have purchased and to further develop it as a "Green Space". We need to send these non-resident "Carpetbaggers" packing.

Gerald L Seizert & Margaret Overton

The image shows two handwritten signatures in cursive. The top signature is "Gerald L Seizert" and the bottom signature is "Margaret Overton". Both are written in dark ink.

Southfield / Brown
525 Southfield Road
Birmingham, Michigan 48009

Westbrowm Condominium Approved Site Plan - 02.28.2018

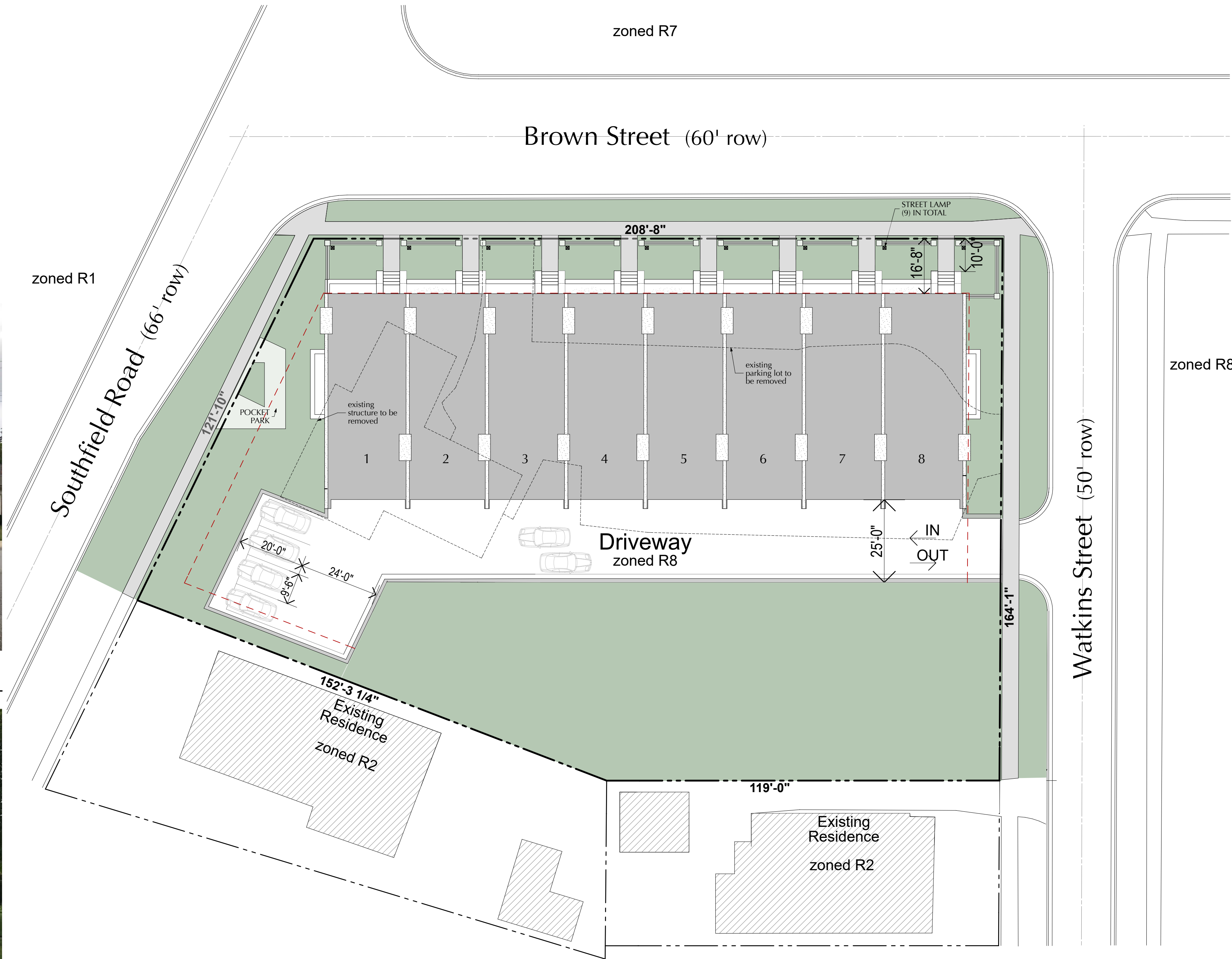
Site Data		required	proposed
1.	Site Area (existing)	36,127.02 sf	
2.	Lot Area/unit (minimum)	3,000sf/unit	
	36,127.02sf/ 3,000sf =	12 units	8 units
3.	Front Yard Setback (average within 200')	16.50'	16.67'
4.	Rear Yard Setback	20'	20'
5.	Side Yard Setback (R8 corner)	10'.0"	10.0'
6.	Building Height	30.0'	30.0'
7.	Stories	2.5	2.5
8.	Parking	2cars/unit	2cars/unit
9.	Screenwall (retaining)	6' masonry	6' masonry
10.	Private open space (Terrace)	180 sf	180 sf



Southfield looking East



Southfield looking North



Site Plan

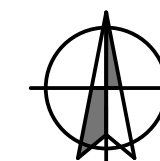
SCALE: 1" = 20'



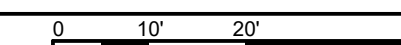
Brown looking West



Watkins looking South



CHRISTOPHER J. LONGE AIA
A R C H I T E C T U R E
I N T E R I O R S
124 Peabody, Birmingham, Michigan 48009 248.258.6940



12/06/2017

D.1

Seconded by Mr. Koseck to continue the public hearing to March 14, 2018 at 7:30 p.m.

Motion carried, 7-0.

VOICE VOTE

Yeas: Williams, Koseck, Boyle, Clein, Jeffares, Lazar, Whipple-Boyce

Nays: None

Absent: None

The public hearing closed at 7:42 p.m.

02-25-18

FINAL SITE PLAN AND DESIGN REVIEW

1. 525 Southfield Rd. (former Wellness Center)

Final Site Plan and Design Review of request to demolish existing building and replace with eight-unit attached single-family residences

Mr. Baka reported that the subject site is a 0.829 acre parcel confined by Southfield Rd. to the west, Brown St. to the north, and Watkins St. to the east in the R-8 Zoning District. The existing parcel currently contains a wellness center and parking lot. The applicant is proposing to demolish the existing building and parking lot to construct eight new attached single-family residential units that are proposed to be erected side by side in a single building facing Brown St. Each residential unit has its own stairway and individual front door that leads directly into each unit. The applicant appeared before the Planning Board on September 27, 2017 for Preliminary Site Plan Review and was approved with five conditions.

The applicant has updated the plans to reflect the request for a landscaping and photometric plan, and added four additional parking spaces, but has failed to include specification sheets for all of the screenwalls. A rooftop plan is not needed, as all mechanicals are proposed to be located within the attic of each unit. The applicant has also revised the east and west sides of the building to show more interest, adding numerous windows, some decorative features, and a base constructed of a different material.

The applicant must add one street tree to the Southfield Rd. or Watkins St. frontage, bringing the total number of street trees to twelve, or obtain a waiver from the Staff Arborist.

The Building Official has determined that the enclosed outdoor terraces on the back of each unit comply with the open space requirement of 180 sq. ft./unit mandated in Article 4, section 4.34 OS-05 of the Zoning Ordinance.

Design Review

The applicant is proposing to create eight units, each with a different façade facing Brown St. The units are comprised of varied high quality building materials with different and tasteful colors. The materials used include brick, limestone, painted wood trim, stucco, copper flashing, and painted metal features. The applicant has not submitted specifications on where the material will be sourced from, or what the exact colors will be. The applicant must submit

specifications on the materials used for the construction of the building to complete the Design Review.

The applicant is proposing a total of 52 new light fixtures at various locations on the property.

Mr. Williams received confirmation from Mr. Baka that the entire site is zoned R-8, including the parcel to the south. Permitted uses on that vacant land to the south are R-8 and R-3 single-family. Anything that happens on that portion of the property would have to return for site plan review.

Mr. Chris Longe, Architect, came forward to represent the applicant. He stated they will meet all of the ordinance requirements. As a result of discussion last time, they have added four guest parking spaces on the west/southwest side of the driveway. A brick wall with limestone cap traces the whole perimeter of the townhome development.

Mr. Boyle asked what the land to the south would look like in four years. Mr. Longe replied that what has been left vacant is a 10,000 sq. ft. site. The intent is to propose a single-family home that will be contextual with the townhomes and with the neighborhood. He explained for Mr. Boyle that it will be a staging area during construction for the townhomes. He will be back before the board in the next couple of weeks with a house design for that parcel. Until the house is constructed the site will be stabilized with grass.

Chairman Clein opened discussion from the audience at 8 p.m.

Mr. Alan Kaplan, 600 W. Brown St., was concerned the construction workers would park in their lot in Piety Hill Place. His other concern was there are only four extra spaces for this project. Therefore, visitors will also park in their lot and he feels that more excess parking is needed.

Ms. Colleen LeGoff, 543 Watkins St., wanted the green space returned after staging is completed until a house is built.

Mr. Paul Gozolo, 550 Watkins St., received confirmation there will not be accessible parking along his street because Watkins St. has residential permit parking. He questioned why the development needs to open up onto Watkins St. rather than onto Southfield Rd. Regarding the lot to the south, he asked that "single-family" be written into the agreement if it is approved. Lastly, he noted there are large, hundred year-old trees on the lot and it will not remain the same as it is now.

Mr. Baka explained the parking provided exceeds ordinance requirements by four spaces.

Mr. Longe stated that it is not feasible to enter the development off of Southfield Rd. that close to the corner. Also, entering off of Brown St. destroys the composition.

It was discussed that cars could be parallel parked along the wall that surrounds the complex when there is a need. There is 25 ft. between the garages and the wall.

Chairman Clein noted for Mr. Gozolo that the Planning Board does not have legal authority to put contract zoning in place to mandate single-family residential use for the southern lot.

Mr. Jeffares remembered that the former use on this site was a pediatric office. They probably had more people in and out in one day than this complex will have in a month.

Mr. Williams announced he would look askance at any attached single-family development going in on the south parcel.

Motion by Ms. Whipple-Boyce

Seconded by Mr. Jeffares to recommend APROVAL of the Final Site Plan and Design Review for 525 Southfield Rd. subject to the following conditions:

- 1. The applicant submit a specification sheet for the parking area screening wall for administrative approval to ensure that the screening is complementary to the building, uses proper materials, and meets the required dimensions;**
- 2. The applicant add one street tree to the Southfield Rd. or Watkins St. frontage, bringing the total number of street trees to 12, or obtain a waiver from the Staff Arborist;**
- 3. The applicant submit a revised photometric plan showing luminance levels no greater than 1.5 maintained foot candles at the northern property line;**
- 4. The applicant must submit specifications on the materials used in the construction of the building facade to complete the design review;**
- 5. The applicant must address the concerns of City Departments; and**
- 6. The Planning Board approves the use of cut-off fixtures as proposed.**

Amended by Mr. Boyle and accepted:

7. Regarding the open land to the south of the site, the land to be used for staging, that the land be restored per ordinance (until such time as the other development comes forward) with a landscape plan to be administratively approved. This condition would be maintained until, at a date yet to be determined, the owner brings a proposed development for that site.

Motion carried, 7-0.

The Chairman called for public comments on the motion at 8:12 p.m.

Mr. Gozolo showed the board a picture of one of the mature trees on the property.

Mr. Koseck thought this is a great project. It has quality design, it has variety, it anchors the corner, and he feels that it fits that street.

ROLLCALL VOTE

Yeas: Whipple-Boyce, Jeffares, Boyle, Clein, Koseck, Lazar, Williams

Nays: None

Absent: None

02-26-18

2. 34965 Woodward Ave. (former Peabody Restaurant and Frame Shop)

Request for approval of a Final Site Plan and Design to allow for construction of a new five-story mixed-use building

Chairman Clein announced he would recuse himself as in the past, since his firm provided some consultant services at the front end of the project. Vice-Chairperson Lazar took over the gavel.

VII. NEW BUSINESS**05-145-21 Public Hearing of Necessity - Grant Street Paving Project**

The Mayor opened the public hearing at 8:03 p.m.

Deputy Treasurer Todd presented the item.

The Mayor closed the public hearing at 8:05 p.m.

MOTION: Motion by Commissioner Nickita, seconded by Commissioner Sherman:
To confirm Special Assessment Roll No. 894 for Grant Street Paving Special Assessment District (see complete resolution in agenda packet).

ROLL CALL VOTE: Ayes, Commissioner Nickita
Commissioner Sherman
Mayor Boutros
Commissioner Hoff
Commissioner Baller
Mayor Pro Tem Longe
Commissioner Host

Nays, None

05-146-21 Public Hearing – 720 N. Old Woodward

The Mayor opened the public hearing at 8:07 p.m.

It was noted that the applicant requested a postponement.

MOTION: Motion by Commissioner Sherman, seconded by Commissioner Nickita:
To postpone the Special Land Use Permit, Final Site Plan and Design Review application for 720 N. Old Woodward – Vinewood Kitchen & Cocktails to the June 14, 2021 meeting.

Commissioner Hoff asked Staff to be in touch with the applicant to determine whether they would be ready by June 14, 2021 since the evening already had a lengthy agenda.

ROLL CALL VOTE: Ayes, Commissioner Sherman
Commissioner Nickita
Mayor Boutros
Commissioner Hoff
Commissioner Baller
Mayor Pro Tem Longe
Commissioner Host

Nays, None

The public hearing was not closed.

05-147-21 Public Hearing - 695 W. Brown Street – Lot Split

The Mayor opened the public hearing at 8:12 p.m.

Mayor Pro Tem Longe notified the Commission she would be recusing herself from the item because her spouse was involved in the original project from which this property was asking to be split.

City Planner Cowan presented the item.

In reply to Commissioner Sherman, Planning Director Ecker said she could provide the Commission with information about the previous development proposals regarding this lot.

Commissioner Sherman said he would rather have that information before making a decision on this item. He said he recalled there being previous disagreements between the neighbors and the developer regarding this parcel.

Christopher Brokovich, applicant, said that when he had previously proposed a development adjacent to 685 W. Brown the proposal left 685 W. Brown itself undesignated. Subsequently, he proposed to build two more townhouses on 685 W. Brown, which the neighbors were not in favor of. As a result, Mr. Brokovich chose to put 685 W. Brown on the market.

Public Comment

Guy Simons reviewed the contents of his letter to the Commission.

In reply to Mr. Simons, PD Ecker said she could provide the interpretation of the side setback that was used to build the eight units adjacent to 685 W. Brown.

Thomas Saracino indicated he was interested in purchasing the lot if it was split within R-8 and advocated for the split.

Michael Talansky, neighbor of 695 W. Brown Street, expressed concern about the lot split proposal.

Andrew Haig expressed skepticism that adequate parking could be provided on the lots in question given the City's lot coverage ordinances and the average turning radiuses of vehicles.

In reply to Mr. Haig, CP Cowan stated that even with the lot split the eight adjacent units would still meet the minimum area-per-unit required for all units in R-8.

Mr. Reagan said the Central Birmingham Residents' Association has historically not been in favor of new multi-family residences being built on Watkins.

Maria Van Hees, neighbor of 685 W. Brown, said she and her family had purchased a nearby home with an understanding that there would be a single family home built on 685 W. Brown.

Wendy Zebrowski concurred with Commissioner Sherman's recollection and agreed that previous minutes regarding this parcel should be reviewed for clarity. She stated that in general the neighbors want this parcel to be zoned for a single family home.

Mr. Bloom said that if plans could be developed that were amenable to the neighbors, he was supportive of Mr. Saracino doing the work. He attested to Mr. Saracino's integrity and other building work in Birmingham.

Commissioner Host concurred with Commissioner Sherman's request for previous records regarding this parcel. He said the neighbors' preferences should take precedence since they live there. He also said it was an issue that the final site plan approved by the Planning Board for this parcel was subsequently changed.

The Mayor closed the public hearing at 9:06 p.m.

MOTION: Motion by Commissioner Hoff, seconded by Commissioner Baller:
To direct the applicant to pursue a rezoning of the subject property to R2-Single Family Zone in order to meet the lot split requirements of the municipal code.

Commissioner Sherman commented the Commission took a similar stance regarding a proposal for the former Franklin Bank and Mountain King properties.

Commissioner Host said he concurred with the comments of Mr. Simons and Mr. Reagan.

ROLL CALL VOTE: Ayes, Commissioner Hoff
Commissioner Baller
Commissioner Host
Commissioner Sherman
Commissioner Nickita
Mayor Boutros

Nays, None

05-148-21 Public Hearing – 353 & 385 Fairfax – Lot Combination

Mayor Pro Tem Longe rejoined the meeting.

The Mayor opened the public hearing at 9:11 p.m.

City Planner Cowan presented the item.

MOTION: Motion by Commissioner Host, seconded by Commissioner Sherman:
To cancel the public hearing.

Commissioners Sherman and Nickita stated the applicant would run into issues with Item Four of the Subdivision Regulation Ordinance (Chapter 102, Section 102-83).

Commissioner Baller agreed with Commissioners Sherman and Nickita, and said he would support the motion as a result.

Commissioner Hoff said the variance request would likely meet the definition of self-creation and prevent the owner from obtaining a variance. She said the petitioner would likely have more luck amending their proposal to meet the lot combination requirements.



MEMORANDUM

Planning Division

DATE: April 22nd, 2022

TO: Planning Board Members

FROM: Brooks Cowan, Senior Planner

APPROVED: Nicholas Dupuis, Planning Director

SUBJECT: 588 S. Old Woodward - Phoenicia – Special Land Use Permit Amendment, Final Site Plan & Design Review

The subject site, 588 S. Old Woodward - Phoenicia, is currently a single story restaurant with a Class C Retail – On Premises liquor license. Phoenicia has operated as a restaurant in Birmingham since 1982. Restaurants operating with a Class C license do not have a cap on the amount of indoor or outdoor seating.

The applicant has submitted a Special Land Use Amendment and Final Site Plan and Design Review application proposing a 1,381 square foot addition to the rear of the building to accommodate additional kitchen area and private dining. A new outdoor dining plan is also proposed to accommodate the new sidewalk of the S. Old Woodward Phase 3 construction, as well as some minor changes to the on-site parking lot.

1.0 Land Use and Zoning

1. Existing Land Use – Single story Food & Drink establishment.
2. Zoning – B2-B (General Business) and D2 (Downtown Overlay)
3. Summary of Adjacent Land Use and Zoning –

	North	South	East	West
Existing Land Use	Commercial	Commercial	Commercial	Residential
Existing Zoning District	B2-B (General - Business)	B2-B (General - Business)	B3 (Office - Residential)	R3 (Single Family Residential)
Overlay Zoning District	D2	D2	D5	N/A

2.0 Setback and Height Requirements

there are currently no issues with bulk, height or placement with the Special Land Use Permit, Final Site Plan/Design Review application submitted.

3.0 Screening and Landscaping

1. Dumpster Screening – New dumpster screening is proposed at the southwest corner of the property. The existing dumpster is a 5 yard dumpster that is 7 feet in height which is proposed to be screened by a 7 foot masonry screenwall that will match the existing building, with painted metal posts and painted vertical wood boards for the gates, satisfying requirements of Article 4, Section 4.54(B)(8).
2. Parking Lot Screening – The parking lot is proposed to be screened from S. Old Woodward with 36 inch high Taxus Moon or Hatfield landscaping spaced 18 inches on center. This is a change from the current masonry screenwall. Article 4, Section 4.54(C)(3)(d) of the Zoning Ordinance enables the Planning Board to approve the use of evergreen screening in place of a masonry wall. **The Planning Division recommends the Planning Board approve of the proposed evergreen screening.**
The existing 6 foot masonry screenwall on the west side of the property will continue to screen the parking lot from the residential zone, satisfying parking lot screening requirements for parking lots adjacent to residential zones of Article 4, Section 4.54(B)(7).
3. Mechanical Equipment Screening – A new ground transformer is proposed in the southwest corner of the property which is screened by the building and the 6 foot rear screenwall. New rooftop mechanical units are proposed which are 10 feet from the southern edge of the roof and have a maximum height of 5.5 feet. Rooftop mechanical units will be screened by 8 feet tall painted metal panels to match the grey stone building color.
4. Landscaping – The applicant has indicated additional landscaping surrounding the building and parking area. As previously mentioned, 36 inch high Taxus Moon or Hatfields will be used to screen three rows of parking from S. Old Woodward. Each row of screening landscaping along S. Old Woodward will be accompanied With a Frontier Hybrid Elm canopy tree 3 to 3.5 inches in caliper.
The building will retain the northern elevation's existing hydrangea vines on the wall trellises. The site plan also indicates expanded landscaping along the north elevation buffering the parking from the building with 120 vinca groundcover

that are 18 inches off center. A new greenspace is proposed in the northwest corner of the property with 6 Limelight Hydrangea, 9 magic carpet spirea, and a Green Vase Zelkova canopy tree 3 inches in caliper.

The proposed landscaping species are not on Birmingham's prohibited species list. Also, Article 4, Section 4.20(C)(1) *Exceptions* excludes properties in the Downtown Overlay District from having to meet the parking lot landscaping requirements of Section 4.20(E) and 4.20(F), therefore the applicant is not required to provide 5% total parking lot landscaping.

5. Streetscape – The applicant is not proposing changes to the streetscape at this time. The S. Old Woodward Phase 3 project provides a number of amenities in front of the subject space including 2 street lights, 5 planter boxes and 7 new trees. 3 new bike racks will be installed in the right-of-way at the northeast corner of the property.

4.0 Parking, Loading and Circulation

1. Parking – The applicant is proposing an additional 1,381 square feet for a total of 4,049 square feet. Food and drink uses in the B2-B zone require 1 parking space for every 75 square foot, **therefore the subject site requires 54 parking spaces.**

Phoenicia is proposing 34 parking spaces on-site, therefore requiring an additional 20 parking spaces. Article 4.45(G)(3) *Methods of Providing Parking Facilities* enables the parking requirement to be met "by the collective provisions of the required off-street parking for 2 or more buildings or uses, provided that the total of such off-street parking areas shall not be less than the sum of the requirements of the various buildings or uses computed separately, and the location of such area meets the requirements of subsection (2) of this section, except as provided in Section 4.45(G)(4)..."

The applicant has indicated a parking lease agreement with the 555 Building for an additional 20 parking spaces to satisfy the parking requirement. City staff have verified that the 555 building has an excess of 20 parking spaces to share which is provided in a parking analysis below. Parking lease agreements are not required to be recorded on the land titles for all affected properties if there is an excess of required parking spaces to be shared.

The applicant has also demonstrated that the property is within 100 feet of the property in which the parking lease agreement has been entered into upon, satisfying proximity requirements of Article 4, Section 4.45(G)(2) of the Zoning

Ordinance. A breakdown of 555 S. Old Woodward's parking requirement, which is zoned B3 Office-Residential, and the excess of 20 parking spaces for the building is included below.

Article 4, Section 4.50(D) *Office, Residential and Restaurant Parking* enables reductions from residential and restaurant requirements for properties in the B3 Office-Residential zone stating, "Where there is combined within a single building, an office use, a residential use, and a commercial restaurant, up to 40% of the parking supplied to meet the requirement for office use may also be used to meet the requirements for residential use and up to 30% of the remaining parking requirement for office use may be used to meet the requirement for the commercial restaurant."

The residential and restaurant reduction values enabled by Article 4, Section 4.50(D) for the 555 building were calculated as follows:

Office and Residential Parking (40% Reduction)

Office Parking	128
<u>Reduction</u>	<u>40%</u>
Total	51* (residential reduction used in final calculations)

Office and Restaurant Parking (30% Reduction)

Remaining Office	77 (128 – 51*)
<u>Reduction</u>	<u>30%</u>
Total	23** (restaurant reduction used in final calculations)

The residential and restaurant reduction values for a mixed use building were incorporated into the total parking calculations for the 555 building below:

Residential

Unit Type	Units	space / unit	Spaces Required
Studio	11	1	11
One-Bedroom	33	1	33
<u>Two-Bedroom</u>	<u>54</u>	<u>1.25</u>	<u>67.5</u>
Total	98		111.5 (112)
Total after shared office parking reduction (112-51*)			61

<i>Office</i>	SF	Space / SF	Spaces Required
	38,250 SF	300	128

Commercial

Use	SF / Chairs	Parking Req.	Spaces Required
Retail	21,191 SF	1/300 SF	71
Salons	24 Chairs	2/ chair	48
Fitness	6,392 SF	1/550 SF	12

Total **131**

<i>Restaurant</i>	SF	Space / SF	Spaces Required
	4,400 SF	1 per 75 SF	59

Total after shared office parking reduction (59-23**) **36**

555 S. Old Woodward Parking Summary

Total Parking Required 356 Spaces

Total Parking Provided 376 Spaces

Excess Parking Available 20 Spaces

A parking analysis of all uses in the 555 building incorporated with the parking reduction due to mixed uses has indicated the site requires 356 parking spaces. City staff have walked the 555 building's parking structure and counted 357 parking spaces on-site on two different occasions within the past 12 months while verifying the property's parking provisions.

555 S. Old Woodward also gained approval from City Commission on February 11th, 2013 to count 36 on-street parking spaces towards their total requirement, which currently totals 393 spaces. The S. Old Woodward Phase 3 project reduces the on-street spaces in front of the 555 building to 19 parking spaces which is the value staff have included in the building's total provision of parking calculation.

City staff conducted site visits to the 555 parking structure on Wednesday evening, April 20th, 2022 and again on Thursday afternoon, April 21st, 2022. Staff counted a total of 101 parked cars in the 555 structure on Wednesday evening between 5:45 pm to 6:30 pm (28% usage). 120 parked cars were counted Thursday afternoon between 12:40 pm to 1:00 pm (34% usage). The parking counts indicated 256 and 237 available parking spaces at these times. Staff intends to conduct a third parking count during evening dinner hours the weekend of April 21st-22nd, 2022 and will provide count numbers during the Planning Board meeting Wednesday April 27th, 2022.

The 555 S. Old Woodward building has 98 residential units and over 30 commercial tenant spaces with a broad range of uses. The 555 building provides 357 parking spaces in its structure at the moment, nearly identical to the total

amount of on-site parking required per the Zoning Ordinance total of all uses (356 spaces).

Considering the excess of 20 total parking spaces at the 555 building, the peak parking demands for Phoenicia, and the amount of available parking spaces in the 555 building's parking structure given recent counts (256-237 spaces), the Planning Division recommends the Planning Board and City Commission approve the parking lease agreement between Phoenicia and the 555 building. The applicant must provide the City with a signed shared parking agreement for 20 parking spaces, or obtain a parking variance from the Board of Zoning Appeals.

2. Loading – The subject building is less than 5,000 square feet and therefore is not required to provide an on-site loading space that is 40' x 12' x 14'.
3. Vehicular Circulation and Access – Vehicular circulation and access involves a one-way access drive through the parking lot. The proposed ingress and egress access points are proposed to be 10 feet wide and align with the S. Old Woodward Phase 3 plans where thickened concrete will be provided where vehicles must drive across.
4. Pedestrian Circulation and Access – A new door is proposed facing north with an extended walkway connecting the parking lot to the proposed private dining area. The main access will remain facing east towards the new sidewalk on S. Old Woodward.

5.0 Lighting

The photometric plan indicates 5 Bega LED wall sconce luminaires - four located along the northern elevation and one on the south elevation near the rear door. The wall sconces will be installed at a height of 12 feet and appear to be full cut-off lights. The site plan indicates 5 lights on the north elevation wall which is one more than on the photometric plan – the applicant will be required to update the photometric plan with all proposed lights.

One pole mounted, full-cut off luminaire at 13 feet in height in the NW corner of the property is proposed to illuminate the parking lot. The new entrance facing north will also have a new recessed, 6" open wall wash LED light to illuminate the entrance.

The photometric plan indicates a circulation area of foot candles ranging from 0.1 to 9.5. Article 4.21(F)(2) & 4.21(F)(3) of the Zoning Ordinance requires circulation areas to have a minimum foot candle level of 0.2 and may not exceed a maximum-to-minimum

ratio of 20:1. The current ratio is 95:1, therefore the applicant must update their photometric plan to satisfy the foot candle requirements for parking lot circulation areas.

The foot candle levels along the property line abutting the single family zone to the west range from 0.1 to 0.5 which is below the 0.6 maximum, therefore satisfying the Zoning Ordinance requirement for illuminance levels.

The applicant must submit an updated photometric plan with minimum foot candle levels of 0.2 and a minimum to maximum ratio of 20:1 foot candles for the parking lot circulation area or obtain a variance from the Board of Zoning Appeals.

6.0 Departmental Reports

1. Engineering Division – 5 foot clear sidewalk path must be maintained on sidewalk between the building and outdoor patio.
2. Department of Public Services – Comments will be provided to the Planning Board by April 27th, 2022.
3. Fire Department – See attachment for Fire Department Comments.
4. Police Department – The Police Department has no concerns at this time.
5. Building Division – The Building Department has no concerns at this time. See attachment for general comments from the Building Department.
6. Parking Manager – The Parking Manager has no concerns at this time.

7.0 Design Review

The applicant is not proposing any changes to the front of the building facing S. Old Woodward, the windows, planters. And current detailing will remain. All structural changes are proposed in the rear of the building. The existing indoor seating arrangement is proposed to have new seating along the southern portion of the restaurant and have a total of 82 table seats and 9 bar seats. 14 additional seats are proposed in the new expansion with a linear skylight above the table. The private dining area is proposed to be 494 square feet. Two additional indoor bathrooms, kitchen space, and an employee locker room are proposed to modernize the back of house work area. The rear expansion appears to clean up what is now an unorganized and aesthetically unappealing rear storage area with unscreened dumpsters and a wooden shack in close proximity to a residential area.

The northern elevation facing the parking lot will maintain the existing trellises with ivy and add a new door that connects to the private dining area. The new door is emphasized with a grey Mankato stone surrounding. A new window is proposed for the new addition of the private dining area which has a stone header.

The south elevation and west elevation are proposed to continue to be all brick and will be painted to match the existing brick color. A rear door will provide access from the kitchen to dumpster in the back.

Article 4, Section 4.90(B) Window Standards requires building elevations on the ground floor that do not face a frontage line but contain a public entrance to be no less than 30% clear glazing between 1 and 8 feet above grade. The northern elevation is proposed to have a public entrance but very minimal glazing and does not appear to satisfy the window standard requirements. As mentioned previously, the northern elevation is proposed to maintain the existing hydrangea vines on the trellises for the majority of the elevation. Article 4, Section 4.90(E) enables flexibility in glazing requirements and allows the glazing standards to be modified by a majority vote of the Planning Board if the following conditions are met:

- a. The subject property must be in a zoning district that allows mixed uses;
- b. The scale, color, design and quality of materials must be consistent with the building and site on which it is located;
- c. The proposed development must not adversely affect other uses and buildings in the neighborhood;
- d. Glazing above the first story shall not exceed a maximum of 70% of the façade area;
- e. Windows shall be vertical in proportion.

The Planning Division finds that the proposed site plan satisfies the requirements of Article 4, Section 4.90(E)(a) through 4.90(E)(e) and recommends that the Planning Board vote to allow Phoenicia's northern elevation with a public entrance to have less than 30% clear glazing between 1 and 8 feet.

Outdoor Dining

The applicant is proposing a 36-seat outdoor dining patio directly in front of the tenant space. The design incorporates approved streetscape plans for the S. Old Woodward Phase 3 update with an extended sidewalk. Phoenicia's outdoor dining deck will no longer be in the street on top of parking spaces across from an intersection. The dining area will be buffered from the street by a city planter box with three street trees.

The patio is proposed to exist entirely on public property, therefore the applicant will be expected to apply for an Outdoor Dining Permit annually and enter into a lease agreement with the City for the use of public property as a part of that permit.

To define the space, the applicant is proposing a 42 in. black aluminum perimeter railing with circular detailing around all sides with an opening on the west side. Four grey aluminum planter boxes are proposed also proposed along the sidewalk on the west side of the outdoor seating space to delineate the area. The specifications for the tables and chairs indicate metal and wood as per the ordinance requirements. Two Tucci umbrellas are also proposed above the center tables. One trash receptacle within the outdoor dining area is proposed.

The applicant has also provided dimensions indicating that a 5 ft. clear path will be maintained between the planters along the building frontage and the outdoor dining area which includes the planter boxes.

Signage

No new signs are proposed, the applicant will maintain the existing sign next to the front entrance reading "588 Phoenicia".

8.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Floor Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Colored Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Site & Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.

- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

In addition, Article 7, Section 7.26 requires applications for a Special Land Use Permit to meet the following criteria:

- (1) The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.
- (2) The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.
- (3) The use is consistent with the public health, safety and welfare of the city.
- (4) The use is in compliance with all other requirements of this Zoning Ordinance.
- (5) The use will not be injurious to the surrounding neighborhood.
- (6) The use is in compliance with state and federal statutes.

10.0 Recommendation

Based on a review of the site plan submitted, the Planning Division recommends that the Planning Board recommend **APPROVAL** to the City Commission the Special Land Use and Final Site Plan/Design Review application for 588 S. Old Woodward – Phoenicia – with the following conditions:

1. The applicant submit a signed parking lease agreement for 20 parking spaces or obtain a variance for required parking spaces from the Board of Zoning Appeals;
2. The applicant submit an updated photometric plan that satisfies the foot candle level requirements for parking lot circulation areas;
3. The Planning Board allow evergreen parking lot screening in place of a masonry screen wall;

4. The Planning Board allow the glazing standards for the northern elevation with a public entrance to be modified; and
5. The applicant comply with the requests of all City Departments.

11.0 Sample Motion Language (*Special Land Use Permit*)

Motion to recommend **APPROVAL** to the City Commission the Special Land Use Permit for 588 S. Old Woodward – Phoenicia – subject to the conditions of Final Site Plan & Design Review approval.

1. The applicant submit a signed parking lease agreement for 20 parking spaces or obtain a variance for required parking spaces from the Board of Zoning Appeals;
2. The applicant submit an updated photometric plan that satisfies the foot candle level requirements for parking lot circulation areas;
3. The Planning Board allow evergreen parking lot screening in place of a masonry screen wall;
4. The Planning Board allow the glazing standards for the northern elevation with a public entrance to be modified; and
5. The applicant comply with the requests of all City Departments.

OR

Motion to **POSTPONE** the Special Land Use Permit for 588 S. Old Woodward – Phoenicia – pending receipt of the following:

1. _____
2. _____
3. _____

OR

Motion to recommend **DENIAL** to the City Commission the Special Land Use Permit for 588 S. Old Woodward – Phoenicia – for the following reasons:

1. _____
2. _____
3. _____

12.0 Sample Motion Language (*Final Site Plan & Design Review*)

Motion to recommend **APPROVAL** to the City Commission the Final Site Plan & Design Review for 588 S. Old Woodward – Phoenicia – with the following conditions:

1. The applicant submit a signed parking lease agreement for 20 parking spaces or obtain a variance for required parking spaces from the Board of Zoning Appeals;
2. The applicant submit an updated photometric plan that satisfies the foot candle level requirements for parking lot circulation areas;
3. The Planning Board allow evergreen parking lot screening in place of a masonry screen wall;
4. The Planning Board allow the glazing standards for the northern elevation with a public entrance to be modified; and
5. The applicant comply with the requests of all City Departments.

OR

Motion to **POSTPONE** the Final Site Plan & Design Review for 588 S. Old Woodward – Phoenicia – pending receipt of the following:

1. The applicant submit a signed parking lease agreement for 20 parking spaces or obtain a variance for required parking spaces from the Board of Zoning Appeals;
2. The applicant submit an updated photometric plan that satisfies the foot candle level requirements for parking lot circulation areas;
3. The Planning Board allow evergreen parking lot screening in place of a masonry screen wall;
4. The Planning Board allow the glazing standards for the northern elevation with a public entrance to be modified; and
5. The applicant comply with the requests of all City Departments.

OR

Motion to recommend the **DENIAL** to the City Commission the Final Site Plan & Design Review for 588 S. Old Woodward – Phoenicia – for the following reasons:

1. _____
2. _____
3. _____

**Zoning Compliance Summary Sheet
SLUP & Final Site Plan Review
588 S. Old Woodward**

Existing Site: 1 story commercial/food & drink establishment

Zoning: B2-B General Business and D2 Overlay

Land Use: Alcoholic Beverage Sales

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Commercial	Commercial	Commercial	Residential
Existing Zoning District	B2-B (General - Business)	B2-B (General - Business)	B3 (Office - Residential)	R3 (Single Family Residential)
Overlay Zoning District	D2	D2	D5	N/A

Land Area: Existing: 0.395 acres / 17,206 square feet
Proposed: 0.395 acres / 17,206 square feet

Dwelling Units: Existing: N/A
Proposed: N/A

Minimum Lot Area/Unit: Required: N/A
Proposed: N/A

Min. Floor Area /Unit: Required: N/A
Proposed: N/A

Max. Total Floor Area: Required: N/A
Proposed: N/A

Min. Open Space: Required: N/A

	Proposed:	N/A
Max. Lot Coverage:	Required:	N/A
	Proposed:	N/A
Front Setback:	Required:	Front façade on frontage line
	Proposed:	Front façade on frontage line
Min. Side Setbacks	Required:	Min 0 ft. for commercial, office or parking stories
	Proposed:	0 ft. to south 97.8 to north
Rear Setback:	Required:	Equal to existing adjacent, pre-existing building
	Proposed:	22'11"
Min. Front+Rear Setback	Required:	N/A
	Proposed:	N/A
Max. Bldg. Height:	Permitted:	2 stories
	Proposed:	14', 1 story
Min. Bldg. Height	Required:	N/A
	Proposed:	N/A
Min. Eave Height:	Required:	N/A
	Proposed:	N/A
Floor-Floor Height:	Required:	N/A
	Proposed:	N/A
Front Entry:	Required:	Principle entrance on frontage line
	Proposed:	Main entrance facing S. Old Woodward
Absence of Bldg. Façade:	Required:	N/A
	Proposed:	N/A
Opening Width:	Required:	N/A
	Proposed:	N/A
Parking:	Required:	54
	Proposed:	34 on-site <u>20 via lease agreement</u> 54 Total
Min. Parking Space Size:	Required:	180 sq. ft.

	Proposed:	180 sq. ft.
Parking Lot Frontage:	Required:	N/A
	Proposed:	N/A
Loading Area:	Required:	1 off-street loading spaces 40 ft. x 12 ft. x 14 ft.
	Proposed:	Loading space in the rear of building. Alley is also 20 feet wide – therefore acceptable
Screening:		
	<u>Parking:</u> Required:	2.5 to 3.5 feet of masonry or evergreen
	Proposed:	36 inch evergreen
	<u>Loading:</u> Required:	0 (less than 5,000 SF)
	Proposed:	0
<u>Rooftop Mechanical:</u>	Required:	Screened from view
	Proposed:	8' painted metal panel
<u>Elect. Transformer:</u>	Required:	Screened from public view
	Proposed:	Located in rear of building
	<u>Dumpster:</u> Required:	Masonry screen wall with wood gates
	Proposed:	7' masonry screen wall with wood gates

CITY OF BIRMINGHAM
Community Development – Building Department
151 Martin Street, Birmingham, MI 48009

April 19, 2022

RE: Final Site Plan Review Comments
588 S. Old Woodward, Phoenicia

As requested, the Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:

Applicable Building Codes:

- **2015 Michigan Building Code.** Applies to all buildings other than those regulated by the *Michigan Residential Code*.
- **2015 Michigan Mechanical Code.** (Residential requirements for mechanical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- **2018 Michigan Plumbing Code.** (Residential requirements for plumbing construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- **2017 National Electrical Code along with the Michigan Part 8 Rules.** (Residential requirements for electrical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)

Review Comments:

1. No building code concerns at this time.



CITY OF BIRMINGHAM FIRE DEPARTMENT

572 SOUTH ADAMS • BIRMINGHAM, MICHIGAN 48009 • 248.530.1900 FAX 248.530.1950

April 20, 2022

RE: Final Site Plan Review Comments

588 S. Old Woodward, Phoenicia

The Fire Department has examined the submitted plans for the proposed project for 588 S. Old Woodward, Phoenicia.

Applicable Fire Codes:

- **2015 International Fire Code**
- **All applicable NFPA documents, guides and standards referenced in the 2015 International Fire Code.**
- **Local Ordinance**

Review Comments:

1. Installation requirement of Knox **Emergency Power Shutdown Device per local ordinance Sec. 54-32.** Consult Fire Marshal for location of installation. Addition is more than 25%.
2. Knox key box installation.
3. Follow all applicable fire codes regarding fire suppression and fire alarm requirements for assemblies.
4. Occupant load determination made by Assistant Building Official and Fire Marshal.
5. Size of building, occupant load and usage type shall determine fire suppression requirements. Follow all applicable adopted codes.

Jack D. Pesha

Fire Marshal

Birmingham Fire Department



Phoenicia Expansion - Parking Calculations:		
Parking Required:		
Existing Restaurant		35.57
2,668 SF / 75 = 35.57		
Proposed Addition		18.41
1,381 SF / 75 = 18.41		
Total Parking Required:		54
Parking Provided:		
Surface		34
Excess Parking Agreement		20
Total Parking Provided:		54

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707
F. 248.258.5515

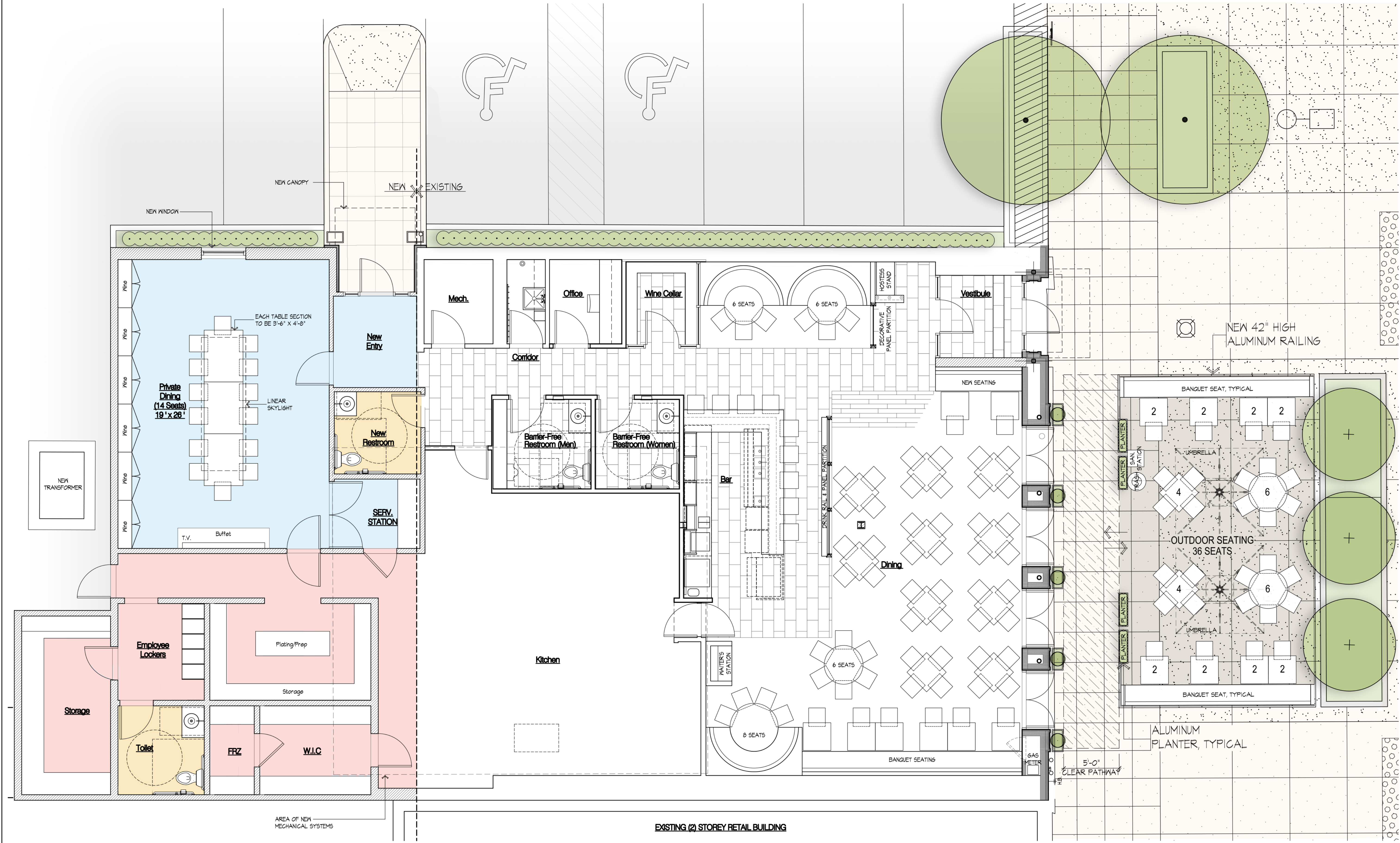
SarokiArchitecture.com

Project:
Phoenicia Expansion
588 South Old Woodward
Birmingham, Michigan 48009

Date: 3-29-22 **Issued For:** Site Plan Approval

Sheet No.:
A050
SITE PLAN

A
B
C
D
E
F
G
H



SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Phoenicia Expansion
588 South Old Woodward
Birmingham, Michigan 48009

Date: 3-29-22
Issued For: Site Plan Approval

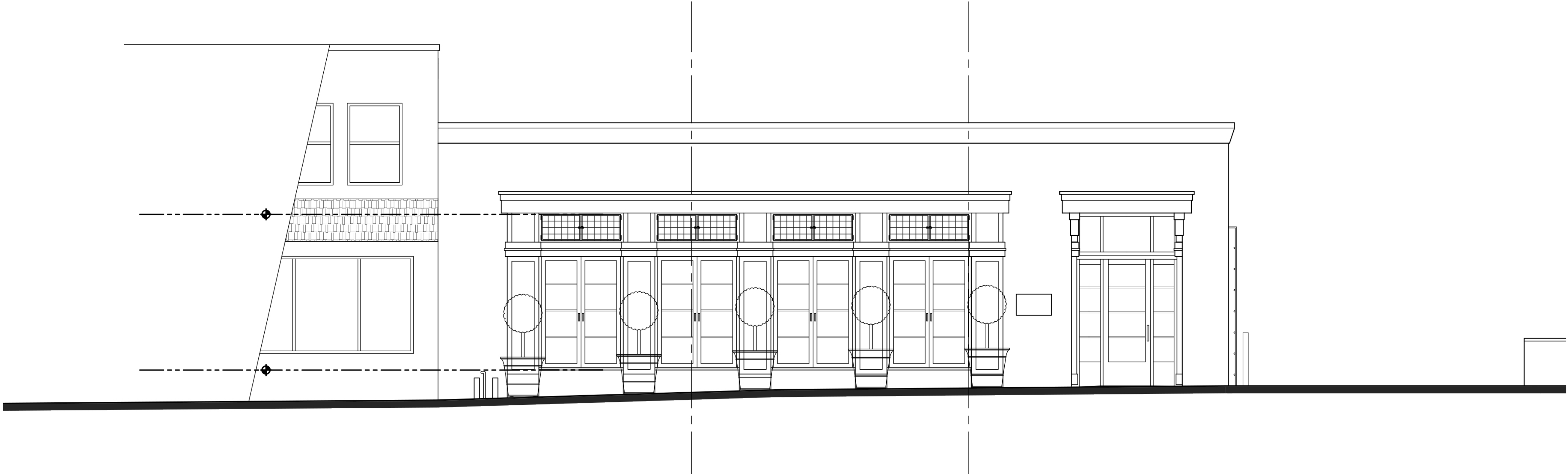
Sheet No.:
A110
FIRST LEVEL
FLOOR PLAN

H8
A110
First Level Floor Plan
SCALE: 1/4" = 1'-0"



1 2 3 4 5 6 7 8 9 10

A
B
C
D
E
F
G
H



D8
A240
Existing Front Elevation
SCALE: 1/4" = 1'-0"



H8
A240
Proposed Front Elevation
SCALE: 1/4" = 1'-0"

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Phoenicia Expansion
588 South Old Woodward
Birmingham, Michigan 48009

Date: 3-29-22 **Issued For:** Site Plan Approval

Sheet No.:
A210
FRONT ELEVATION

A

B

C

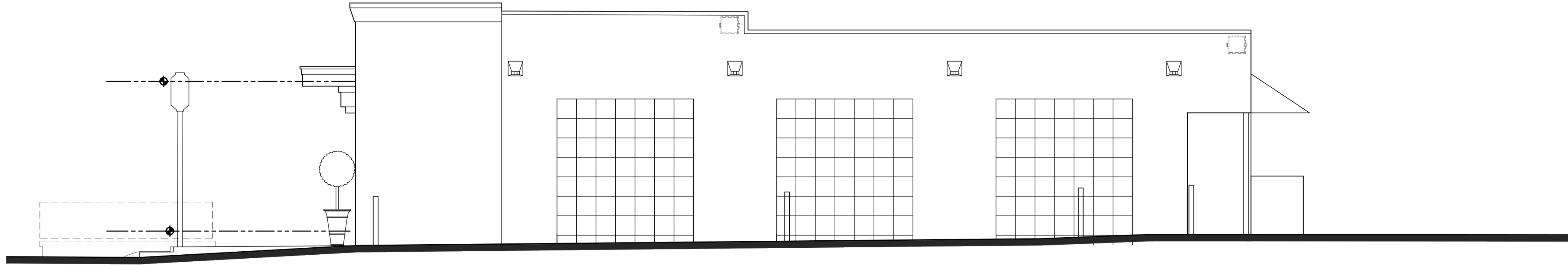
D

E

F

G

H



D8
A220 Existing Side Elevation
SCALE: 1/4" = 1'-0"



H8
A220 Proposed Side Elevation
SCALE: 3/16" = 1'-0"

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707

F. 248.258.5515

SarokiArchitecture.com

Project:
Phoenicia Expansion
588 South Old Woodward
Birmingham, Michigan 48009

Date: 3-29-22 **Issued For:** Site Plan Approval

Sheet No.:
A220
SIDE ELEVATION

B

C

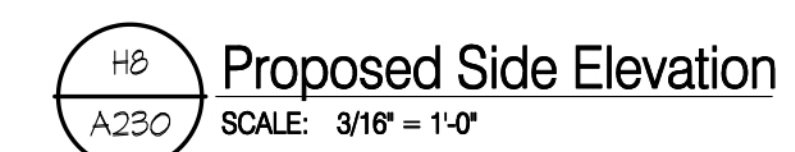
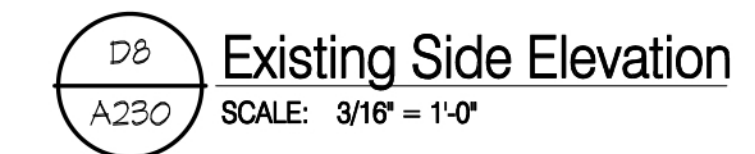
D

E

F

G

H



Sheet No.:
A230
SIDE ELEVATION

A

B

C

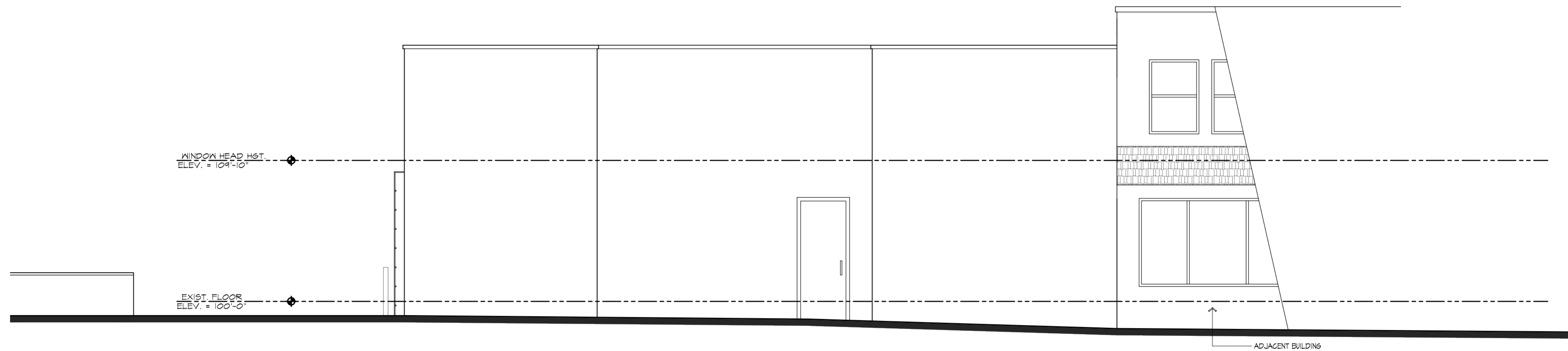
D

E

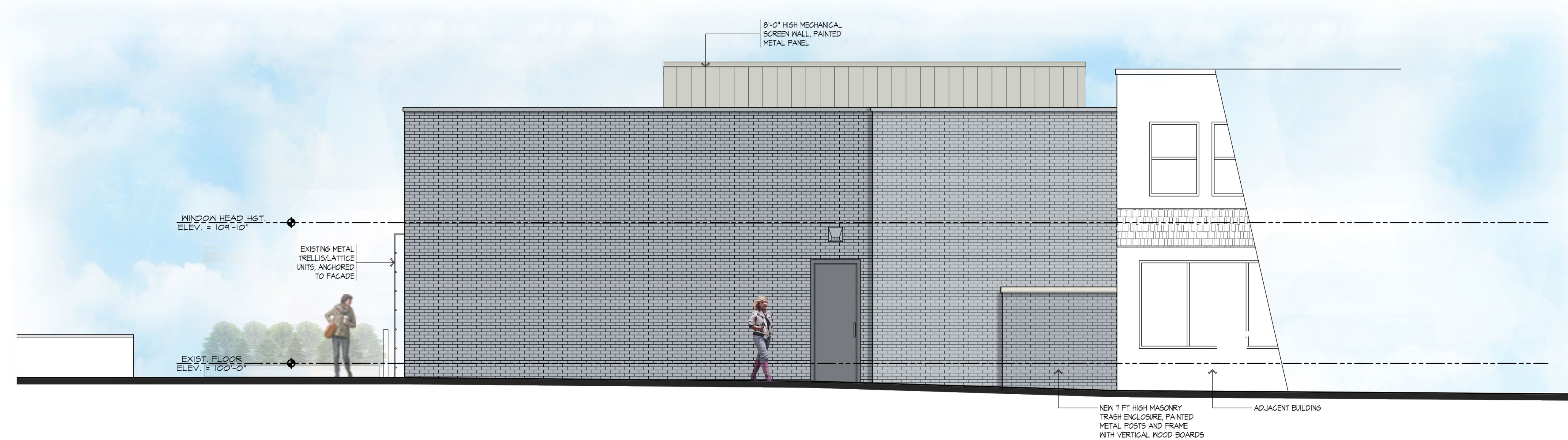
F

G

H



DB
A240 Existing Rear Elevation
SCALE: 1/4" = 1'-0"



HB
A240 Proposed Rear Elevation
SCALE: 1/4" = 1'-0"

SAROKI
ARCHITECTURE

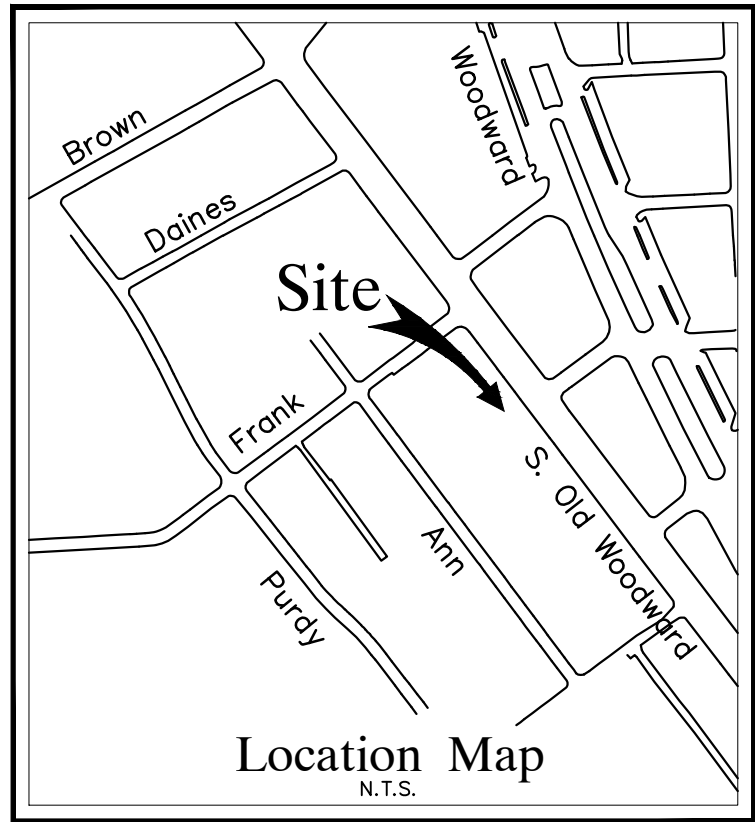
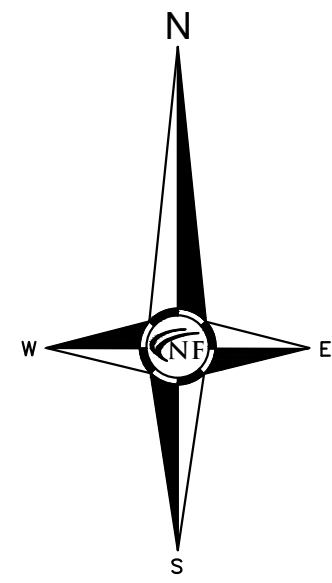
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Project:
Phoenicia Expansion
588 South Old Woodward
Birmingham, Michigan 48009

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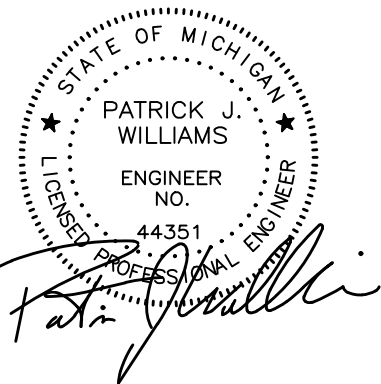
Sheet No.:
A240
REAR ELEVATION



NF
ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL



PROJECT
Phoenicia Restaurant
588 S. Old Woodward
Birmingham, MI

CLIENT
Phoenicia
588 S. Old Woodward
Birmingham, MI 48009

Contact: Samy Eid
Ph: (248) 644-3122

PROJECT LOCATION
Part of Section 36
T. 2 North, R. 10 East
City of Birmingham,
Oakland County, Michigan

SHEET
Boundary / Topographic
Survey



REVISIONS
03-29-2022 SITE PLAN APPROVAL

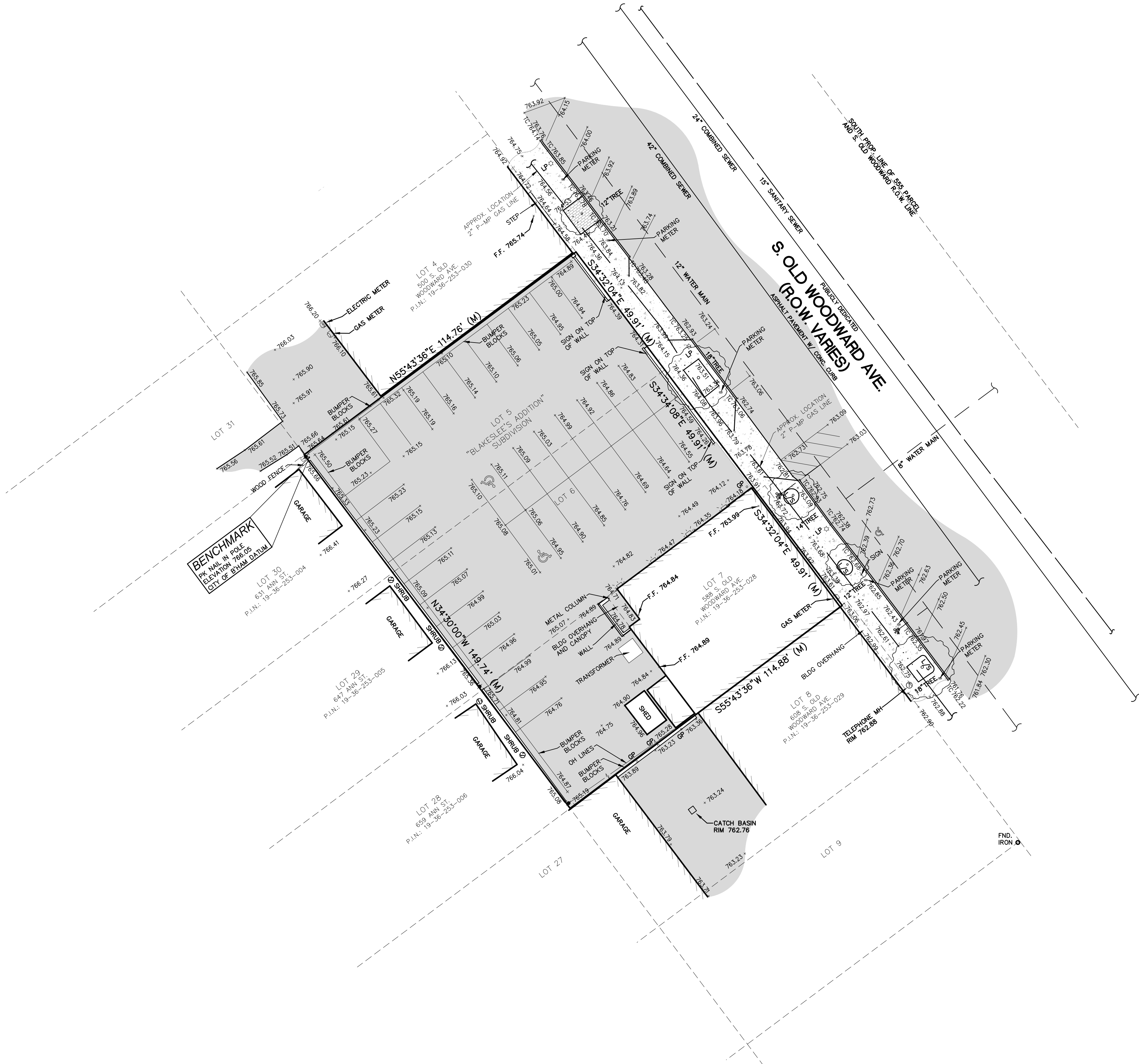
DRAWN BY:
A. Eizember
DESIGNED BY:

APPROVED BY:
P. Williams

DATE:
March 29, 2022

SCALE: 1" = 20'
20 10 0 10 20 30

NFE JOB NO. SHEET NO.
1264-01 SP-1



LEGAL DESCRIPTION

LAND SITUATED IN SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: LOTS 5, 6, AND 7 OF "BLAKESLEE'S ADDITION", EXCEPT THAT PART TAKEN FOR THE HIGHWAY.

P.L.N.: 19-36-253-028

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A080360432, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON FEBRUARY 15, 2018. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 28125C0537F BEARING AN EFFECTIVE DATE OF SEPTEMBER 29, 2006.

TOPOGRAPHIC SURVEY NOTES

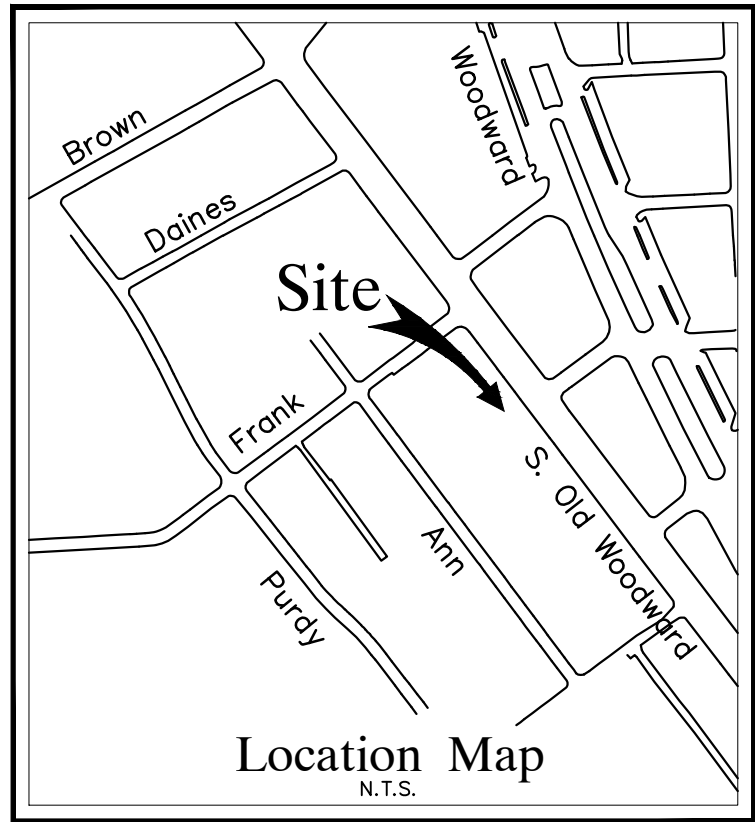
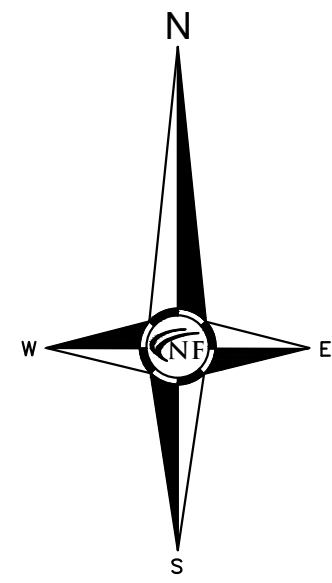
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND

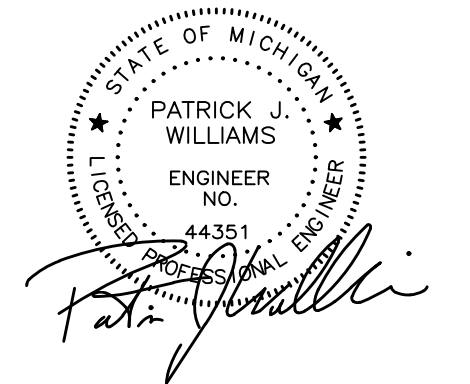
MANHOLE	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
GATE VALVE	EXISTING WATER MAIN
CATCH BASIN	EXISTING STORM SEWER
EX. R.Y. CATCH BASIN	EXISTING BURIED CABLES
UTILITY POLE	OVERHEAD LINES
GUY WIRE	LIGHT POLE
SIGN	EXISTING GAS MAIN



NF
ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

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SEAL



PROJECT
Phoenicia Restaurant
588 S. Old Woodward
Birmingham, MI

CLIENT
Phoenicia
588 S. Old Woodward
Birmingham, MI 48009

Contact: Samy Eid
Ph: (248) 644-3122

PROJECT LOCATION
Part of Section 36
T. 2 North, R. 10 East
City of Birmingham,
Oakland County, Michigan

SHEET
Dimensional Site Plan



REVISIONS
03-29-2022 SITE PLAN APPROVAL

DRAWN BY:
A. Eizember

DESIGNED BY:
A. Eizember

APPROVED BY:
P. Williams

DATE:
March 29, 2022

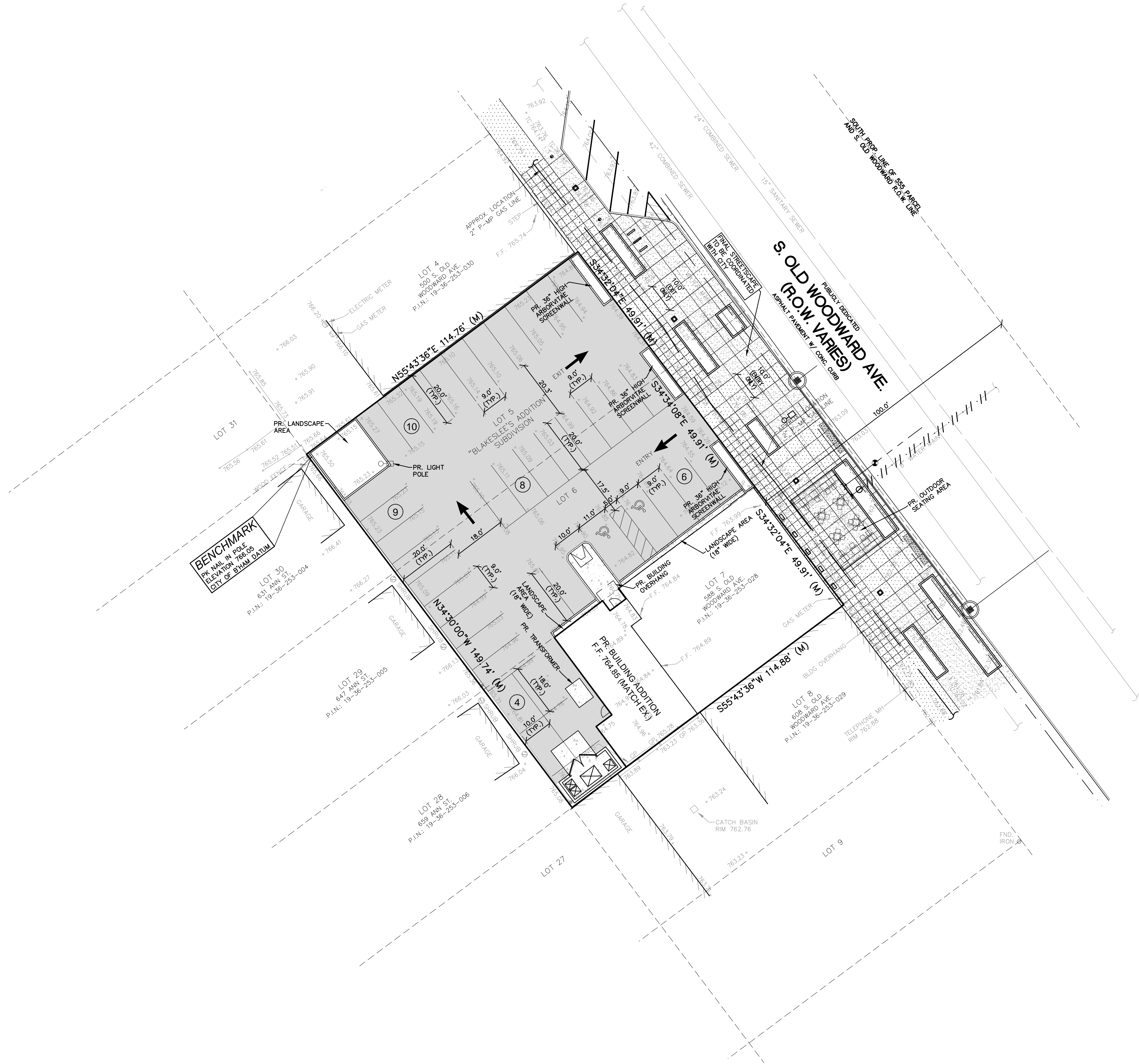
SCALE: 1" = 20'

NFE JOB NO.

1264-01

SHEET NO.

SP-2

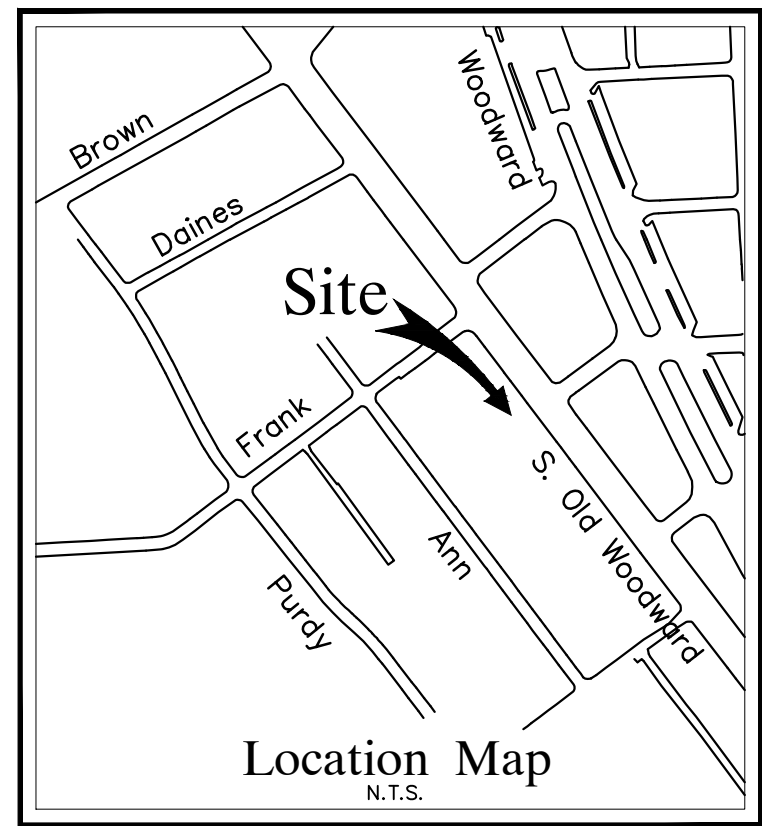
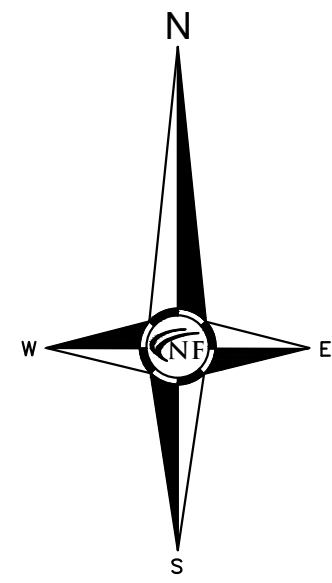


PAVING LEGEND

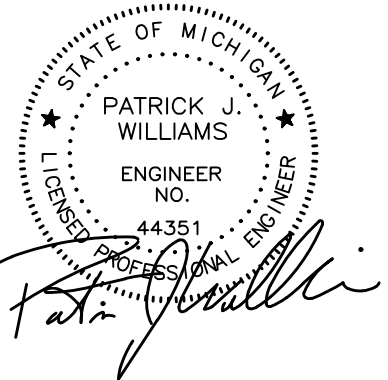
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	GATE VALVE		EXISTING WATERMAIN
	MANHOLE CATCH BASIN		EXISTING STORM SEWER
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GUY POLE		EXISTING BURIED CABLES
	GUY WIRE		OVERHEAD LINES
	LIGHT POLE		SIGN
	EXISTING GAS MAIN		PR. SANITARY SEWER
	C.O. MANHOLE		PR. WATER MAIN
	HYDRANT GATE VALVE		PR. STORM SEWER
	INLET C.B. MANHOLE		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		PR. TOP OF CURB ELEVATION
	GU 600.00		PR. GUTTER ELEVATION
	TW 600.00		PR. TOP OF WALK ELEVATION
	TP 600.00		PR. TOP OF P.V.M.T. ELEVATION
	FG 600.00		FINISH GRADE ELEVATION



SEAL



PROJECT
Phoenicia Restaurant
588 S. Old Woodward
Birmingham, MI

CLIENT
Phoenicia
588 S. Old Woodward
Birmingham, MI 48009

Contact: Samy Eid
Ph: (248) 644-3122

PROJECT LOCATION
Part of Section 36
T. 2 North, R. 10 East
City of Birmingham,
Oakland County, Michigan

SHEET
Engineering Site Plan



REVISIONS
03-29-2022 SITE PLAN APPROVAL

REVISIONS
03-29-2022 SITE PLAN APPROVAL

REVISIONS
03-29-2022 SITE PLAN APPROVAL

DRAWN BY:
A. Eizember
DESIGNED BY:
A. Eizember
APPROVED BY:
P. Williams

DATE:
March 29, 2022

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
1264-01 SP-3



GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

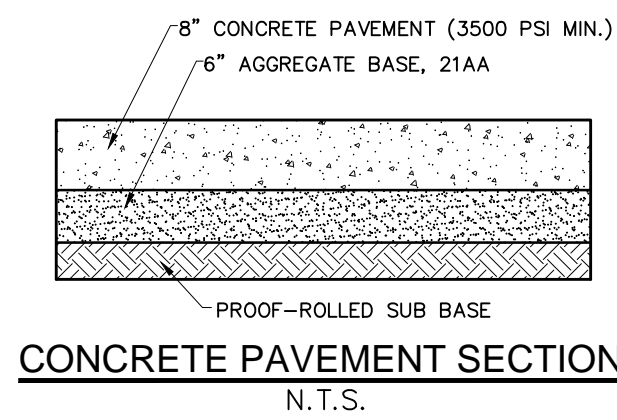
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

PAVING LEGEND

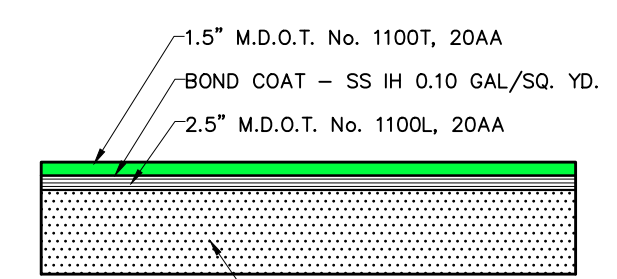
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	GATE VALVE		EXISTING WATERMAIN
	CATCH BASIN		EXISTING STORM SEWER
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GUY POLE		EXISTING BURIED CABLES
	GUY WIRE		OVERHEAD LINES
	LIGHT POLE		SIGN
	EXISTING GAS MAIN		PROPOSED LIGHT POLE
	C.O. MANHOLE		PR. SANITARY SEWER
	HYDRANT		PR. WATER MAIN
	INLET		PR. STORM SEWER
	C.B. MANHOLE		PR. R. Y. CATCH BASIN
	TC 600.00		PR. TOP OF CURB ELEVATION
	GU 600.00		PR. GUTTER ELEVATION
	TW 600.00		PR. TOP OF WALK ELEVATION
	TP 600.00		PR. TOP OF P.V.M.T. ELEVATION
	FG 600.00		FINISH GRADE ELEVATION



CONCRETE PAVEMENT SECTION
N.T.S.



ASPHALT PAVEMENT SECTION
(DRIVE AND PARKING)

Application
This LED wall mounted luminaire has directed light distribution and is designed for the general illumination of pathways, walkways, and plazas.

Materials
Luminaire housing constructed of die-cast marine grade, copper free (c0.2% copper content) A306.0 aluminum alloy
White safety glass
Reflector made of pure anodized aluminum
Silicone applied robotically to casting, plasma treated for increased adhesion
High temperature silicone gasket
Mechanically captive stainless steel fasteners

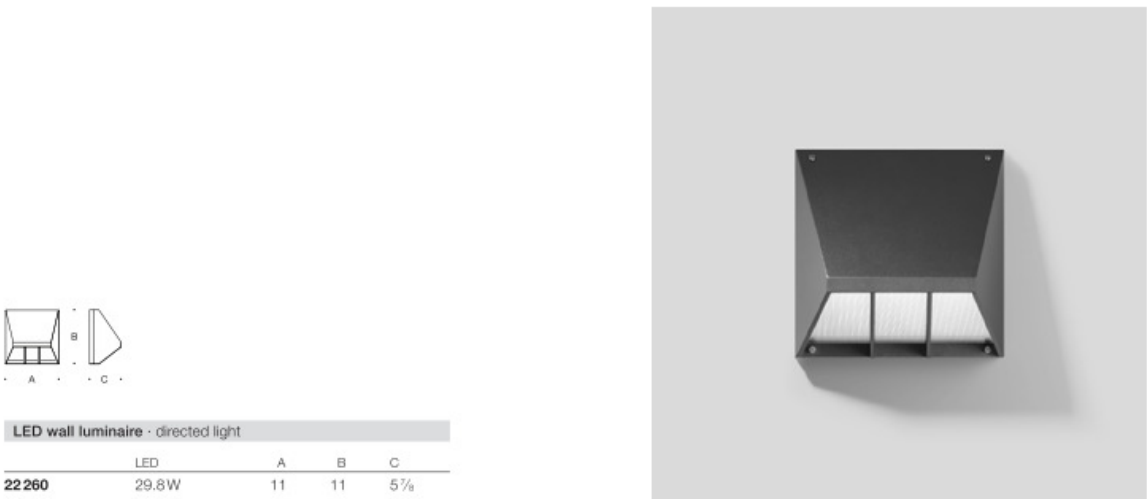
Electrical
Operating voltage 120-277VAC
Minimum start temperature -40° C
LED module wattage 29.8W
System wattage 34W
Controllability 0-10V dimmable
Color rendering index Ra=80
Luminaire lumens 3558 lumens (3000K)
Lifetime at Ta=10° C >500,000 h (L70)
Lifetime at Ta=40° C 162,000 h (L70)

LED color temperature
□ 4000K - Product number = **K4**
□ 3000K - Product number = **K35**
□ 3000K - Product number = **K37**
□ 2700K - Product number = **K27**

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

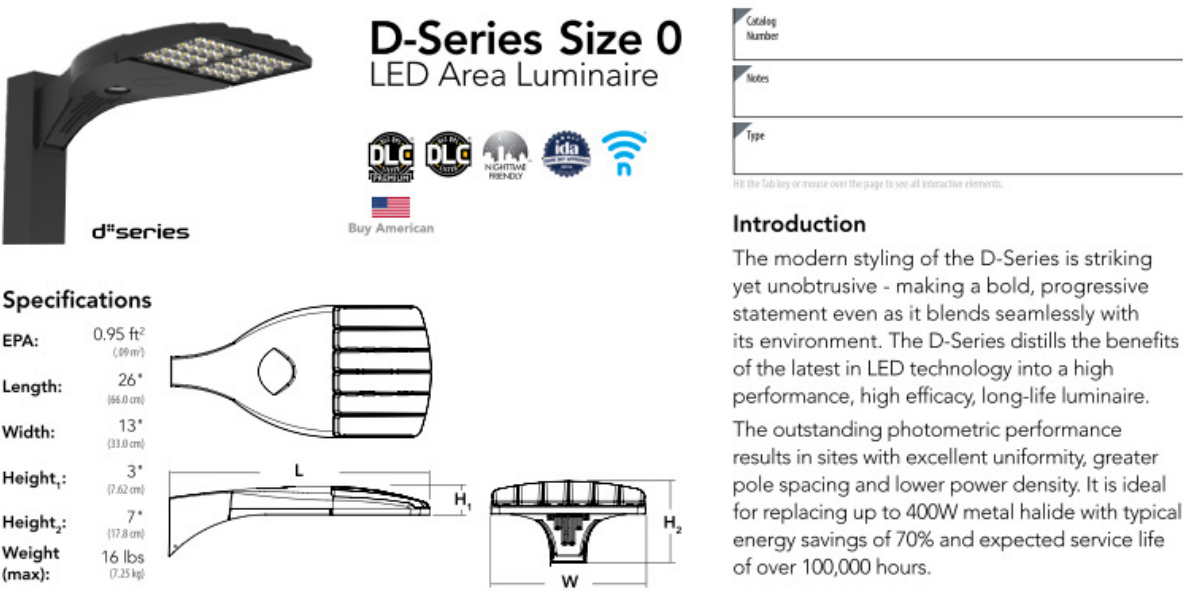
Finish
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors □ Black (BLK) □ White (WHT) □ RAL
□ Bronze (BRZ) □ Silver (SLV) □ OUS:

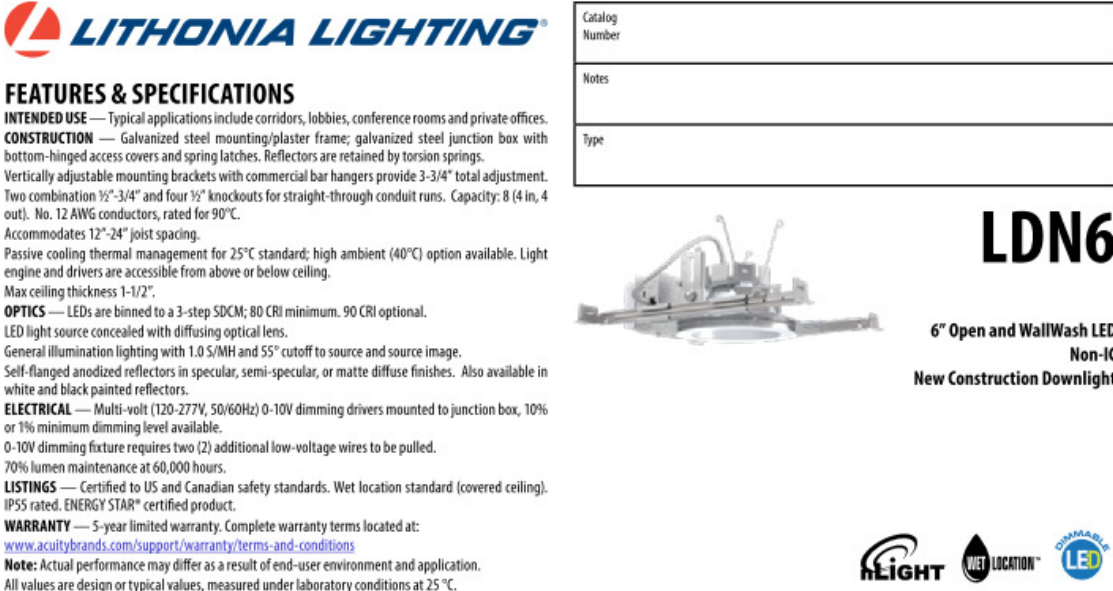


BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805)684-0533 info@bega-us.com

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com



Ordering Information				EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DOBXD			
Series	LEDs	Color Temperature	Distribution	Voltage	Mounting		
DSX0 LED	Forward optics	40K 3000K	T15	120V (277V)	MVOLT		
	P1 P6	40K 3000K	T25	120V (277V)	MVOLT		
	P2 P6	40K 3000K	T25	120V (277V)	MVOLT		
	P3 P7	40K 3000K	T25	120V (277V)	MVOLT		
	P4	40K 3000K	T25	120V (277V)	MVOLT		
DSX0 LED	Related optics	P1P2 P1P3	T15M	120V (277V)	MVOLT		
	P1P2 P1P3	T15M	120V (277V)	MVOLT	MVOLT		
	P1P2 P1P3	T15M	120V (277V)	MVOLT	MVOLT		
	P1P2 P1P3	T15M	120V (277V)	MVOLT	MVOLT		
	P1P2 P1P3	T15M	120V (277V)	MVOLT	MVOLT		



Ordering Information				EXAMPLE: LDN6 35/15 L06AR LSS MVOLT E270			
Series	Color Temperature	Lumens	Aperture/Trim Color	Finish	Voltage		
LDN6	3500K	3500 lumens	106 White	W1	120V		
	3500K	3500 lumens	106 White	W1	120V		
	3500K	3500 lumens	106 White	W1	120V		
	3500K	3500 lumens	106 White	W1	120V		
	3500K	3500 lumens	106 White	W1	120V		
LDN6	3500K	3500 lumens	106 White	W1	120V		
	3500K	3500 lumens	106 White	W1	120V		
	3500K	3500 lumens	106 White	W1	120V		
	3500K	3500 lumens	106 White	W1	120V		
	3500K	3500 lumens	106 White	W1	120V		

Statistics						
Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
Grade @ 6'	+	0.8 fc	14.1 fc	0.0 fc	N/A	N/A
Parking Lot	X	1.3 fc	14.1 fc	0.0 fc	N/A	N/A
Property Line @ 6' AFG	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Wattage
A	A	5	BEGA	22 260 K4	22260	LED	3557	34
B	B	1	Lithonia Lighting	DSX0 LED P1 40K TFTM MVOLT	DSX0 LED P1 40K TFTM MVOLT	LED	4711	38
C	C	1	Lithonia Lighting	LDN6 40/15 L06AR LSS	61N LDN, 4000K, 1500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRI80	LED	1516	17.52

General Note

- SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 6' - 0"
- LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

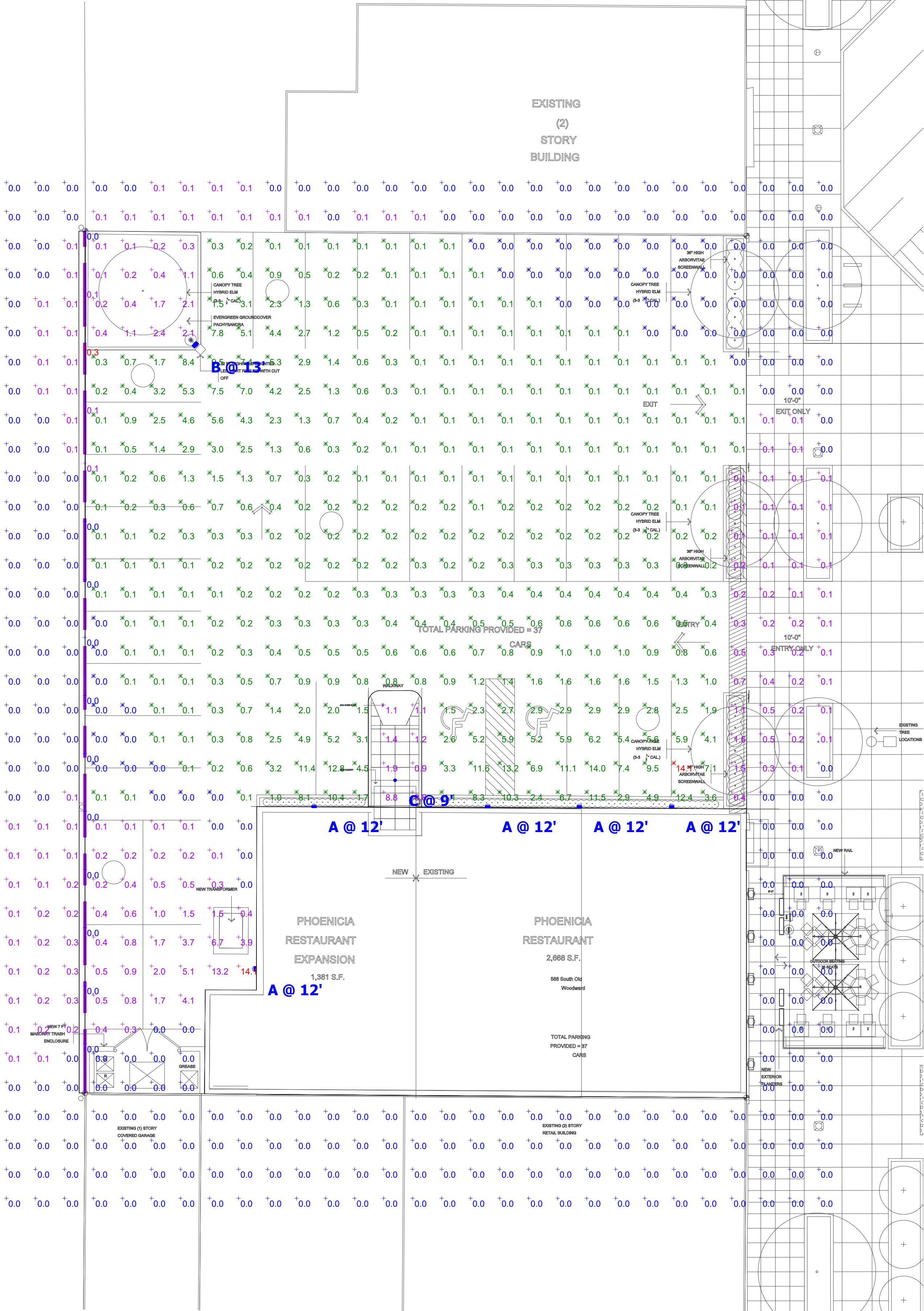
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



PHOENICIA EXPANSION
PHOTOMETRIC PLAN
PREPARED FOR: SAROKI ARCHITECTURE
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
DS
Date
04/18/2022
Scale
Not to Scale
Drawing No.
#22-74711 V1
1 of 1



Special Land Use Permit Application

Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

2. Property Owner

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

3. Applicant's Attorney/Contact Person

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

4. Project Designer/Developer

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
 - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
 - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
 - iii. A certified Land Survey;
 - iv. Interior floor plans;
 - v. A Landscape Plan;
 - vi. A Photometric Plan;
 - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

6. Project Information

Address/Location of the property: _____

Name of development: _____
Sidwell #: _____
Current Use: _____
Proposed Use: _____
Area of Site in Acres: _____
Current zoning: _____
Is the property located in the floodplain? _____
Name of Historic District Site is located in: _____
Date of Historic District Commission Approval: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____

Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Application for Revised Final Site Plan: _____
Date of Revised Final Site Plan Approval: _____
Date of Design Review Board Approval: _____
Is there a current SLUP in effect for this site? _____
Date of Application for SLUP: _____
Date of SLUP Approval: _____
Date of Last SLUP Amendment: _____
Will proposed project require the division of platted lots? _____

Will proposed project require the combination of platted lots? _____

7. Details of the Proposed Development (attach separate sheet if necessary)

8. Buildings and Structures

Number of Buildings on Site: _____
Height of Buildings & # of Stories: _____

Use of Buildings: _____
Height of Rooftop Mechanical Equipment: _____

9. Floor Use and Area (in Square Feet)

Proposed Commercial Structures:

Total basement floor area: _____
Number of square feet per upper floor: _____
Total floor area: _____
Floor area ratio (total floor area ÷ total land area): _____
Open space: _____
Percent of open space: _____

Office Space: _____
Retail Space: _____
Industrial Space: _____
Assembly Space: _____
Seating Capacity: _____
Maximum Occupancy Load: _____

Proposed Residential Structures:

Total number of units: _____
Number of one bedroom units: _____
Number of two bedroom units: _____
Number of three bedroom units: _____
Open space: _____
Percent of open space: _____

Rental units or condominiums? _____
Size of one bedroom units: _____
Size of two bedroom units: _____
Size of three bedroom units: _____
Seating Capacity: _____
Maximum Occupancy Load: _____

Proposed Additions:

Total basement floor area, if any, of addition: _____
Number of floors to be added: _____
Square footage added per floor: _____
Total building floor area (including addition): _____
Floor area ratio (total floor area ÷ total land area): _____
Open Space: _____
Percent of open space: _____

Use of addition: _____
Height of addition: _____
Office space in addition: _____
Retail space in addition: _____
Industrial space in addition: _____
Assembly space in addition: _____
Maximum building occupancy load (including addition): _____

10. Required and Proposed Setbacks

Required front setback: _____
Required rear setback: _____
Required total side setback: _____
Side setback: _____

Proposed front setback: _____
Proposed rear setback: _____
Proposed total side setback: _____
Second side setback: _____

11. Required and Proposed Parking

Required number of parking spaces: _____
Typical angle of parking spaces: _____
Typical width of maneuvering lanes: _____
Location of parking on site: _____
Location of parking off site: _____
Number of light standards in parking area: _____
Screenwall material: _____

Proposed number of parking spaces: _____
Typical size of parking spaces: _____
Number of spaces <180 sq. ft.: _____
Number of handicap spaces: _____
Shared parking agreement? _____
Height of light standards in parking area: _____
Height of screenwall: _____

12. Landscaping

Location of landscape areas: _____

Proposed landscape material: _____

13. Streetscape

Sidewalk width: _____
Number of benches: _____
Number of planters: _____
Number of existing street trees: _____
Number of proposed street trees: _____
Streetscape plan submitted? _____

Description of benches or planters: _____

Species of existing trees: _____
Species of proposed trees: _____

14. Loading

Required number of loading spaces: _____
Typical angle of loading spaces: _____
Screenwall material: _____
Location of loading spaces on site: _____

Proposed number of loading spaces: _____
Typical size of loading spaces: _____
Height of screenwall: _____
Typical time loading spaces are used: _____

15. Exterior Waste Receptacles

Required number of waste receptacles: _____
Location of waste receptacles: _____
Screenwall material: _____

Proposed number of waste receptacles: _____
Size of waste receptacles: _____
Height of screenwall: _____

16. Mechanical Equipment

Utilities and Transformers:

Number of ground mounted transformers: _____
Size of transformers (L•W•H): _____
Number of utility easements: _____
Screenwall material: _____

Location of all utilities & easements: _____

Height of screenwall: _____

Ground Mounted Mechanical Equipment:

Number of ground mounted units: _____
Size of ground mounted units (L•W•H): _____
Screenwall material: _____

Location of all ground mounted units: _____

Height of screenwall: _____

Rooftop Mechanical Equipment:

Number of rooftop units: _____
Type of rooftop units: _____

Screenwall material: _____
Location of screenwall: _____

Location of all rooftop units: _____
Size of rooftop units (L•W•H): _____
Percentage of rooftop covered by mechanical units: _____
Height of screenwall: _____
Distance from rooftop units to all screenwalls: _____

17. Accessory Buildings

Number of accessory buildings: _____
Location of accessory buildings: _____

Size of accessory buildings: _____
Height of accessory buildings: _____

18. Building Lighting

Number of light standards on building: _____

Type of light standards on building: _____

Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Height from grade: _____
Proposed wattage per fixture: _____

19. Site Lighting

Number of light fixtures: _____
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light fixtures: _____
Height from grade: _____
Proposed wattage per fixture: _____
Holiday tree lighting receptacles: _____

20. Adjacent Properties

Number of properties within 200 ft.: _____

Property #1

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #2

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #3

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #4

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #5


Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

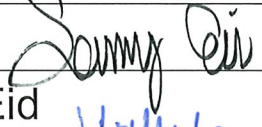
Property Description: _____


North, south, east or west of property? _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner:  Date: 3/29/2022
Print Name: Samy Eid

Signature of Applicant:  Date: 3/29/2022
Print Name: Samy Eid

Signature of Architect:  Date: 3/29/2022
Print Name: Victor Sarok

Office Use Only

Application #: _____ Date Received: _____ Fee: _____
Date of Approval: _____ Date of Denial: _____ Accepted by: _____



SPECIAL LAND USE PERMIT APPLICATION CHECKLIST – PLANNING DIVISION

Applicant: _____ Case #: _____ Date: _____

Address: _____ Project: _____

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

Site Plan for Special Land Use Permit

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ___ 1. Name and address of applicant and proof of ownership;
- ___ 2. Name of Development (if applicable);
- ___ 3. Address of site and legal description of the real estate;
- ___ 4. Name and address of the land surveyor;
- ___ 5. Legend and notes, including a graphic scale, north point, and date;
- ___ 6. A separate location map;
- ___ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ___ 8. Aerial photographs of the subject site and surrounding properties;
- ___ 9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
- ___ 10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
- ___ 11. Interior floor plans;
- ___ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");

- ___ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ___ 14. Existing and proposed utilities and easements and their purpose;
- ___ 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- ___ 16. General description, location, and types of structures on site;
- ___ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- ___ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- ___ 19. Elevation drawings showing proposed design;
- ___ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- ___ 21. Location of all exterior lighting fixtures;
- ___ 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- ___ 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- ___ 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

Elevation Drawings

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ___ 25. Color elevation drawings showing the proposed design for each façade of the building;
- ___ 26. List of all materials to be used for the building, marked on the elevation drawings;
- ___ 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- ___ 28. Details of existing or proposed lighting, signage and other pertinent development features;
- ___ 29. A list of any requested design changes;
- ___ 30. Itemized list and specification sheets of all materials, light fixtures and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- ___ 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- ___ 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



Notice Signs - Rental Application Community Development

1. Applicant

Name: SAMY EID
Address: 588 S. OLD WOODWARD AVE
BIRMINGHAM, MI 48009
Phone Number: (248) 644-3122
Fax Number: N/A
Email address: SAMYEID@ME.COM

Property Owner

Name: SAMY EID
Address: 588 S. OLD WOODWARD AVE
BIRMINGHAM, MI 48009
Phone Number: (248) 644-3122
Fax Number: N/A
Email address: SAMYEID@ME.COM

2. Project Information

Address/Location of Property: 588 S. OLD WOODWARD AVE
Name of Development: PHOENICIA EXPANSION
Area in Acres: 0.395 ACRES

Name of Historic District site is in, if any: N/A
Current Use: RESTAURANT
Current Zoning: B2-B / D-2 OVERLAY DISTRICT

3. Date of Board Review

Board of Building Trades Appeals: N/A
City Commission: TBD
Historic District Commission: N/A
Planning Board: TBD

Board of Zoning Appeals: N/A
Design Review Board: N/A
Housing Board of Appeals: N/A

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant:  Date: 3/29/2022

Office Use Only

Application #: _____ Date Received: _____ Fee: _____
Date of Approval: _____ Date of Denial: _____ Reviewed by: _____

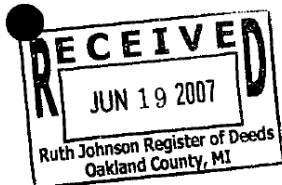


FEE SCHEDULE

Application	Fees
Administrative Approval	\$100
Administrative Sign Approval	\$100
Board of Zoning Appeals* <ul style="list-style-type: none"> Single Family Residential All Other Zoning Districts 	\$310 \$510
Community Impact Study Review*	\$2,050
Design Review*	\$350
Division/Combination of Platted Lots	\$200
Historic District Review* <ul style="list-style-type: none"> Single Family Residential All Other Zoning Districts 	No Charge \$350
Public Notice Sign <ul style="list-style-type: none"> Notice Sign Rental Returnable Sign Bond 	\$50 \$100 ➔ \$150 total
Preliminary/Final Site Plan Review <ul style="list-style-type: none"> R4 – R8 Zoning District Nonresidential Districts 	\$850, plus \$50 per dwelling unit \$1,050, plus \$50 per acre or portion of acre
Special Land Use Permit* <ul style="list-style-type: none"> Plus Site Plan Review Plus Design Review Plus Publish of Legal Notice Plus Sign Rental and Deposit 	\$800 \$1,050 \$350 \$450 \$150 ➔ \$2,800 total
Special Land Use Permit Annual Renewal	\$200
Temporary Use Permit	\$100
Zoning Compliance Letter	\$50

***The fees for Board of Zoning Appeals, Community Impact Study Review, Design Review, Site Plan Review, Historic District Review and Special Land Use Permits shall be double the listed amounts in the event the work is commenced prior to the filing of an application for review by the City of Birmingham.**

LIBER 39279 PG 472



142112
 LIBER 39279 PAGE 472
 \$10.00 DEED - COMBINED
 \$4.00 REMEDIMENTATION
 06/25/2007 10:41:54 A.M. RECEIPT# 65987
 PAID RECORDED - OAKLAND COUNTY
 RUTH JOHNSON, CLERK/REGISTER OF DEEDS

QUIT CLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS: That SAMEER EID and LEILA EID, his wife, whose address is 588 S. Old Woodward, Birmingham, Michigan 48009 convey(s) and warrant(s) to EID PROPERTIES, LLC, whose address is 588 S. Old Woodward, Birmingham, Michigan 48009, the following described premises situated in the City of Birmingham, County of Oakland and State of Michigan, to-wit:

Lots 5 and 6, except East part thereof, said East part being now in Woodward Avenue and being 17.21 feet on North lot line and 17.18 feet on South lot line, Lot 7, except East part thereof, said East part being now in Woodward Avenue and being 17.18 feet as measured on North lot line and 17.15 feet as measured on South lot line, and Lots 28 and 30, Blakeslees Addition as recorded in Liber 2, Page 50, Oakland County Records

for the full consideration of less than One Hundred Dollars (\$100.0) to transfer title to a limited liability company owned by the Grantors, and subject to restrictions and easements of record and to rights of tenants now in possession.

Dated this 14th day of APRIL, 2007.

2050

SIGNED and SEALED:

Sameer Eid
 Sameer Eid

Leila Eid
 Leila Eid, his wife

STATE OF MICHIGAN)
) ss.
 COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this 14th day of APRIL, 2007, by Sameer Eid and Leila Eid, both of whom are to me known to be the persons described herein and who acknowledged execution hereof as their free act and deed.

Dana C. Gilbert
 DANA C. GILBERT, Notary Public
 Acting in and for the County of OAKLAND State of Michigan
 My commission expires: MY COMMISSION EXPIRES Feb 14, 2012
 ACTING IN COUNTY OF OAKLAND

Tax Parcel ID # 08-19-36-253-028-Lot 5, 6, 7
19-36-253-006-Lot 28
 Instrument drafted by:
 Donald A. Pierce, Jr. 19-36-253-004-Lot 30
 Dean & Fulkerson, P.C.
 801 W. Big Beaver Road, 5th Floor
 Troy, Michigan 48064

When recorded return to: Drafter
 Send subsequent tax bills to: Grantee

Recording Fee: \$14.00
 Transfer Tax: Exempt MCLA 207.526(a), MCLA 207.505(a)

O.K. - LG

MAY 1 78

Lawyers Title Insurance Corporation **7187** PAGE **168****78 41156**Form 561 5-71
WARRANTY DEED—Statutory Form
CL 1948, SJS 181 MSA 20.371

KNOW ALL MEN BY THESE PRESENTS: That Carl F. Fischer and Marion P. Fischer, his wife, and Richard A. Fischer and Jeanne M. Fischer, his wife, whose address is 1810 Maplelawn, Troy, Michigan

Convey and Warrant to Sameer Eid and Loila Eid, his wife

whose address is 3576 Upton, Troy, Michigan 48084

the following described premises situated in the City of Birmingham
County of Oakland and State of Michigan, to-wit:

Lots 5 and 6, except East part thereof, said East part being now in Woodward Avenue and being 17.21 feet on North lot line and 17.18 feet on South lot line, Lot 7, except East part thereof, said East Part being now in Woodward Avenue and being 17.18 feet as measured on North lot line and 17.15 feet as measured on South lot line, and Lots 28 and 30, Blakeslee Addition as recorded in Liber 2, Page 50, Oakland County Records.

for the full consideration of Two Hundred Fourteen Thousand, Nine Hundred and 00/100 (\$214,900.00) Dollars
subject to restrictions and easements of record and to rights of tenants now in possession.

Dated this 20th day of April 1978

Witnessed:
David G. Barnett
David G. Barnett
Gayle E. Greening
Gayle E. Greening

Signed and Sealed:

Carl F. Fischer (LS)
Carl F. Fischer
Marion P. Fischer (LS)
Marion P. Fischer
Richard A. Fischer (LS)
Richard A. Fischer
Jeanne M. Fischer (LS)
Jeanne M. Fischer

STATE OF MICHIGAN

COUNTY OF Oakland

The foregoing instrument was acknowledged before me this 20 day of April 1978 by Carl F. Fischer & Marion P. Fischer, his wife, and Richard A. Fischer & Jeanne M. Fischer, his wife.
My commission expires: October 28, 1981

Instrument
Drafted by David G. Barnett

Notary Public Gayle Ellen Greening County, Michigan
Business 74 W. Long Lake Road, Ste. 3
Address Bloomfield Hills, Mich. 48011

County Treasurer's Certificate

OAKLAND COUNTY TREASURER'S CERTIFICATE
No. 4-22-1978
I hereby certify that the above described instrument is a true and correct copy of the original as recorded in the public records of this county.

STAT. CHY. TREASURER'S CERTIFICATE
MICHIGAN TRANSFER TAX

Recording Fee \$2236State Transfer Tax \$2236

LAWYERS TITLE INSURANCE CORP.

Tax Parcel # 1436-253028When recorded return to GranteeSend subsequent tax bills to Grantee51391

555 S. Old Woodward Ave - Parking Summary

Residential			
Unit Type	Number of Units	Space / Unit	Spaces Required
Studio	11	1	11
One-Bedroom	33	1	33
Two-Bedroom	54	1.25	67.5
Total	98		112
Total (After Parking Reduction)		112 - 51 =	61

Office	Square Footage	Space / SF	Spaces Required
	38,250	300	128

Retail	Square Footage	Space / SF	Spaces Required
	21,191	300	71

Salon	Chairs	Space / Chair	Spaces Required
	24	2	48

Fitness	Square Footage	Space / SF	Spaces Required
	6,392	550	12

Restaurant	Square Footage	Space / SF	Spaces Required
	4,400	75	59
Total (After Parking Reduction)		59 - 23 =	36

Total Parking Required 356

Total Parking Provided 376

Excess Parking Available 20

** In addition, 36 On-Street Parking Spaces have been allocated to 555 S. Old Woodward Ave.

555 S. Old Woodward Ave - Parking Summary (Continued)

Office and Residential Parking (40% Reduction)		
Number of Office Spaces	Reduction	Total
128	40%	51

Office and Restaurant Parking (30% Reduction)		
Number of Office Spaces (Remaining)	Reduction	Total
77	30%	23

which have NOT been included in the numbers above

PARKING LEASE AGREEMENT
555 South Old Woodward Avenue, Birmingham, Michigan

THIS PARKING LEASE AGREEMENT (this “**Agreement**”) is made this 14 day of April 2022, between **The 555 Building Condominium Association**, a Michigan nonprofit corporation (“**Landlord**”), and **Phoenicia Restaurant**, (“**Tenant**”). In consideration of the mutual covenants and conditions set forth herein and other valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Landlord and Tenant, intending to be legally bound, agree as follows:

1. **Lease.** Landlord hereby agrees to lease and make available to Tenant a minimum of **Sixteen (16)** and a maximum of **Twenty (20) unassigned** parking spots as requested by Tenant on the **Ramp to the Fourth deck and Fourth Deck on the North End of the parking structure** (the “**Premises**”) on property owned by Landlord, located at 555 South Old Woodward, Birmingham, Michigan (the “**Property**”) containing twenty parking spaces (each, a “**Parking Space**” and collectively, the “**Parking Spaces**”) within the Premises, subject to and upon the terms and conditions set forth in this Agreement. The Parking Spaces shall be used solely for valet parking by Tenant’s employees (“**Users**”) and no other persons whatsoever. Landlord also grants Tenant ingress and egress to and from the Premises solely from the northwest corner street entrances of the Property, and Tenant shall cause Users to only use such points of ingress and egress.

2. **Term.** The term of this Agreement will commence upon completion by Tenant of an expansion of its restaurant building located at 588 South Old Woodward, Birmingham, Michigan (the “**Restaurant**”) and issuance of a occupancy permit by the City of Birmingham for the Restaurant (the “**Commencement Date**”) and remain in effect for 5 years from the commencement date, unless earlier terminated in accordance with this Agreement. The Commencement Date through the Expiration Date is the “**Term**”. Notwithstanding the foregoing, after two years either party has the right to terminate this Agreement by ninety days’ written notice to the other party, and this Agreement will terminate on the ninetieth day (the “**Surrender Date**”) after the delivery of such notice of termination, and Tenant shall surrender the Premises to Landlord on or prior to the Surrender Date, provided that the parties shall remain obligated for all of their obligations under this Agreement through the Surrender Date.

3. **Tenant Improvements.** If needed, as determined by Tenant in its sole discretion, Tenant shall, on or before using the Premises for the Parking Purpose, at Tenant’s sole cost and expense, provide all work of whatsoever nature which is required for the construction and operation of a first-class parking lot (“**Tenant’s Work**”). Prior to commencing any improvements on the Premises, Tenant must furnish to Landlord for Landlord’s approval the parking lot design drawings and working drawings and specifications with respect to Tenant’s Work together with a budget detailing the costs of Tenant’s Work (once approved by Landlord, the “**Tenant Improvement Plans**”). Tenant shall select and use only contractors, subcontractors or other personnel that have been approved by Landlord in writing. Landlord shall have the right to enter the Premises from time to time to inspect Tenant’s Work. Tenant must, promptly following completion of Tenant’s Work, provide Landlord with sworn statements and unconditional lien waivers from all contractors and subcontractors constructing the Tenant’s Work. No deviation from the

Tenant Improvement Plans, once approved by Landlord, shall be made by Tenant without Landlord's prior written consent. Approval of the Tenant Improvement Plans by Landlord shall not constitute the assumption of any responsibility by Landlord or Landlord's architect or engineer for their accuracy, efficacy or sufficiency, and Tenant shall be solely responsible for such items. Approval by Landlord of Tenant's contractors shall not constitute assumption of responsibility for the competency of Tenant's contractors, and Tenant shall be solely responsible for same. Tenant shall not open the Premises for Users until Tenant's Work has been completed, and Tenant has received a certificate of occupancy (or the like) from the local governmental authorities. Tenant shall engage the services of such bondable, State and County licensed contractors. Landlord shall determine in Landlord's sole and absolute discretion whether Tenant must use union labor for particular construction trade work. Tenant shall not be able to enter the Premises to perform any work or to install any improvements until all of the following conditions have been met by written notice from Landlord to Tenant: (a) receipt by Tenant of Landlord's written approval of the Tenant Improvement Plans; and (b) receipt by Tenant of required building permits and approvals from local governing agencies

4. **Lease Fee.** As of the commencement date, Tenant shall pay to Landlord the total amount of One Hundred Forty and 00/100 Dollars per Parking Space per month, (the "**Lease Fee**"), which shall be paid on or before the first of each month in advance. The monthly lease rate shall increase by four (4%) percent per annum on the annual anniversary of the commencement date.

5. **Use; Rules and Regulations for Parking Spaces.**

(a) Users are entitled to use the Parking Spaces during the Restaurant's hours of operation. Users shall use the Parking Spaces solely for valet parking by Tenant's employees ("Users") and no other persons whatsoever for the parking of automobiles that are owned or operated by Users.

(b) Vehicles shall be parked within the striped Parking Spaces and remain locked while parked. Vehicles must not be parked by Users in such a way as to block traffic lanes. The parking of unlicensed or uninsured vehicles, the storage of vehicles or any other personal property or equipment, and the repair and maintenance of vehicles in the Property is prohibited. Further, the parking of vehicles that (in the opinion of Landlord) pose any kind of hazard or have hazardous contents is prohibited. The parking of vehicles for the principal purpose of promotional activities or advertising (in the opinion of Landlord) is also prohibited. Any vehicle remaining in the Premises for more than **Five (5)** consecutive calendar days shall be deemed abandoned and may be removed from the Premises by Landlord at Tenant's expense and Landlord shall have no liability to any person for loss or damage on account of such removal. All costs incurred in removing and storing any such abandoned vehicle shall be reimbursed by Tenant upon being billed therefore by Landlord.

(c) Neither Tenant nor its employees shall commit or allow any waste or damage to be committed on any portion of the Property, create any nuisance, or unreasonably interfere with, annoy or disturb any other tenant, licensee, parker or Landlord in its operation of the Property.

(d) Tenant and its employees shall comply with all applicable governmental laws and regulations. In addition, the use of the Parking Spaces by Tenant and its employees under the terms of this Agreement is subject to such rules and regulations as are promulgated from time to time by Landlord and communicated to Tenant (collectively, the **"Rules and Regulations"**).

6. **Holding Over.** If Tenant holds possession of the Premises beyond the expiration of the Term, such continued possession by Tenant shall not have the effect of extending or renewing the Term for any period of time and Tenant shall be presumed to occupy the Premises against the will of Landlord who shall thereupon be entitled to all remedies provided for the expulsion of Tenant, including all claims for loss and damage. If Tenant holds over, the Lease Fee shall be one hundred fifty percent of Tenant's Lease Fee during the last month of the Term. In addition, Landlord has the right, at Tenant's expense, to cause any automobiles parked in the Parking Spaces to be towed if the automobiles are not removed upon the expiration of the Term or earlier termination of this Agreement. Landlord may give to Tenant at any time during such continued possession by Tenant written notice that Tenant may continue to occupy the Premises under a tenancy from month to month at the holdover amount set forth above.

7. **Safety / Custody / Bailment.** Landlord shall not be considered an insurer or guarantor of the safety and security of Users or of any vehicle parked on the Property. This Agreement constitutes a right to park on the Premises only and no bailment is created. Tenant acknowledges that all employees must self-park the vehicles (except to the extent Landlord otherwise designates) and abide by all provisions of Landlord's Rules and Regulations. Landlord does not guard or assume care custody or control of any vehicle or its contents and is not responsible to Tenant or its employees for fire, theft, damage or loss, including any damage caused by any other vehicle parked on the Property.

8. **Certain Additional Rights Reserved by Landlord.**

(a) Landlord shall have the following rights: with or without closing the Property and/or preventing unreasonable access to the Premises, to decorate and to make inspections, repairs, alterations, additions, changes, or improvements, whether structural or otherwise, in and about the Property, or any part thereof; to enter upon the Property and, during the continuance of any such work, to close points of ingress and egress, street entrances, public space, and drives in the Property; and to enter the Premises to show the parking spaces located on the Property and the Property itself to prospective purchasers, tenants, lenders, or other interested parties. Additionally, Tenant acknowledges that its parking rights under this Agreement are subject to Landlord's right to use the Parking Spaces for parking by persons attending Special Events (as herein defined) and neither Tenant nor its employees may make use of or occupy the Parking Spaces on days of Special Events. For purposes of this Agreement, **"Special Events"** means the Woodward Dream Cruise.

(b) Landlord reserves (i) the right from time to time to make alterations in or to the Property and the fixtures and equipment thereof, as well as in or to the street entrances, drives and other parts of the Property, and to erect, maintain, and use pipes, ducts and conduits in and through the Property, all as Landlord may deem necessary or desirable; (ii) the right to eliminate, substitute and/or rearrange the common areas (which may theretofore

have been so designated) as Landlord deems appropriate in its sole discretion; and (iii) upon three days advance notice to Tenant, use the loading ramp area within the Premises and, upon receipt of such notice and prior to the second day after delivery of such notice, Tenant will cause the loading ramp area to be clear of any obstruction that may impede Landlord's use of the loading area within the Premises.

(c) Landlord, at no cost to Tenant, reserves the right to relocate the Premises to another area within the Property.

9. **Casualty.**

(a) If the Property is damaged by fire or other casualty (each, a "**Casualty**"), Landlord shall deliver to Tenant a good faith estimate (the "**Damage Notice**") of the time needed to repair the damage caused by such Casualty. If a Casualty damages a material portion of the Property and (i) Landlord estimates that the damage to the Property cannot be repaired within sixty days after commencement of repairs, (ii) the damage to the Property exceeds twenty-five percent of the replacement cost thereof (excluding foundations and footings), as estimated by Landlord, (iii) regardless of the extent of damage to the Property, Landlord makes a good faith determination that restoring the Property, as applicable, would be uneconomical, or (iv) Landlord is required to pay a portion of the insurance proceeds arising out of the Casualty to Landlord's mortgagee, then Landlord may, at Landlord's sole option, terminate this Agreement by giving written notice of its election to terminate within sixty days after the Damage Notice has been delivered to Tenant and Landlord will make commercially reasonable efforts to secure suitable replacement parking for Tenant at comparable costs.

(b) If the Property is damaged by a Casualty, the Lease Fee shall be abated based on the number of Parking Spaces rendered unusable from the date of damage until the completion of Landlord's repairs.

10. **Eminent Domain.** If any part of the Property, as applicable, shall be taken or condemned for public use, this Agreement shall, as to the part taken, terminate as of the date the condemnor acquires possession. Further, if, as a result of such condemnation, more than one-third of the Parking Spaces then being used under this Agreement have been taken, or any material part of the Property has been taken, Tenant or Landlord may, at its respective sole option, terminate this Agreement as to the portion of the Property that is the subject of such condemnation, as applicable.

11. **Indemnification.** Except to the extent caused by Landlord's gross negligence or willful misconduct, Tenant shall indemnify, defend and hold Landlord harmless from all damage to any property or injury to or death of any person arising from the use of the Premises by Tenant or its agents, representatives or employees. The foregoing indemnity obligation of Tenant shall include reasonable attorneys' fees, investigation costs and all other reasonable costs and expenses incurred by Landlord from the first notice that any claim or demand is to be made or may be made. The provisions of this Section 11 shall survive the expiration or sooner termination of this Agreement with respect to any damage, injury or death occurring prior to such expiration or sooner termination.

12. **Insurance.**

(a) Tenant shall procure and keep in effect a commercial general liability insurance policy for the Premises (the "**CGL Policy**"), with an insurance company reasonably acceptable to Landlord, which shall include bodily injury or death, damage to property of others, personal injury and advertising injury, with minimum limits of liability of: (i) not less than Two Million Dollars per each occurrence and Two Million Dollars in the aggregate, including a "Per Location Aggregate" endorsement, (ii) Five Hundred Thousand Dollars for Fire Damage Legal Liability, and (iii) Five Thousand Dollars for Medical Expense Limits. The CGL Policy shall (A) name Landlord, Landlord's property manager, Landlord's facilities manager and its mortgagee(s) as additional insureds, (B) specifically include the liability assumed hereunder by Tenant, (C) provide that it is primary insurance and not excess over or contributory with any other valid, existing and applicable insurance in force for or on behalf of Landlord, Landlord's property manager or Landlord's facilities manager, and (D) provide that Landlord shall receive thirty days' notice (ten days for non-payment of the premium) from the insurer prior to any cancellation or change of coverage.

(b) Tenant shall procure and keep in effect a commercial umbrella insurance policy (the "**Umbrella Policy**"), with minimum limits of not less than Two Million Dollars each occurrence and in the aggregate, and shall be on a follow form basis with the CGL Policy with an insurance company reasonably acceptable to Landlord. The Umbrella Policy shall (i) name Landlord, Landlord's property manager, Landlord's facilities manager and Landlord's mortgagee(s) as additional insureds, (ii) specifically include the liability assumed hereunder by Tenant, (iii) provide that it is primary insurance and not excess over or contributory with any other valid, existing and applicable insurance in force for or on behalf of Landlord, Landlord's property manager or Landlord's facilities manager, and (iv) provide that Landlord shall receive thirty days' notice (ten days for non-payment of the premium) from the insurer prior to any cancellation or change of coverage.

(c) Tenant shall deliver policies of the insurance required pursuant to this Section 12 or certificates thereof to Landlord within ten business days of the date of this Agreement, and thereafter at least thirty days before the expiration dates of expiring policies, or anytime as reasonably requested by Landlord.

13. **Default.**

(a) The occurrence of any one or more of the following events (each such occurrence shall be deemed an "**Event of Default**") shall constitute a material breach of this Agreement by Tenant: (i) if Tenant shall fail to pay any sums when and as the same become due and payable and such failure continues for more than five days after the date the same is due and payable; (ii) if Tenant shall fail to perform or observe any other term hereof or of the Rules and Regulations of Landlord to be performed or observed by Tenant, such failure shall continue for more than ten days after written notice thereof from Landlord, and Tenant shall not within such ten day period commence with due diligence and dispatch the curing of such default, or, having so commenced, shall thereafter fail or neglect to prosecute or complete with due diligence and dispatch the curing of such default; (iii) if Tenant shall make a general assignment for the benefit of creditors, or shall admit in writing its inability to pay its debts as they become due or shall file a petition in bankruptcy, or shall be adjudicated as insolvent

or shall file a petition in any proceeding seeking any reorganization, arrangements, composition, readjustment, liquidation, dissolution or similar relief under any present or future law, or shall file an answer admitting or fail timely to contest or acquiesce in the appointment of any trustee, receiver or liquidator of Tenant or any material part of its properties; (iv) if, within sixty days after the commencement of any proceeding against Tenant seeking any reorganization, arrangement, composition, readjustment, liquidation, dissolution or similar relief under any present or future law, such proceeding shall not have been dismissed, or if, within sixty days after the appointment without the consent or acquiescence of Tenant, of any trustee, receiver or liquidator of Tenant or of any material part of its properties, such appointment shall not have been vacated; or (v) if this Agreement or any estate of Tenant hereunder shall be levied upon under any attachment or execution and such attachment or execution is not vacated within ten days.

(b) If, as a matter of law, Landlord has no right on the bankruptcy of Tenant to terminate this Agreement, then, if Tenant, as debtor, or its trustee wishes to assume or assign this Agreement, in addition to curing or adequately assuring the cure of all defaults existing under this Agreement on Tenant's part on the date of filing of the proceeding (such assurances being defined below), Tenant, as debtor, or the trustee or assignee must also furnish adequate assurances of future performance under this Agreement (as defined below). Adequate assurance of curing defaults means the posting with Landlord of a sum in cash sufficient to defray the cost of such a cure. Adequate assurance of future performance under this Agreement means posting a deposit equal to three months' of the Lease Fee, including all other charges payable by Tenant hereunder, and, in the case of an assignee, assuring Landlord that the assignee is financially capable of assuming this Agreement, and that its use of the Premises will not be detrimental to the other tenants or licensees in the Property or Landlord. In a reorganization under Chapter 11 of the Bankruptcy Code, the debtor or trustee must assume this Agreement or assign it within sixty days from the filing of the proceeding, or he shall be deemed to have rejected and terminated this Agreement.

14. **Remedies.** If an Event of Default shall exist, then Landlord shall have the following remedies:

(a) Landlord, at Landlord's option, may at any time after the occurrence of an Event of Default, give to Tenant seven days' notice of termination of this Agreement, and in the event such notice is given, this Agreement shall come to an end and expire (whether or not the Term shall have commenced) upon the expiration of such seven days, but Tenant shall remain liable for damages as provided herein.

(b) Either with or without terminating this Agreement, Landlord may immediately or at any time after the occurrence of an Event of Default, or after the date upon which this Agreement shall expire, reenter the Premises or any part thereof, without notice, either by summary proceedings or by any other applicable action or proceeding, or by force or otherwise (without being liable to indictment, prosecution or damages therefor), and may repossess the Premises and remove any and all of Tenant's property and effects from the Premises.

(c) Either with or without terminating this Agreement, Landlord may license or lease the whole or any part of the Premises from time to time, either in the name of Landlord or otherwise, to such tenant or licensee or licensees or tenants, for such term or terms ending before, on or after the expiration of this Agreement, at such amount or amounts and upon such other conditions, which may include concessions and free license fee or rent periods, as Landlord, in its sole discretion, may determine. In the event of any such reletting or relicensing, Landlord shall not be liable for the failure to collect any fees or amounts due upon any such reletting or relicensing, and no such failure shall operate to relieve Tenant of any liability under this Agreement or otherwise to affect any such liability.

(d) Landlord shall have the right to recover the fees and all other amounts payable by Tenant hereunder as they become due (unless and until Landlord has terminated this Agreement) and all other damages incurred by Landlord as a result of an Event of Default.

(e) The remedies provided for in this Agreement are in addition to any other remedies available to Landlord at law or in equity by statute or otherwise.

15. **Landlord's Liability.** The liability of Landlord (and its members or managers) to Tenant (or any person or entity claiming by, through or under Tenant) for any default by Landlord under the terms of this Agreement or any matter relating to or arising out of the occupancy or use of the Premises shall be limited to Tenant's actual, but not consequential, special or punitive damages, and shall be recoverable only from the interest of Landlord in the Property, including any sale, insurance and condemnation proceeds from the Property, and Landlord's managers or members shall not be personally liable for any deficiency.

16. **Assignment and Subletting.** Tenant shall not assign this Agreement or sublicense any portion of the Premises without the prior written consent of Landlord, which consent may be withheld in Landlord's sole discretion. This Agreement shall not, nor shall any interest herein, be assignable as to the interest of Tenant by operation of law without the consent of Landlord. Sales aggregating fifty percent or more of the capital or voting stock of Tenant (if Tenant is a nonpublic corporation) or transfers aggregating fifty percent or more of Tenant's partnership interest (if Tenant is a partnership) or transfers aggregating fifty percent or more of the other ownership interests of Tenant (if Tenant shall be a limited liability company or other legal entity) shall be deemed to be an assignment of this Agreement. Regardless of whether or not Landlord's consent is required, no subletting or assignment shall release Tenant of Tenant's obligation or alter the primary liability of Tenant to pay the Lease Fee and to perform all other obligations to be performed by Tenant hereunder. The acceptance of the Lease Fee by Landlord from any other person shall not be deemed to be a waiver by Landlord of any provision hereof. Consent to one assignment or subletting shall not be deemed consent to any subsequent assignments or subletting. In the event of default of any of the terms hereof, Landlord may proceed directly against Tenant without the necessity of exhausting remedies against such assignee or successor. Landlord may consent to subsequent assignment or subletting of this Agreement or amendments or modifications to this Agreement with assignees of Tenant, without notifying Tenant, or any successor of Tenant, and without obtaining its or their consent thereto and such action shall not relieve Tenant of liability under this Agreement.

17. **Landlord Transfer.** Landlord may transfer any portion of the Property and any of its rights under this Agreement without the consent of Tenant. If Landlord assigns its rights under this Agreement, then Landlord shall thereby be released from any further obligations hereunder arising after the date of transfer, provided that the assignee assumes Landlord's obligations hereunder in writing.

18. **Subordination of Agreement.** This Agreement shall be subordinate to any mortgage, debt instrument, ground lease or master lease that may hereafter encumber or cover any portion of the Property. The provisions of this Section shall be self-operative and no further instrument of subordination shall be required; however, in confirmation of such subordination, Tenant shall execute and return to Landlord (or such other party designated by Landlord) within ten days of Landlord's request, such documentation, in recordable form if required, as a mortgagee or superior interest holder may reasonably request to evidence the subordination provisions of this Agreement in accordance with the terms of this Section. Tenant shall attorn to any party succeeding to Landlord's interest in the Property, whether by purchase, foreclosure, deed in lieu of foreclosure, power of sale, or otherwise, upon such party's request, and shall execute such agreements confirming such attornment as such party may reasonably request.

19. **Estoppel Certificates.** From time to time, Tenant shall furnish to any party designated by Landlord, within ten days of Landlord's request, a certificate signed by Tenant confirming and containing such factual certifications and representations as to this Agreement as Landlord may request, including the following facts: (a) this Agreement is in full force and effect, (b) the terms and provisions of this Agreement have not been changed, (c) not more than one monthly installment of the Lease Fee and other charges have been paid in advance, (d) there are no claims against Landlord nor any defenses or rights of offset against collection of the Lease Fee or other charges, (e) Landlord is not in default under this Agreement, and (f) any additional information as may be reasonably requested by Landlord.

20. **Notices.** Any notice given by Landlord or Tenant under this Agreement shall be in writing and shall be deemed to have been duly given when (a) personally delivered; or (b) three days after being deposited in the United States mail, certified or registered, return receipt requested, postage prepaid; or (c) one business day after being deposited with a nationally recognized overnight courier service, sent for and guaranteeing next business day delivery and in all instances to the addresses set forth below, or to such other address as a party hereunder may from time to time designate in a notice to the other party:

Tenant's Address for Notices:

Phoenicia Restaurant
588 S Old Woodward Ave
Birmingham, Michigan 48009
Attention: [Samy Eid]

Landlord's Address for Notices:

The 555 Building Condominium Association
555 S. Old Woodward Ave., Suite 705
Birmingham, Michigan 48009
Attn: John J. Reinhart

with required copies to:

Jaffe Raitt Heuer & Weiss, P.C.
27777 Franklin Road, Suite 2500
Southfield, Michigan 48226
Attn: Richard A. Zussman, Esq.

21. **Force Majeure**. Other than for Tenant's obligations under this Agreement that can be performed by the payment of money (e.g., payment of the Lease Fee and maintenance of insurance), whenever a period of time is herein prescribed for action to be taken by either party hereto, such party shall not be liable or responsible for, and there shall be excluded from the computation of any such period of time, any delays due to strikes, riots, acts of God, shortages of labor or materials, war, terrorist acts or activities, governmental laws, regulations, or restrictions, or any other causes of any kind whatsoever which are beyond the reasonable control of such party.

22. **Brokerage**. Neither Landlord nor Tenant has dealt with any broker or agent in connection with the negotiation or execution of this Agreement. Landlord and Tenant shall each indemnify, defend and hold the other harmless from and against all costs, expenses, reasonable attorneys' fees, liens and other liability for commissions or other compensation claimed by any broker or agent claiming the same by, through or under the indemnifying party in connection with this Agreement.

23. **Severability**. If any clause or provision of this Agreement is illegal, invalid, or unenforceable under present or future laws, then the remainder of this Agreement shall not be affected thereby and in lieu of such clause or provision, there shall be added as a part of this Agreement a clause or provision as similar in terms to such illegal, invalid, or unenforceable clause or provision as may be possible and be legal, valid, and enforceable.

24. **Amendments**. This Agreement may not be amended, except by an instrument in writing signed by Landlord and Tenant. The terms and conditions contained in this Agreement shall inure to the benefit of and be binding upon the parties hereto, and upon their respective successors in interest and legal representatives, except as otherwise herein expressly provided. This Agreement is for the sole benefit of Landlord and Tenant, and, other than Landlord's current or future mortgagee, if any, no third party shall be deemed a third party beneficiary hereof.

25. **Entire Agreement**. This Agreement constitutes the entire agreement between Landlord and Tenant regarding the subject matter hereof and supersedes all oral statements and prior writings relating thereto. Except for those set forth in this Agreement, no representations, warranties, or agreements have been made by Landlord or Tenant to the other with respect to this Agreement or the obligations of Landlord or Tenant in connection therewith. The normal rule of construction that any ambiguities be resolved against the drafting party shall not apply to the interpretation of this Agreement or any exhibits or amendments hereto. The captions and headings used throughout this Agreement are for convenience of reference only and shall not affect the interpretation of this Agreement.

26. **Waiver.** One or more waivers of any covenant or condition by a party shall not be construed as a waiver of a further breach of the same covenant or condition. No provision of this Agreement shall be deemed to have been waived by Landlord unless such waiver is in writing signed by Landlord, and no custom or practice which may evolve between the parties in the administration of the terms hereof shall waive or diminish the right of Landlord to insist upon the performance by Tenant in strict accordance with the terms hereof.

27. **No Representations or Warranties.** Landlord makes no representations or warranties of any kind with respect to the Property or the Premises. The Premises are hereby provided to Tenant in their “as-is” “where is” “with all faults” condition.

28. **Waiver of Jury Trial.** TO THE MAXIMUM EXTENT PERMITTED BY LAW, LANDLORD AND TENANT EACH WAIVE ANY RIGHT TO TRIAL BY JURY IN ANY LITIGATION OR TO HAVE A JURY PARTICIPATE IN RESOLVING ANY DISPUTE ARISING OUT OF OR WITH RESPECT TO THIS AGREEMENT OR ANY OTHER INSTRUMENT, DOCUMENT OR AGREEMENT EXECUTED OR DELIVERED IN CONNECTION HERewith OR THE TRANSACTIONS RELATED HERETO.

29. **Miscellaneous.** This Agreement will not be recorded by Tenant. Nothing contained in this Agreement is intended to be a gift or dedication of any portion of the Property to the general public or for any public use or purpose whatsoever. This Agreement is for the exclusive benefit of Tenant and Landlord, and nothing in this Agreement, express or implied, confers upon any person, other than Tenant and Landlord, any rights or remedies under or by reason of this Agreement.

30. **Applicable Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Michigan.

[Signature Page Follows]

**[SIGNATURE PAGE TO PARKING LEASE AGREEMENT BETWEEN
THE 555 BUILDING CONDOMINIUM ASSOCIATION AND BIRMINGHAM TOWER
PARTNERS, LLC]**

The undersigned have executed this Parking Lease Agreement as of the date first above written.

LANDLORD:

The 555 Building Condominium Association,
a Michigan nonprofit corporation

By: _____

Name: _____

Its: _____

TENANT:

Phoenicia Restaurant
a Michigan limited liability company

By: _____

Name: _____

Its: _____

Exhibit A

Legal Description of the Property

The land referred to in this policy, situated in the County of Oakland, City of Birmingham, State of Michigan, is described as follows:

Unit 1, THE 555 BUILDING CONDOMINIUM, according to the Master Deed recorded in Liber 39634, page 142, as amended, First Amendment to Master Deed recorded in Liber 43014, page 149 and Second Amendment to Master Deed recorded in Liber 47877, page 153, and designated as Oakland County Condominium Subdivision Plan No. 1955, together with rights in the general common elements and the limited common elements as shown on the Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

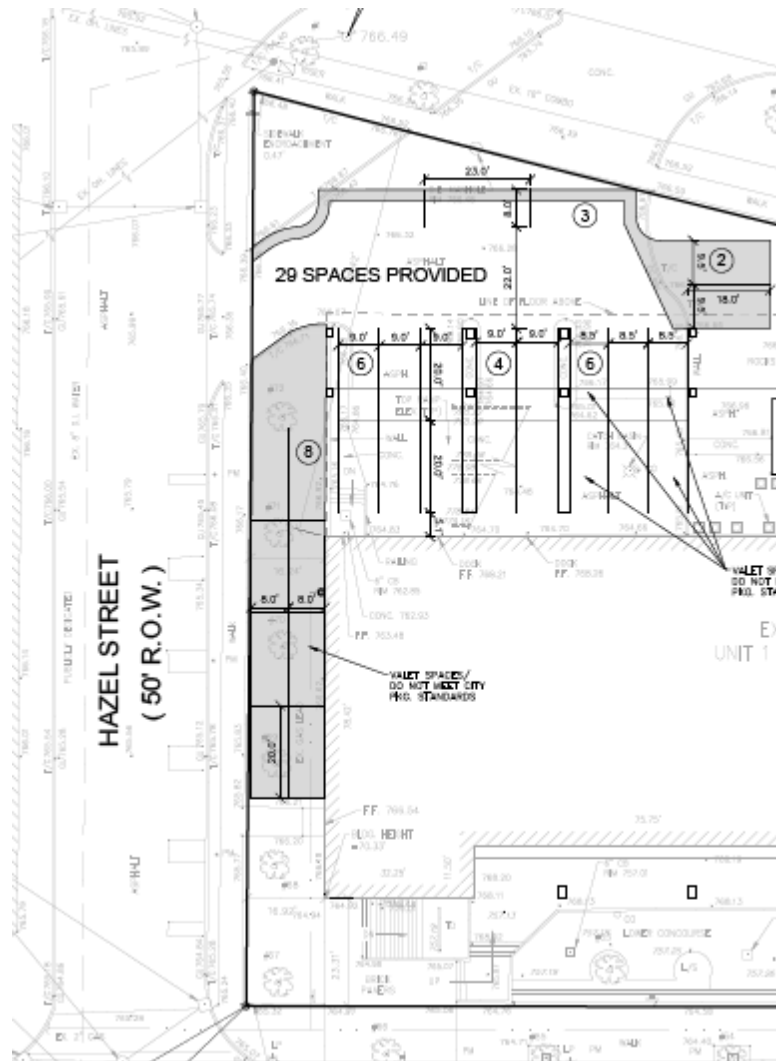
EASEMENT PARCEL:

Together with non-exclusive easements as created, limited and defined in that certain Declaration of Restrictions and Easements recorded in Liber 48031, page 425, Oakland County Records.

Exhibit B

Depiction of the Premises

[The below is only a general depiction of the Premises area, which is the area in the north and east of the Landlord's building. The parties will attach a more precise depiction of the Premises after all municipal approvals are obtained.]





Phoenicia Expansion - Parking Calculations:

Parking Required:	
Existing Restaurant	35.57
2,668 SF / 75 = 35.57	
Proposed Addition	18.41
1,381 SF / 75 = 18.41	

Total Parking Required: 54

Parking Provided:	
Surface	37
Shared/Excess Parking Agreement	17
Total Parking Provided:	54

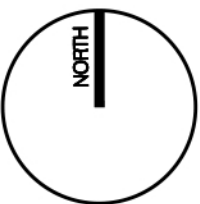
SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Phoenicia Expansion
588 South Old Woodward
Birmingham, Michigan 48009

Date: 3-29-22 **Issued For:** Site Plan Approval

Sheet No.:
A100
SITE PLAN

H&B
A100
Site Plan
SCALE: 1/8" = 1'-0"



- FAN #2 A2-D250-20D-MPU - HEATER
1. DIRECT GAS FIRED HEATED MAKE UP AIR UNIT WITH 20" DIRECT DRIVE FAN
 2. V-BANK TA FILTERS V/INTAKE HOOD WITH EZ FILTERS - OUTDOOR
 3. DOWN DISCHARGE - AIR FLOW RIGHT -> LEFT
 4. PROFILE PLATE CONFIGURATION FOR SIZE 2 DIRECT FIRED UNIT FOR LOW CFM APPLICATIONS.
 5. COOLING INTERLOCK RELAY. 24VAC COIL. 120V CONTACTS. LOCKS OUT BURNER CIRCUIT WHEN AC IS ENERGIZED.
 6. MOTORIZED BACK DRAFT DAMPER 22.75" X 24" FCM SIZE 2 STANDARD & MODULAR HEATER UNITS V/EXTENDED SHAFT, STANDARD GALVANIZED CONSTRUCTION, 3/4" REAR FLANGE, LOW LEAKAGE, LF120S ACTUATOR INCLUDED
 7. LOW FIRE START. ALLOWS THE BURNER CIRCUIT TO ENERGIZE WHEN THE MODULATION CONTROL IS IN A LOW FIRE POSITION.
 8. GAS PRESSURE GAUGE, 0-35" 2.5" DIAMETER, 1/4" THREAD SIZE
 9. GAS PRESSURE GAUGE, -5 TO +15 INCHES WC, 2.5" DIAMETER, 1/4" THREAD SIZE
 10. MIAMI DADE IMPACT AND WIND LOAD CERTIFICATION +30 / -130 PSF - MIAMI DADE COUNTY PRODUCT CONTROL APPROVED.
 11. FLORIDA BUILDING CODE APPROVAL. ROOF MOUNT EXHAUST CURBS UP TO 20" HIGH MUST BE 16 GAUGE ALUMINIZED.
 12. 5 TON, SINGLE CIRCUIT MODULAR PACKAGED AC COOLING OPTION FOR SIZE 2 BPEH MODULAR PACKAGED UNIT. INCLUDES CONDENSER, DX COIL, FILTER/DRYER KIT, THERMAL EXPANSION VALVE, R410A REFRIGERANT, AND REFRIGERANT PIPING (1,000 TO 2,750 CFM) NOT BUILT WITH OPPOSITE SIDE CONTROLS OR OPPOSITE AIRFLOW DIRECTION. CONDENSERS REQUIRE SEPARATE 460V, 3 PHASE POWER SUPPLY UNLESS ORDERED WITH SINGLE POINT CONNECTION. COIL = 3EY1102
 13. DOWNFURN FLEXUM FOR SIZE 2 COOLING COIL MODULE - REQUIRED FOR DOWN DISCHARGE COOLING COIL APPLICATIONS
 14. DX COOLING INTAKE AIR THERMOSTAT AND RELAYS MOUNTED IN UNIT - SET POINT FOR THERMOSTAT SHOULD BE 85°F.
 15. CURB DUCT HANGER - 1-1/4" ANGLE IRON FRAME WELDED TO CURB TO SUPPORT STANDARD SIZE DUCTWORK. PRICED PER CURB. ONLY AVAILABLE WHEN CURB ASSEMBLY IS ORDERED.
 16. MOUNT LOAD REACTOR IN FAN.
 17. SEPARATE 120VAC WIRING PACKAGE FOR MAKE-UP AIR UNITS. OPTION MUST BE SELECTED WHEN MOUNTING VFD IN PREVIRE PANEL OR WITH DCV PACKAGE. PROVIDES SEPARATE 120VAC INPUT TO SUPPLY FAN. THIS 120V SIGNAL MUST BE RUN BY ELECTRICIAN FROM DCV TO MAIN SWITCH.
 18. UNIT MOUNTED VFD FOR USE WITH ECM03
 19. HINGED DOUBLE WALL INSULATED DOOR ASSEMBLY (BURNER/BLOWER/MPU SECTION)

NOTE: SUPPLY DUCT MUST BE INSTALLED TO MEET SMACNA STANDARDS. A MINIMUM STRAIGHT DUCT LENGTH MUST BE MAINTAINED DOWNSTREAM OF UNIT DISCHARGE, AS OUTLINED IN AMCA PUBLICATION 203. DO NOT RELY ON UNIT TO SUPPORT DUCT IN ANY WAY. FAILURE TO PROPERLY SIZE DUCTWORK MAY CAUSE SYSTEM EFFECTS AND REDUCE PERFORMANCE OF THE EQUIPMENT. SUGGESTED STRAIGHT DUCT SIZE IS 20" X 20"

MAU- 1

SUPPLY SIDE HEATER INFORMATION:

WINTER TEMPERATURE = 42°F. TEMP. RISE = 40°F.
BTUS CALCULATED OFF ACTUAL AIR DENSITY
OUTPUT BTUS AT ALTITUDE OF 0.0 Ft. = 91112
INPUT BTUS AT ALTITUDE OF 0.0 Ft. = 99034
OUTPUT BTUS AT ALTITUDE OF 119 Ft. = 90721
INPUT BTUS AT ALTITUDE OF 119 Ft. = 98609

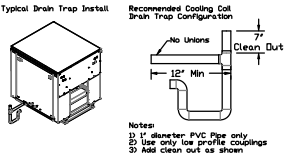
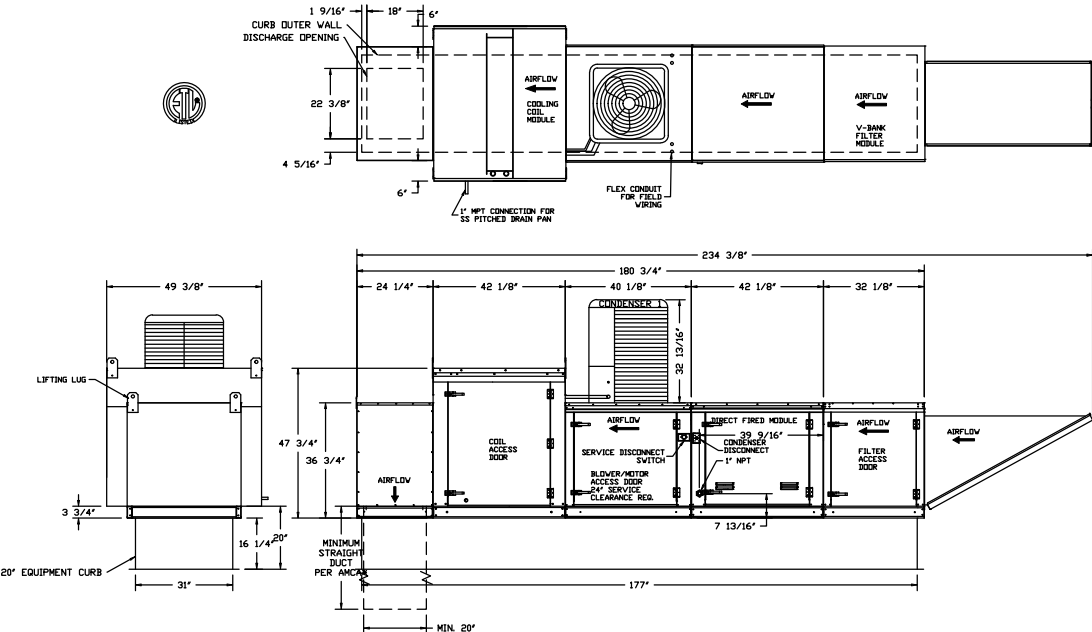


Direct Fired Gas Profile Plate Assembly

Notes:
1. The burner, blower, and filter modules are designed to be installed in the position of the burner, blower, and filter modules as shown in the diagram. The burner, blower, and filter modules are designed to be installed in the position of the burner, blower, and filter modules as shown in the diagram.

Notes:
2. The burner, blower, and filter modules are designed to be installed in the position of the burner, blower, and filter modules as shown in the diagram. The burner, blower, and filter modules are designed to be installed in the position of the burner, blower, and filter modules as shown in the diagram.

Notes:
3. The burner, blower, and filter modules are designed to be installed in the position of the burner, blower, and filter modules as shown in the diagram. The burner, blower, and filter modules are designed to be installed in the position of the burner, blower, and filter modules as shown in the diagram.



CAPTIVEAIRE

JOB # - Town Clubhouse	
LOCATION ORLANDO, FL, 32836	
DATE 3/11/2020	JOB # 4281335
DWG # 4	DRAWN BY
REV.	SCALE 3/16" = 1'-0"

Quick Reference Guide

Precedent™ - High Efficiency Cooling, Gas/Electric 3 to 10 Tons Packaged Roof- top Units



Model Number: Used With:

THC	High Efficiency Cooling Only (Electric Heat Optional)
YHC	High Efficiency Gas Heat Unit

March 2020

RT-PRC074E-EN

© 2020

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Table 1. List of factory installed options^(a)

0-50% Motorized outside air damper	LonTalk® Communication Interface (LCI)
Air-Fi® Wireless Communication Interface	Manual outside air damper
BACnet® Communication Interface (BCI-R)	MERV 8 filters
Barometric relief	MERV 13 filters
Belt drive motor	Multiple zone VAV (variable air volume)
Clogged filter switch	Multi-speed indoor fan system
CompleteCoat™ (microchannel condenser coil)	NOVAR 2024 controls
Condensate overflow switch	NOVAR 3051 controls without zone sensor
Dehumidification	NOVAR 3051 zone sensor
Demand control ventilation wiring	NOVAR return air sensor
Discharge air temperature sensing kit	Powered convenience outlet
Economizer - comparative enthalpy	ReliaTel™ controls
Economizer - dry bulb	Stainless steel drain pan
Economizer - low leak, dry bulb	Stainless steel heat exchanger
Economizer - reference enthalpy	Supply, return, and plenum air smoke detectors
Fan failure switch	Through-the-base electric provision
Fault detection & diagnostics (FDD): Meets CA Title 24 requirements	Through-the-base gas provision
Frostat™	Unit mounted circuit breaker
Hail guard	Unit mounted non-fused disconnect
Hinged access panels	Unpowered convenience outlet
Human interface - 5 inch color touchscreen	

(a) Verify option availability in product catalog.

2

RTU- 1

Table 2. High efficiency, 3 to 10 ton packaged rooftop performance data (cooling or gas)

Nominal Size (Tons)	3	4	5	6	6 Dual Compressors	7.5 Dual Compressors	8.5	10
Cooling Performance								
Supply Air (cfm) ^(a)	1,200	1,600	2,000	2,400	2,400	3,000	3,400	4,000
Tot / Sens Cap (MBh) ^{(b),(c)}	37.6/27.9	49.9/37.0	61.0/45.4	72/53	73.6/58.7	92/63.3	104/82	116/87
SEER/EER	15.0	15.0	15.0	12.6	13.1	12.6	12.5	12.4
IEER ^(d)	N/A	N/A	N/A	14.5	15.5	14.5	14.7	14.7
Gas Heating Performance^(d)								
Low Heat (Input/output) - (MBh)	60.0/48.0	60.0/49.0	60.0/49.0	80/64	150.0/121.5	120/96	120/96	150/120
Medium Heat (Input/output) - (MBh)	80.0/64.0	80.0/64.0	80.0/64.0	120/96	120.0/97.2	150/120	150/120	200/160
High Heat (Input/output) - (MBh)	120.0/96.0	120.0/97.2	130.0/104.0	150/120	80.0/64.8	200/160	200/160	250/200
Other Information								
Net Weight (Lbs) - Gas Heat	532	711	755	822	1016	1026	1035	1259
Net Weight (Lbs) - Electric Heat	480	642	679	740	918	928	937	1132
Roof Curb	BAYCURB042*		BAYCURB043*				BAYCURB044*	
Unit Cabinet Size	B		C				D	
Filters ^(f) - Type Furnished	Throwaway		Throwaway				Throwaway	
Number Size Recommended	(2) 20x30x2		(4) 16x25x2				(4) 20x25x2	

(a) Nominal cfm

(b) Cooling performance is rated at 80/67/95

(c) All units listed utilize 3-phase voltage

(d) SZVAV and multi-speed indoor fan system IEER 6T Dual - 16.0, 7.5T - 15.0, 8.5T - 15.5, 10T - 15.2. Two-stage gas heat standard on 6 ton dual compressor and above.

(e) BAYCURB044E available for 10 ton high efficiency only

(f) Optional 2" MERV 8 and MERV 13 filters also available

Table 3. Unit MCA & MOP electrical data (standard indoor fan motor) (cooling or gas^(a))

T/YHC	Volts	MCA	MOP
036	208-230/1	28.3	45
036	208-230/3	21.0	30
036	460/3	12.0	15
036	575/3	10.0	15
048	208-230/1	37.3	50
048	208-230/3	26.0	35
048	460/3	13.0	15
048	575/3	11.0	15
060	208-230/1	41.4	60
060	208-230/3	30.0	45
060	460/3	14.0	20
060	575/3	11.0	15
072	208-230/3	31.0	45
072	460/3	15.0	20
072	575/3	13.0	15
074	208-230/3	37.0	50
074	460/3	18.0	20
092	208-230/3	42.0	50
092	460/3	20.0	25
092	575/3	21.0	25
102	208-230/3	41.0	50
102	460/3	21.0	25
102	575/3	22.0	25
120	208-230/3	48.0	60
120	460/3	22.0	25
120	575/3	22.0	25

(a) For MCA/MOP of units with electric heat, refer to product catalog.

Table 4. Unit indoor fan data (cooling or gas)

T/YHC	Volts	Standard - HP - RPM	Oversize - HP - RPM
036	208-230/1 ^(a)	3/4 - MULT	—
036	208-230/3	1 - FIXED	—
036	460/1 ^(a)	3/4 - MULT	—
036	460/3	1 - FIXED	—
036	575/1 ^{(a)(b)}	3/4 - MULT	—
036	575/3	1 - FIXED	—
048	208-230/1 ^(a)	3/4 - MULT	—
048	208-230/3	1 - FIXED	—
048	460/1 ^(a)	3/4 - MULT	—
048	460/3	1 - FIXED	—
048	575/1 ^{(a)(b)}	3/4 - MULT	—
048	575/3	1 - FIXED	—
060	208-230/1 ^(a)	3/4 - MULT	—
060	208-230/3	1 - FIXED	—
060	460/1 ^(a)	3/4 - MULT	—
060	460/3	1 - FIXED	—
060	575/1 ^{(a)(b)}	3/4 - MULT	—
060	575/3	1 - FIXED	—
072	208-230/3	1 - 1725	2.0 - 1725
072	460/3	1 - 1725	2.0 - 1725
072	575/3	1.5 - 1725	2.0 - 1725
074	208/- 230/3	2.75 - MULT	—
074	460	2.75 - MULT	—
092	208-230/3 ^(a)	2.75 - MULT	—
092	460/3 ^(a)	2.75 - MULT	—
092	575/3 ^{(a)(c)}	2.75 - MULT	—
102	208-230/3 ^(a)	2.75 - MULT	—

Table 4. Unit indoor fan data (cooling or gas) (continued)

T/YHC	Volts	Standard - HP - RPM	Oversize - HP - RPM
102	460/3 ^(a)	2.75 - MULT	—
102	575/3 ^{(a)(c)}	2.75 - MULT	—
120	208-230/3 ^(a)	2.75 - MULT	—
120	460/3 ^(a)	2.75 - MULT	—
120	575/3 ^{(a)(c)}	2.75 - MULT	—

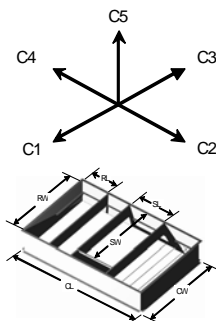
(a) Direct drive motor

(b) Powered through 575/230V transformer

(c) Powered through 575/480V transformer

RTU- 1**Table 5. Unit dimensional data**

	B	C	D	E
Unit Length UL	69 7/8	88 5/8	88 5/8	99 11/16
Unit Width UW	44 1/4	53 1/4	53 1/4	63 3/16
Unit Height UH	36 1/4	40 7/8	46 7/8	50 7/8
Clearance C1	48	48	48	48
Clearance C2	36	36	36	36
Clearance C3	36	36	36	36
Clearance C4	36	36	36	36
Clearance C5	72	72	72	72
Curb Length CL	65 13/16	84 1/2	84 1/2	84 1/2
Curb Width CW	41 7/16	50 3/8	50 3/8	60 3/8
Supply Length SL ^(a)	16 3/4	18 1/2	18 1/2	18 1/2
Supply Width SW ^(a)	17 7/8	34 3/8	34 3/8	34 3/8
Return Length RL ^(a)	14 9/16	18 1/4	18 1/4	18 1/4

**Table 5. Unit dimensional data (continued)**

	B	C	D	E
Return Width RW ^(a)	25 3/16	34 3/8	34 3/8	34 3/8

(a) Dimensions are for curb openings and not duct inserts. Reference the product catalog for duct insert dimensions.



Trane - by Trane Technologies (NYSE: TT), a global climate innovator - creates comfortable, energy efficient indoor environments for commercial and residential applications. For more information, please visit trane.com or tranetechnologies.com.

Trane has a policy of continuous product and product data improvement and reserves the right to change design and specifications without notice. We are committed to using environmentally conscious print practices.

Application

This LED wall mounted luminaire has directed light distribution and is designed for the general illumination of pathways, walkways, and plazas.

Materials

Luminaire housing constructed of die-cast marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy
White safety glass
Reflector made of pure anodized aluminum
Silicone applied robotically to casting, plasma treated for increased adhesion
High temperature silicone gasket
Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations
Protection class IP 65
Weight: 7.5 lbs

Electrical

Operating voltage	120-277V AC
Minimum start temperature	-40° C
LED module wattage	29.8 W
System wattage	34 W
Controllability	0-10V dimmable
Color rendering index	Ra > 80
Luminaire lumens	3558 lumens (3000K)
Lifetime at Ta = 15° C	>500,000 h (L70)
Lifetime at Ta = 40° C	162,000 h (L70)

LED color temperature

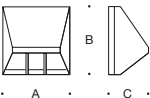
4000K - Product number + **K4**
3500K - Product number + **K35**
3000K - Product number + **K3**
2700K - Product number + **K27**

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors	Black (BLK)	White (WHT)	RAL:
	Bronze (BRZ)	Silver (SLV)	CUS:



LED wall luminaire · directed light				
	LED	A	B	C
22 260	29.8 W	11	11	5 7/8

Type:

BEGA Product:

Project:

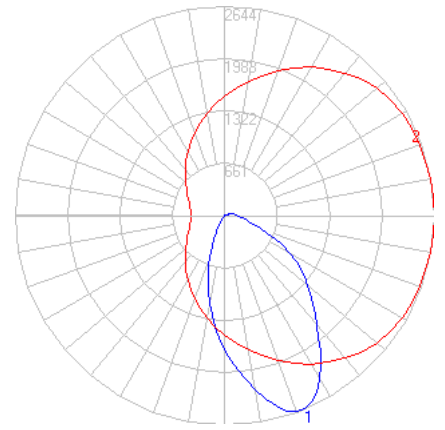
Modified:



BEGA

Photometric Filename: 22260.IES

TEST: BE_22260
TEST LAB: BEGA
DATE: 12/8/2016
LUMINAIRE: 22 260
LAMP: 29.8W LED



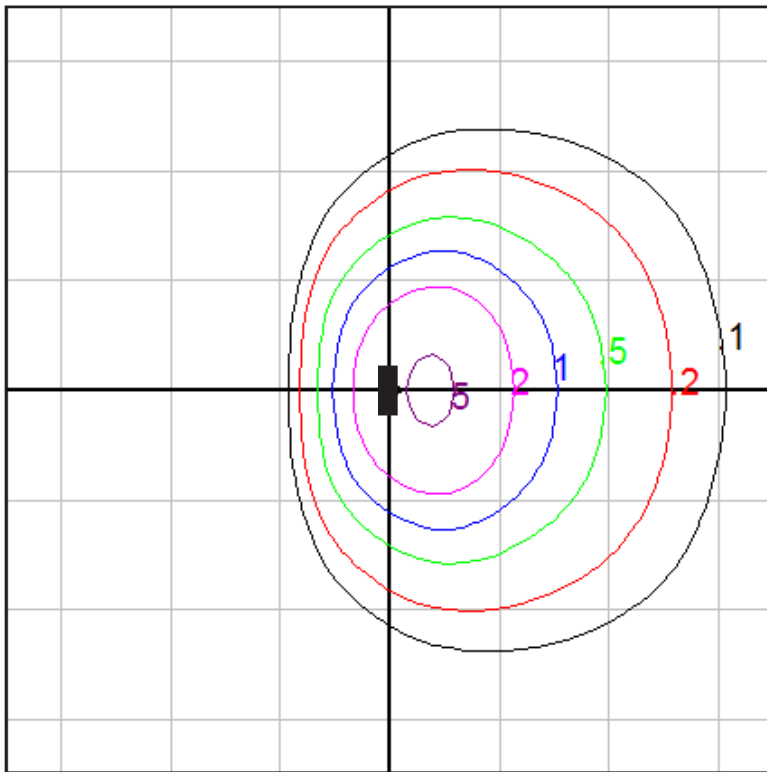
Characteristics

IES Classification	Type II
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	3558
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	105
Total Luminaire Watts	34
Ballast Factor	1.00
Upward Waste Light Ratio	0.01
Max. Cd.	2643.7 (0H, 22.5V)
Max. Cd. (<90 Vert.)	2643.7 (0H, 22.5V)
Max. Cd. (At 90 Deg. Vert.)	169.8 (4.8%Lum)
Max. Cd. (80 to <90 Deg. Vert.)	250.6 (7.0%Lum)
Cutoff Classification (deprecated)	N.A. (absolute)

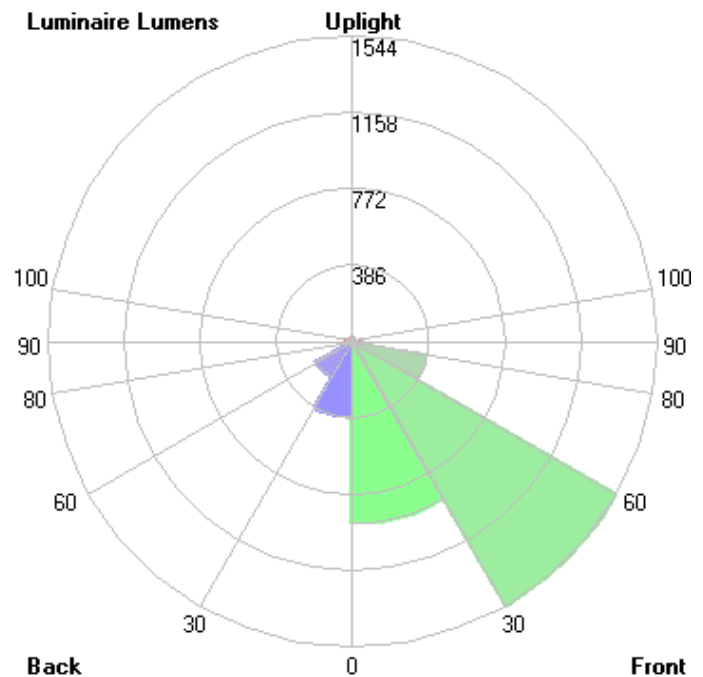
Lum. Classification System (LCS)

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	920.6	N.A.	25.9
FM (30-60)	1544.0	N.A.	43.4
FH (60-80)	382.0	N.A.	10.7
FVH (80-90)	59.0	N.A.	1.7
BL (0-30)	384.0	N.A.	10.8
BM (30-60)	210.7	N.A.	5.9
BH (60-80)	7.9	N.A.	0.2
BVH (80-90)	< 0.05	N.A.	0.0
UL (90-100)	31.5	N.A.	0.9
UH (100-180)	18.6	N.A.	0.5
Total	3558.3	N.A.	100.0

BUG Rating B1-U2-G1



Mounting Height = 20 ft. Grid Spacing = 15 ft.



In the interest of product improvement, BEGA reserves the right to make technical changes without notice.

BEGA 1000 Bega Way, Carpinteria, CA 93013 (805)684-0533 Fax (805)566-9474 www.bega-us.com © Copyright BEGA-US 2017

8/9/2017



D-Series Size 0 LED Area Luminaire



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

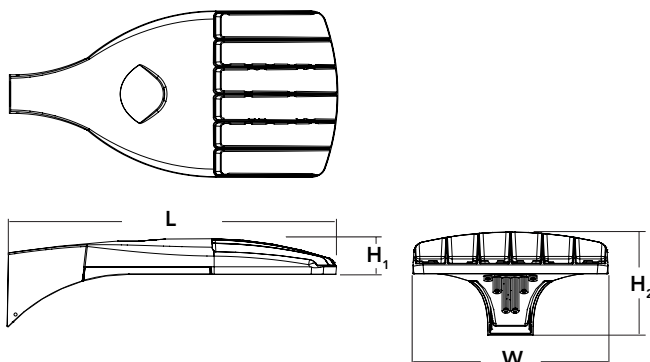
Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height ₁ :	3" (7.62 cm)
Height ₂ :	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED					
Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 ¹ P4 ¹ Rotated optics P10 ² P12 ² P11 ² P13 ^{1,2}	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short ³	T5S Type V short ³ T5M Type V medium ³ T5W Type V wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT (120V-277V) ^{5,6} XVOLT (277V-480V) ^{7,8,9} 120 ⁶ 208 ⁶ 240 ⁶ 277 ⁶ 347 ⁶ 480 ⁶
				Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²	

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{13,14} PIRHN Network, high/low motion/ambient sensor ¹⁵ PER NEMA twist-lock receptacle only (control ordered separate) ¹⁶ PER5 Five-pin receptacle only (control ordered separate) ^{16,17} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{16,17} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹⁸	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{19,20} PIRHN High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{19,20} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{19,20} PIRHN1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{19,20} FAO Field adjustable output ²¹	Shipped installed HS House-side shield ²² SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ² R90 Right rotated optics ² DDL Diffused drop lens ²² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²³ EGS External glare shield
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



Ordering Information

Accessories

Ordered and shipped separately.

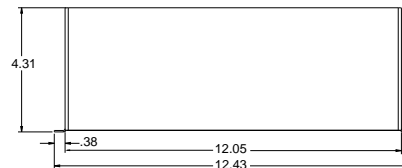
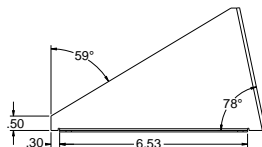
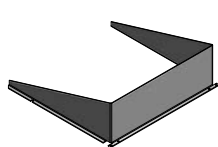
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁴
DSHORT SBK U	Shorting cap ²⁴
DSX0HS 20C U	House-side shield for P1,P2,P3 and P4 ²²
DSX0HS 30C U	House-side shield for P10,P11,P12 and P13 ²²
DSX0HS 40C U	House-side shield for P5,P6 and P7 ²²
DSX0DDL U	Diffused drop lens (polycarbonate) ²²
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ²⁵
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ¹²
DSX0EGS (FINISH) U	External glare shield

For more control options, visit [DTL](#) and [ROAM](#) online.
Link to [nLight Air 2](#)

NOTES

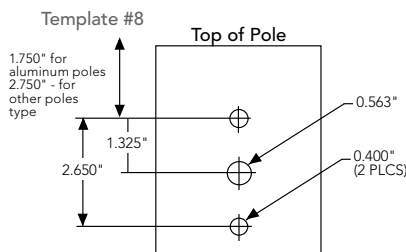
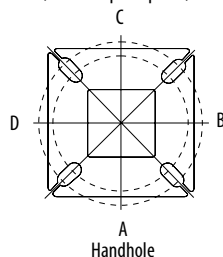
- HA not available with P4, P7, and P13.
- P10, P11, P12 and P13 and rotated options (L90 or R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS or DDL.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).
- XVOLT only suitable for use with P4, P7 and P13.
- XVOLT operates with any voltage between 277V and 480V.
- XVOLT not available with fusing (SF or DF) and not available with PIR, PIRH, PIR1FC3V, PIRH1FC3V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting brackets intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRHN.
- Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- Reference Controls Options table on page 4.
- Reference Motion Sensor Default Table on page 4 to see functionality.
- Not available with other dimming controls options.
- Not available with BLC, LCCO and RCCO distribution.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8

EGS – External Glare Shield



Drilling

HANDHOLE ORIENTATION (from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"		3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"		4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

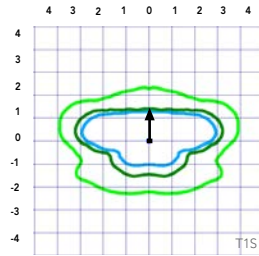
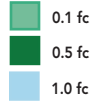
Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 LED	0.950	1.900	1.830	2.850	2.850	3.544

Photometric Diagrams

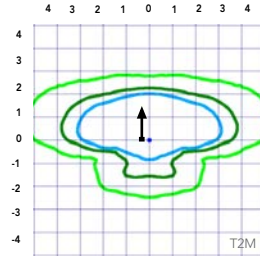
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 0 homepage](#).

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').

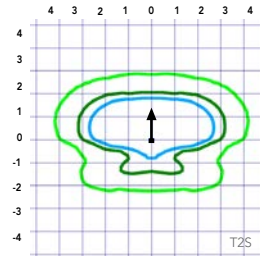
LEGEND



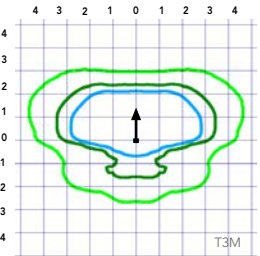
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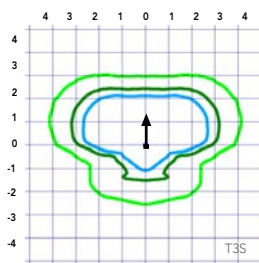
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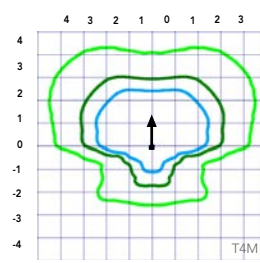
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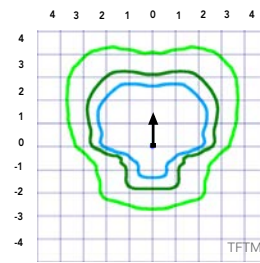
Test No. LTL23451P25 tested in accordance with IESNA LM-79-08.



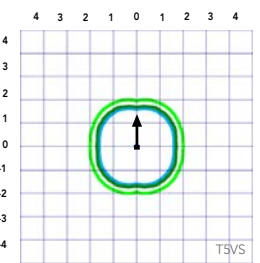
Test No. LTL23451P25 tested in accordance with IESNA LM-79-08.



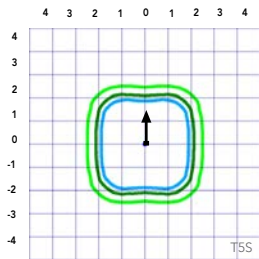
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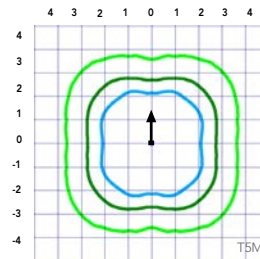
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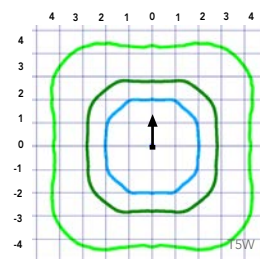
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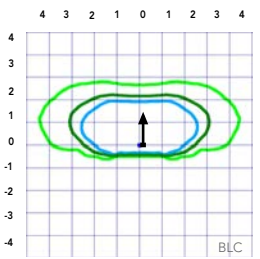
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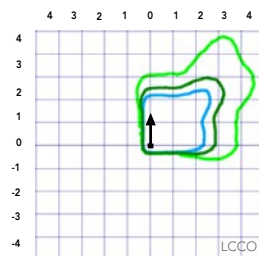
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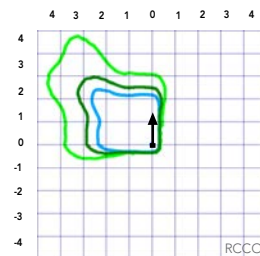
Test No. LTL23451P25 tested in accordance with IESNA LM-79-08.



Test No.



Test No.



Test No.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
25,000	0.96
50,000	0.92
100,000	0.85

Motion Sensor Default Settings						
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use when motion sensor is used as dusk to dawn control.

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.

Electrical Load

					Current (A)					
	Performance Package	LED Count	Drive Current	Wattage	120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	20	530	38	0.32	0.18	0.15	0.15	0.10	0.08
	P2	20	700	49	0.41	0.23	0.20	0.19	0.14	0.11
	P3	20	1050	71	0.60	0.37	0.32	0.27	0.21	0.15
	P4	20	1400	92	0.77	0.45	0.39	0.35	0.28	0.20
	P5	40	700	89	0.74	0.43	0.38	0.34	0.26	0.20
	P6	40	1050	134	1.13	0.65	0.55	0.48	0.39	0.29
	P7	40	1300	166	1.38	0.80	0.69	0.60	0.50	0.37
Rotated Optics (Requires L90 or R90)	P10	30	530	53	0.45	0.26	0.23	0.21	0.16	0.12
	P11	30	700	72	0.60	0.35	0.30	0.27	0.20	0.16
	P12	30	1050	104	0.88	0.50	0.44	0.39	0.31	0.23
	P13	30	1300	128	1.08	0.62	0.54	0.48	0.37	0.27

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	20	530	38W	T1S	4,369	1	0	1	115	4,706	1	0	1	124	4,766	1	0	1	125
				T2S	4,364	1	0	1	115	4,701	1	0	1	124	4,761	1	0	1	125
				T2M	4,387	1	0	1	115	4,726	1	0	1	124	4,785	1	0	1	126
				T3S	4,248	1	0	1	112	4,577	1	0	1	120	4,634	1	0	1	122
				T3M	4,376	1	0	1	115	4,714	1	0	1	124	4,774	1	0	1	126
				T4M	4,281	1	0	1	113	4,612	1	0	2	121	4,670	1	0	2	123
				TFTM	4,373	1	0	1	115	4,711	1	0	2	124	4,771	1	0	2	126
				TSVS	4,548	2	0	0	120	4,900	2	0	0	129	4,962	2	0	0	131
				TSS	4,552	2	0	0	120	4,904	2	0	0	129	4,966	2	0	0	131
				TSM	4,541	3	0	1	120	4,891	3	0	1	129	4,953	3	0	1	130
				TSW	4,576	3	0	2	120	4,929	3	0	2	130	4,992	3	0	2	131
				BLC	3,586	1	0	1	94	3,863	1	0	1	102	3,912	1	0	1	103
				LCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77
				RCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77
P2	20	700	49W	T1S	5,570	1	0	1	114	6,001	1	0	1	122	6,077	2	0	2	124
				T2S	5,564	1	0	2	114	5,994	1	0	2	122	6,070	2	0	2	124
				T2M	5,593	1	0	1	114	6,025	1	0	1	123	6,102	1	0	1	125
				T3S	5,417	1	0	2	111	5,835	1	0	2	119	5,909	2	0	2	121
				T3M	5,580	1	0	2	114	6,011	1	0	2	123	6,087	1	0	2	124
				T4M	5,458	1	0	2	111	5,880	1	0	2	120	5,955	1	0	2	122
				TFTM	5,576	1	0	2	114	6,007	1	0	2	123	6,083	1	0	2	124
				TSVS	5,799	2	0	0	118	6,247	2	0	0	127	6,327	2	0	0	129
				TSS	5,804	2	0	0	118	6,252	2	0	0	128	6,332	2	0	1	129
				TSM	5,789	3	0	1	118	6,237	3	0	1	127	6,316	3	0	1	129
				TSW	5,834	3	0	2	119	6,285	3	0	2	128	6,364	3	0	2	130
				BLC	4,572	1	0	1	93	4,925	1	0	1	101	4,987	1	0	1	102
				LCCO	3,402	1	0	2	69	3,665	1	0	2	75	3,711	1	0	2	76
				RCCO	3,402	1	0	2	69	3,665	1	0	2	75	3,711	1	0	2	76
P3	20	1050	71W	T1S	7,833	2	0	2	110	8,438	2	0	2	119	8,545	2	0	2	120
				T2S	7,825	2	0	2	110	8,429	2	0	2	119	8,536	2	0	2	120
				T2M	7,865	2	0	2	111	8,473	2	0	2	119	8,580	2	0	2	121
				T3S	7,617	2	0	2	107	8,205	2	0	2	116	8,309	2	0	2	117
				T3M	7,846	2	0	2	111	8,452	2	0	2	119	8,559	2	0	2	121
				T4M	7,675	2	0	2	108	8,269	2	0	2	116	8,373	2	0	2	118
				TFTM	7,841	2	0	2	110	8,447	2	0	2	119	8,554	2	0	2	120
				TSVS	8,155	3	0	0	115	8,785	3	0	0	124	8,896	3	0	0	125
				TSS	8,162	3	0	1	115	8,792	3	0	1	124	8,904	3	0	1	125
				TSM	8,141	3	0	2	115	8,770	3	0	2	124	8,881	3	0	2	125
				TSW	8,204	3	0	2	116	8,838	4	0	2	124	8,950	4	0	2	126
				BLC	6,429	1	0	2	91	6,926	1	0	2	98	7,013	1	0	2	99
				LCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73
				RCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73
P4	20	1400	92W	T1S	9,791	2	0	2	106	10,547	2	0	2	115	10,681	2	0	2	116
				T2S	9,780	2	0	2	106	10,536	2	0	2	115	10,669	2	0	2	116
				T2M	9,831	2	0	2	107	10,590	2	0	2	115	10,724	2	0	2	117
				T3S	9,521	2	0	2	103	10,256	2	0	2	111	10,386	2	0	2	113
				T3M	9,807	2	0	2	107	10,565	2	0	2	115	10,698	2	0	2	116
				T4M	9,594	2	0	2	104	10,335	2	0	3	112	10,466	2	0	3	114
				TFTM	9,801	2	0	2	107	10,558	2	0	2	115	10,692	2	0	2	116
				TSVS	10,193	3	0	1	111	10,981	3	0	1	119	11,120	3	0	1	121
				TSS	10,201	3	0	1	111	10,990	3	0	1	119	11,129	3	0	1	121
				TSM	10,176	4	0	2	111	10,962	4	0	2	119	11,101	4	0	2	121
				TSW	10,254	4	0	3	111	11,047	4	0	3	120	11,186	4	0	3	122
				BLC	8,036	1	0	2	87	8,656	1	0	2	94	8,766	1	0	2	95
				LCCO	5,979	1	0	2	65	6,441	1	0	2	70	6,523	1	0	3	71
				RCCO	5,979	1	0	2	65	6,441	1	0	2	70	6,523	1	0	3	71

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P5	40	700	89W	T1S	10,831	2	0	2	122	11,668	2	0	2	131	11,816	2	0	2	133
				T2S	10,820	2	0	2	122	11,656	2	0	2	131	11,803	2	0	2	133
				T2M	10,876	2	0	2	122	11,716	2	0	2	132	11,864	2	0	2	133
				T3S	10,532	2	0	2	118	11,346	2	0	2	127	11,490	2	0	2	129
				T3M	10,849	2	0	2	122	11,687	2	0	2	131	11,835	2	0	2	133
				T4M	10,613	2	0	3	119	11,434	2	0	3	128	11,578	2	0	3	130
				TFTM	10,842	2	0	2	122	11,680	2	0	2	131	11,828	2	0	2	133
				TSVS	11,276	3	0	1	127	12,148	3	0	1	136	12,302	3	0	1	138
				TSS	11,286	3	0	1	127	12,158	3	0	1	137	12,312	3	0	1	138
				TSM	11,257	4	0	2	126	12,127	4	0	2	136	12,280	4	0	2	138
				TSW	11,344	4	0	3	127	12,221	4	0	3	137	12,375	4	0	3	139
				BLC	8,890	1	0	2	100	9,576	1	0	2	108	9,698	1	0	2	109
				LCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81
				RCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81
P6	40	1050	134W	T1S	14,805	3	0	3	110	15,949	3	0	3	119	16,151	3	0	3	121
				T2S	14,789	3	0	3	110	15,932	3	0	3	119	16,134	3	0	3	120
				T2M	14,865	3	0	3	111	16,014	3	0	3	120	16,217	3	0	3	121
				T3S	14,396	3	0	3	107	15,509	3	0	3	116	15,705	3	0	3	117
				T3M	14,829	2	0	3	111	15,975	3	0	3	119	16,177	3	0	3	121
				T4M	14,507	2	0	3	108	15,628	3	0	3	117	15,826	3	0	3	118
				TFTM	14,820	2	0	3	111	15,965	3	0	3	119	16,167	3	0	3	121
				TSVS	15,413	4	0	1	115	16,604	4	0	1	124	16,815	4	0	1	125
				TSS	15,426	3	0	1	115	16,618	4	0	1	124	16,828	4	0	1	126
				TSM	15,387	4	0	2	115	16,576	4	0	2	124	16,786	4	0	2	125
				TSW	15,506	4	0	3	116	16,704	4	0	3	125	16,915	4	0	3	126
				BLC	12,151	1	0	2	91	13,090	1	0	2	98	13,255	1	0	2	99
				LCCO	9,041	1	0	3	67	9,740	1	0	3	73	9,863	1	0	3	74
				RCCO	9,041	1	0	3	67	9,740	1	0	3	73	9,863	1	0	3	74
P7	40	1300	166W	T1S	17,023	3	0	3	103	18,338	3	0	3	110	18,570	3	0	3	112
				T2S	17,005	3	0	3	102	18,319	3	0	3	110	18,551	3	0	3	112
				T2M	17,092	3	0	3	103	18,413	3	0	3	111	18,646	3	0	3	112
				T3S	16,553	3	0	3	100	17,832	3	0	3	107	18,058	3	0	3	109
				T3M	17,051	3	0	3	103	18,369	3	0	3	111	18,601	3	0	3	112
				T4M	16,681	3	0	3	100	17,969	3	0	3	108	18,197	3	0	3	110
				TFTM	17,040	3	0	3	103	18,357	3	0	4	111	18,590	3	0	4	112
				TSVS	17,723	4	0	1	107	19,092	4	0	1	115	19,334	4	0	1	116
				TSS	17,737	4	0	2	107	19,108	4	0	2	115	19,349	4	0	2	117
				TSM	17,692	4	0	2	107	19,059	4	0	2	115	19,301	4	0	2	116
				TSW	17,829	5	0	3	107	19,207	5	0	3	116	19,450	5	0	3	117
				BLC	13,971	2	0	2	84	15,051	2	0	2	91	15,241	2	0	2	92
				LCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68
				RCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P10	30	530	53W	T1S	6,727	2	0	2	127	7,247	3	0	3	137	7,339	3	0	3	138
				T2S	6,689	3	0	3	126	7,205	3	0	3	136	7,297	3	0	3	138
				T2M	6,809	3	0	3	128	7,336	3	0	3	138	7,428	3	0	3	140
				T3S	6,585	3	0	3	124	7,094	3	0	3	134	7,183	3	0	3	136
				T3M	6,805	3	0	3	128	7,331	3	0	3	138	7,424	3	0	3	140
				T4M	6,677	3	0	3	126	7,193	3	0	3	136	7,284	3	0	3	137
				TFTM	6,850	3	0	3	129	7,379	3	0	3	139	7,472	3	0	3	141
				TSVS	6,898	3	0	0	130	7,431	3	0	0	140	7,525	3	0	0	142
				TSS	6,840	2	0	1	129	7,368	2	0	1	139	7,461	2	0	1	141
				TSM	6,838	3	0	1	129	7,366	3	0	2	139	7,460	3	0	2	141
				TSW	6,777	3	0	2	128	7,300	3	0	2	138	7,393	3	0	2	139
				BLC	5,626	2	0	2	106	6,060	2	0	2	114	6,137	2	0	2	116
				LCCO	4,018	1	0	2	76	4,328	1	0	2	82	4,383	1	0	2	83
				RCCO	4,013	3	0	3	76	4,323	3	0	3	82	4,377	3	0	3	83
P11	30	700	72W	T1S	8,594	3	0	3	119	9,258	3	0	3	129	9,376	3	0	3	130
				T2S	8,545	3	0	3	119	9,205	3	0	3	128	9,322	3	0	3	129
				T2M	8,699	3	0	3	121	9,371	3	0	3	130	9,490	3	0	3	132
				T3S	8,412	3	0	3	117	9,062	3	0	3	126	9,177	3	0	3	127
				T3M	8,694	3	0	3	121	9,366	3	0	3	130	9,484	3	0	3	132
				T4M	8,530	3	0	3	118	9,189	3	0	3	128	9,305	3	0	3	129
				TFTM	8,750	3	0	3	122	9,427	3	0	3	131	9,546	3	0	3	133
				TSVS	8,812	3	0	0	122	9,493	3	0	0	132	9,613	3	0	0	134
				TSS	8,738	3	0	1	121	9,413	3	0	1	131	9,532	3	0	1	132
				TSM	8,736	3	0	2	121	9,411	3	0	2	131	9,530	3	0	2	132
				TSW	8,657	4	0	2	120	9,326	4	0	2	130	9,444	4	0	2	131
				BLC	7,187	3	0	3	100	7,742	3	0	3	108	7,840	3	0	3	109
				LCCO	5,133	1	0	2	71	5,529	1	0	2	77	5,599	1	0	2	78
				RCCO	5,126	3	0	3	71	5,522	3	0	3	77	5,592	3	0	3	78
P12	30	1050	104W	T1S	12,149	3	0	3	117	13,088	3	0	3	126	13,253	3	0	3	127
				T2S	12,079	4	0	4	116	13,012	4	0	4	125	13,177	4	0	4	127
				T2M	12,297	3	0	3	118	13,247	3	0	3	127	13,415	3	0	3	129
				T3S	11,891	4	0	4	114	12,810	4	0	4	123	12,972	4	0	4	125
				T3M	12,290	3	0	3	118	13,239	4	0	4	127	13,407	4	0	4	129
				T4M	12,058	4	0	4	116	12,990	4	0	4	125	13,154	4	0	4	126
				TFTM	12,369	4	0	4	119	13,325	4	0	4	128	13,494	4	0	4	130
				TSVS	12,456	3	0	1	120	13,419	3	0	1	129	13,589	4	0	1	131
				TSS	12,351	3	0	1	119	13,306	3	0	1	128	13,474	3	0	1	130
				TSM	12,349	4	0	2	119	13,303	4	0	2	128	13,471	4	0	2	130
				TSW	12,238	4	0	3	118	13,183	4	0	3	127	13,350	4	0	3	128
				BLC	10,159	3	0	3	98	10,944	3	0	3	105	11,083	3	0	3	107
				LCCO	7,256	1	0	3	70	7,816	1	0	3	75	7,915	1	0	3	76
				RCCO	7,246	3	0	3	70	7,806	4	0	4	75	7,905	4	0	4	76
P13	30	1300	128W	T1S	14,438	3	0	3	113	15,554	3	0	3	122	15,751	3	0	3	123
				T2S	14,355	4	0	4	112	15,465	4	0	4	121	15,660	4	0	4	122
				T2M	14,614	3	0	3	114	15,744	4	0	4	123	15,943	4	0	4	125
				T3S	14,132	4	0	4	110	15,224	4	0	4	119	15,417	4	0	4	120
				T3M	14,606	4	0	4	114	15,735	4	0	4	123	15,934	4	0	4	124
				T4M	14,330	4	0	4	112	15,438	4	0	4	121	15,633	4	0	4	122
				TFTM	14,701	4	0	4	115	15,836	4	0	4	124	16,037	4	0	4	125
				TSVS	14,804	4	0	1	116	15,948	4	0	1	125	16,150	4	0	1	126
				TSS	14,679	3	0	1	115	15,814	3	0	1	124	16,014	3	0	1	125
				TSM	14,676	4	0	2	115	15,810	4	0	2	124	16,010	4	0	2	125
				TSW	14,544	4	0	3	114	15,668	4	0	3	122	15,866	4	0	3	124
				BLC	7,919	3	0	3	62	8,531	3	0	3	67	8,639	3	0	3	67
				LCCO	5,145	1	0	2	40	5,543	1	0	2	43	5,613	1	0	2	44
				RCCO	5,139	3	0	3	40	5,536	3	0	3	43	5,606	3	0	3	44

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C to 50°C ambient with HA option. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

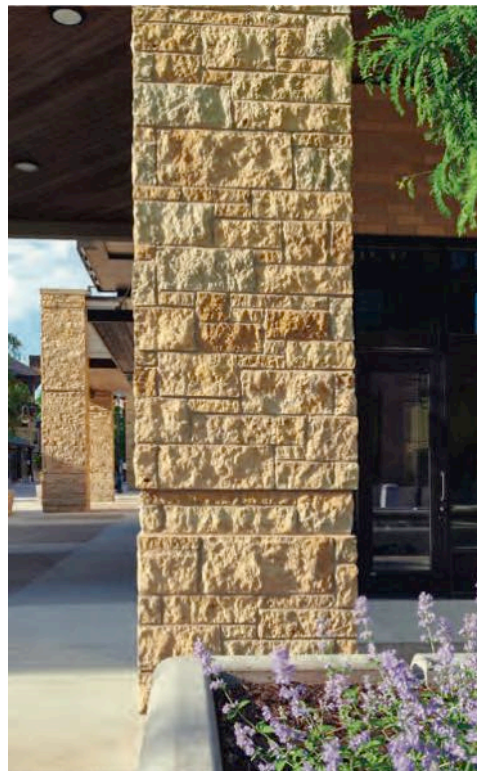
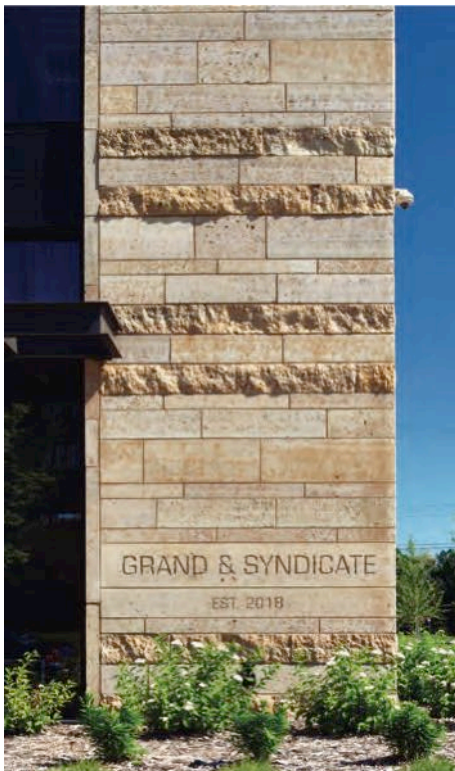
5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

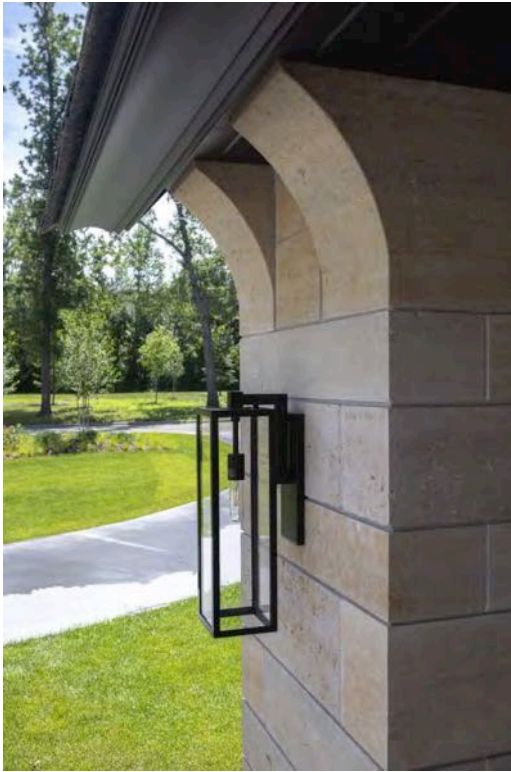
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



MASONRY COLLECTION

All three of our exciting premium masonry collections are available in a traditional 3 5/8" full bed veneer or a ~1" thin stone. This versatility is suitable for any application whether it's interior or exterior, residential, commercial or institutional applications.





COURSE HEIGHTS:

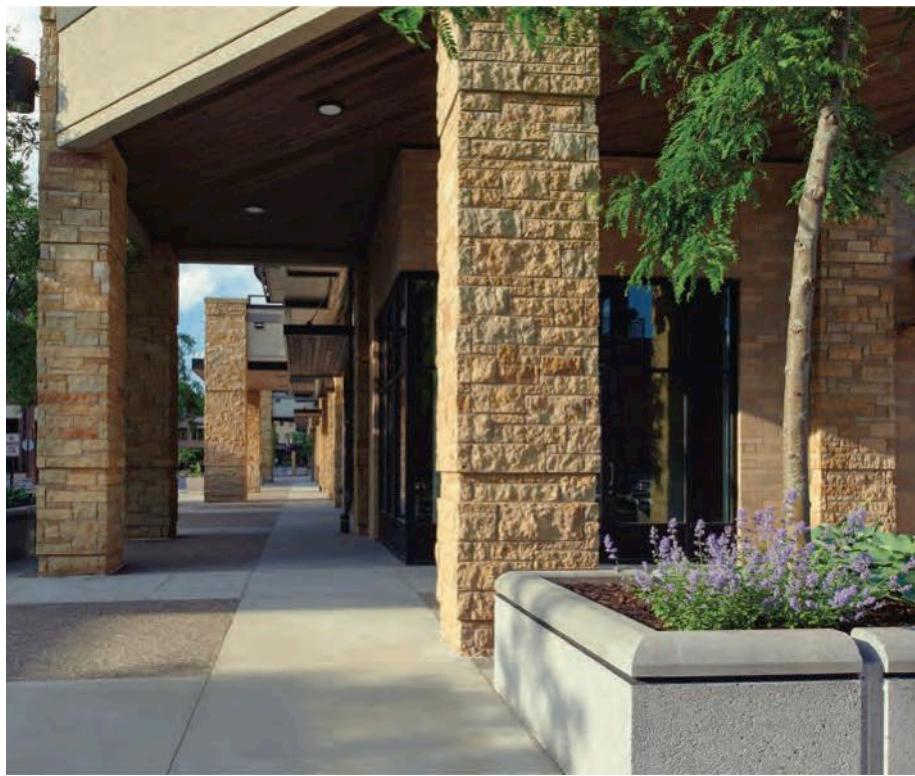
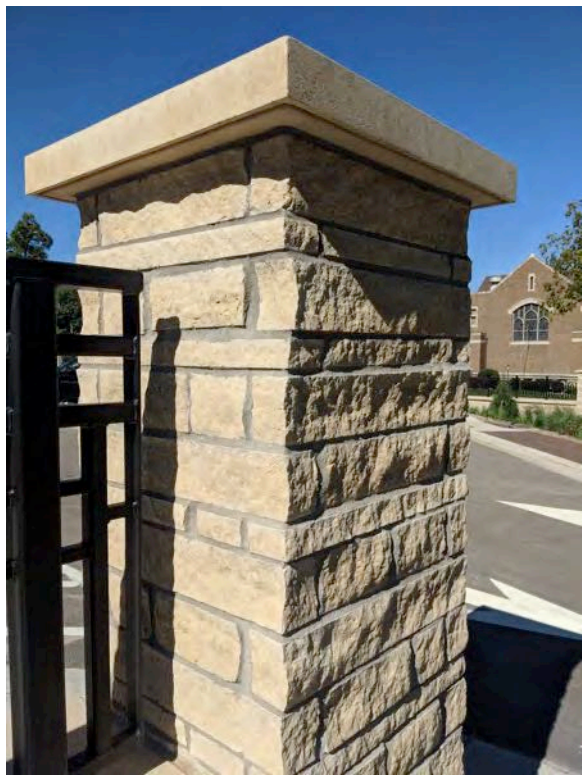
← Course Height to match existing

- 2 1/8", 4 7/8", 7 1/2", and 10 1/8"
- 8" to 44" random lengths
- Sawn face and all sides.

COLORS:

- Amber Select
- Grey
- Kasota Blend





COURSE HEIGHTS:

- 2 1/8", 4 7/8", 7 1/2", and 10 1/8"
- 8" to 44" random lengths
- Split front
- Sawn top and bottom
- Ends broken or sawn

COLORS:

- Amber Select
- Grey
- Kasota Blend



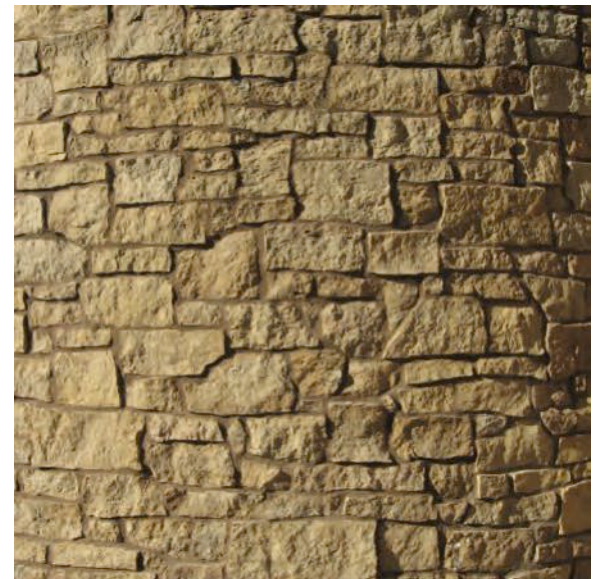


COURSE HEIGHTS:

- 2" to 5", 5" to 8", and 8" to 12"
- 8" to 44" random lengths
- Split front, tops, bottoms & ends.

COLORS:

- Amber Select
- Grey
- Kasota Blend



WANT MORE?

Let's connect and get you what you need!

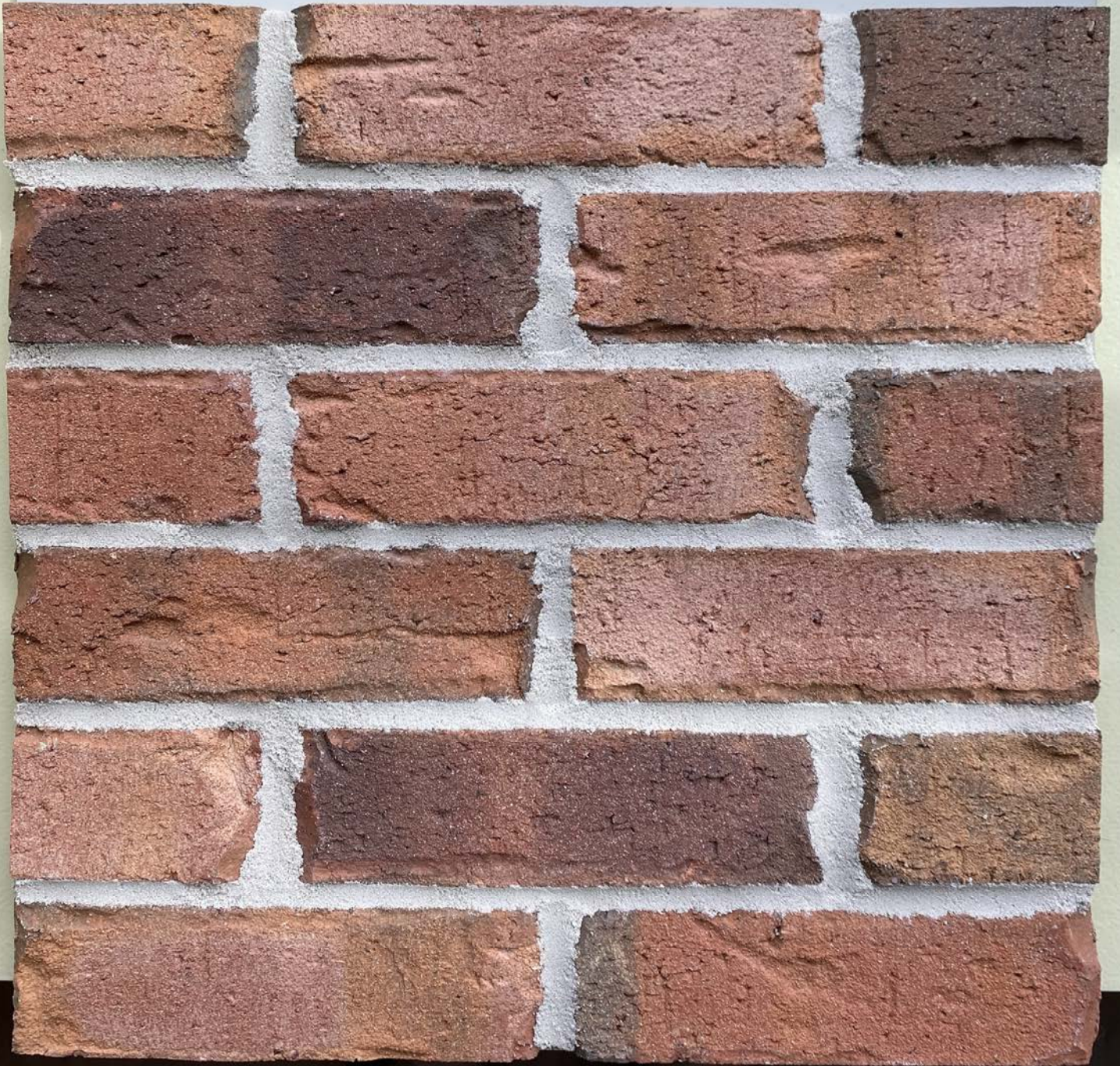
Whether that's product samples, more information or seeing how we fit into your next project - we are always here to help.

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BRICKTECH
ARCHITECTURAL

Architectural Brick
GGBC
Old Moss
Grey Mortar
(Painted to match existing)



TECHNICAL

GLASS GUIDE

30

ENGINEERING THE FUTURE OF GLASS

CARDINAL 
Glass Industries

Energy Terminology

Center of Glass

Values that do not take into account the effects of the window frame or sash. Center of Glass values are the properties of the glass or insulating glass unit only.

Condensation Resistance

(CR) measures how well a window resists the formation of condensation on the inside surface. CR is expressed as a number between 1 and 100. The rating value is based on interior surface temperatures at 30%, 50% and 70% indoor relative humidity for a given outside air temperature of 0 ° Fahrenheit under 15 mph wind conditions. The higher the number, the better a product is able to resist condensation. CR is meant to compare products and their potential for condensation formation.

ISO-CIE Function

A method for calculating damage-weighted transmittance developed by the International Standards Organization (ISO), which uses a weighting function recommended by the International Commission on Illumination (CIE). This method assigns a specific damage weighted transmittance to each wavelength of UV and visible light according to its contribution to the fading of materials and fabrics. Its spectral range is from 300 to about 700 nm.

Outdoor Visible Light Reflectance

In the visible spectrum, the percentage of light that is reflected from the glass surface(s) relative to the CIE Standard Observer.

Relative-Heat Gain (RHG)

The total amount of heat gain through a glazing system at NFRC (National Fenestration Rating Council) and ASHRAE (American Society of Heating, Refrigerating and Air-Conditioning Engineers) specified summer conditions, incorporating the U-Factor and the solar heat gain coefficient (SHGC). The conditions are 230 BTU/hr/ft² (726 W/m²) outdoor temperature of 89 °F (32 °C), indoor temperature of 75 °F (24 °C) and 6.2 mph (2.8 m/s) wind (RHG = U_{summer} x (89-75) + SHGC x (230). Expressed in terms of BTU/hr/ft².

R-Value

The thermal resistance of a glazing system expressed in hr•ft²•°F/BTU. R-Value is the reciprocal of U-Factor, R=1/U. The higher the R-Value, the less heat is transmitted through the glazing material. R-Values are not listed in this document.

Sightline

The area of the IGU that is not transparent due to the presence of the spacer and sealants.

Glass Surfaces

The industry convention is to label the outermost, outdoors-facing surface as #1 and then work sequentially toward the final indoors-facing surface.

Solar Radiation Reflected

In the solar spectrum (300 to 2,500 nm), the percentage of solar energy that is reflected from the glass surface(s).

Solar Radiation Transmitted

In the solar spectrum (300 to 2500 nm), the percentage of ultraviolet, visible and near infrared energy that is transmitted through the glass.

Solar Heat Gain Coefficient (SHGC)

The fraction of incident solar radiation that enters a building as heat. It is based on the sum of the solar energy transmittance, plus the inwardly flowing fraction of absorbed solar energy on all lites of the glazing.

Dimensionless and varying between 0 and 1, the smaller the number, the better the glazing is at preventing solar gain.

U-Factor

The heat flow rate through a given construction, expressed in BTU/hr/ft²•°F (W/m²•°C). The lower the U-Factor, the less heat is transmitted through the glazing material. Values given for summer day-time are calculated for outside air temperature at 89 °F (32 °C), outside air velocity at 6.2 mph (2.8 m/s), and inside air temperature of 75 °F (24 °C), and a solar intensity of 248 BTU/hr/ft² (783 W/m²). Winter nighttime U-Factors are calculated for outside air temperature at 0 °F (-18 °C), outside air velocity at 12.3 mph (5.5 m/s) and a solar intensity of 0 BTU/hr/ft² (0 W/m²). Unless otherwise noted, all U-factors provided use winter nighttime conditions.

Ultraviolet Light

In a portion of the solar spectrum (300 to 380 nm), the energy that accounts for the majority of fading of materials and furnishings.

Visible Indoor Reflectance

The percentage of visible light that is reflected from the glass surface(s) to the inside of the building. It is better to have a low visible indoor reflectance to enhance visibility when viewing objects outdoors in overcast or nighttime sky conditions.

Visible Light Transmittance

In the visible spectrum (380 to 780 nm), the percentage of light that is transmitted through the glass relative to the CIE Standard Observer.

U.S. CUSTOMARY TO METRIC CONVERSION TABLE		
To Convert U.S. Customary Units	To Metric	Multiply By
Inches (in)	Millimeters (mm)	25.4
Feet (ft)	Meters (m)	0.305
Square inches (in ²)	Square millimeters (mm ²)	645
Square feet (ft ²)	Square meters (m ²)	0.093
Pounds (lb)	Kilograms (kg)	0.453
Pounds force (lbf)	Newtons (N)	4.45
Pounds force/in (lbf/in)	Newtons/meter (N/m)	175
Pounds force/inch ² (lbf/in ²)	Kilopascals (kPa)	6.89
Pounds force/foot ² (lbf/ft ²)	Kilopascals (kPa)	0.048
BTU/hr	Watts (W)	0.293
BTU/hr-ft ² •°F	W/m ² •°C	5.678
BTU/hr-ft ²	W/m ²	3.15

Figure 2-1

Optical Properties of IG Units

The Optical Properties data shown below can be used to compare performance data on the insulating glass constructions listed.

The visible data given below indicate the amount of visible light transmitted and reflected by the insulating glass construction relative to the CIE Standard Observer.

Solar heat gain coefficient (SHGC) data points indicate the amount of solar gain obtained with the insulating glass construction. The lower the SHGC value,

the better the product is at reducing solar gain, resulting in greater summer comfort and reduced cooling costs.

OPTICAL PROPERTIES OF INSULATING GLASS UNITS - DOUBLE PANE								
IG Configuration Outboard Lite / Inboard Lite	Glass Thickness		Visible Light			Fading		SHGC
	inches	mm	Trans. (%)	Refl. Out (%)	Refl. In (%)	UV Trans. (300 to 380 nm)	ISO-CIE Trans. (300 to 700 nm)	
Clear / Clear	1/8	3.0	82	15	15	58%	75%	0.78
	1/4	5.7	80	15	15	48%	70%	0.72
Clear / LoE-180®	1/8	3.0	79	15	15	29%	63%	0.69
	1/4	5.7	77	14	15	24%	60%	0.64
Clear / LoE-180 ESC™	1/8	3.0	79	15	15	25%	61%	0.71
	1/4	5.7	77	14	15	21%	59%	0.62
Clear / LoE-Di89™ (#3 & #4)	1/8	3.0	79	14	14	53%	70%	0.71
	1/4	5.7	76	14	13	44%	66%	0.66
LoE²-272® / Clear	1/8	3.0	72	11	12	16%	55%	0.41
	1/4	5.7	70	10	11	14%	53%	0.40
LoE²-270® / Clear	1/8	3.0	70	12	13	14%	52%	0.37
	1/4	5.7	68	12	12	13%	50%	0.36
LoE³-366® / Clear	1/8	3.0	65	11	12	5%	43%	0.27
	1/4	5.7	63	11	12	4%	41%	0.27
Quad LoE-452+™ / Clear	1/8	3.0	52	10	15	1%	33%	0.22
	1/4	5.7	51	9	15	1%	32%	0.22
LoE³-340® / Clear	1/8	3.0	39	11	13	2%	27%	0.18
	1/4	5.7	38	11	13	2%	26%	0.18
LoE²-240® / Clear	1/8	3.0	40	14	11	16%	35%	0.25
	1/4	5.7	37	13	10	13%	32%	0.24
LoE-180® / LoE-i89® (#4)	1/8	3.0	77	15	14	27%	61%	0.62
	1/4	5.7	75	15	13	23%	58%	0.58
LoE²-272® / LoE-i89® (#4)	1/8	3.0	70	11	11	16%	53%	0.41
	1/4	5.7	68	10	11	14%	51%	0.39
LoE²-270® / LoE-i89® (#4)	1/8	3.0	68	12	13	14%	50%	0.36
	1/4	5.7	66	12	12	12%	48%	0.35
LoE³-366® / LoE-i89® (#4)	1/8	3.0	63	11	12	5%	42%	0.27
	1/4	5.7	61	11	11	4%	40%	0.26
Quad LoE-452+™ / LoE-i89® (#4)	1/8	3.0	51	10	14	1%	32%	0.21
	1/4	5.7	50	9	14	1%	31%	0.21
LoE³-340® / LoE-i89® (#4)	1/8	3.0	38	11	12	2%	26%	0.17
	1/4	5.7	37	11	12	2%	25%	0.17
LoE²-240® / LoE-i89® (#4)	1/8	3.0	39	14	10	15%	34%	0.24
	1/4	5.7	37	13	9	13%	31%	0.23

1. Calculated values using LBNL Window computer program per NFRC environmental conditions.

2. Double-pane IG construction: 1/2" (13.0 mm) airspace, 90% argon filled for LoE products, otherwise air-filled cavity. Coatings on surfaces #2, #3 and/or #4.

Figure 2-2

DATE: April 27, 2022

TO: Planning Board Members

FROM: Leah Blizinski, City Planner

APPROVED BY: Nick Dupuis, Planning Director

SUBJECT: Final Site Plan & Special Land Use Permit Amendment
243 Merrill – La Strada Italian Kitchen and Bar

The subject site is located at 243 Merrill St. between S. Old Woodward and Pierce. The parcel is zoned B-4, Business-Residential and D-5 in the Downtown Overlay District. The applicant, an existing Food and Drink Establishment is seeking approval of a Special Land Use Permit (SLUP) Amendment pursuant to Chapter 7, Section 7.37 (D) of the Zoning Ordinance. La Strada is requesting to reconfigure and expand the restaurant into the now vacant adjacent space (vacated by Adore Nails and Spa) in the Merrillwood Building as well as to create a new outdoor dining area in an on-street deck. Due to the buildings location within the Central Business Historic District, the applicant will need to obtain approval from the Historic District Commission. The applicant must also obtain a recommendation from the Advisory Parking Committee for the use of public parking spaces.

1.0 Land Use and Zoning

- 1.1 Existing Land Use – La Strada Italian Kitchen and Bar is an existing Food and Drink Establishment in a first-floor tenant space within the Merrillwood Building. The adjacent space is currently vacant and was previously occupied by Adore Nails and Spa. Land uses surrounding the site are retail, commercial and residential.
- 1.2 Zoning – The property is currently zoned B-4, Business-Residential, and D-5 in the Downtown Overlay District. The existing use and surrounding uses appear to conform to the permitted uses of each Zoning District.
- 1.3 Summary of Adjacent Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site.

(See next page)

	North	South	East	West
Existing Land Use	Commercial /Retail	Commercial / Retail	Commercial / Retail	Commercial / Retail
Existing Zoning District	B-4 Business-Residential	B-4 Business-Residential	B4 Business-Residential	B-4 Business-Residential
Downtown Overlay Zoning District	D-4	D-4	D-4	D-4

2.0 Bistro Requirements

Article 9, section 9.02, Definitions, of the Zoning Ordinance defines a bistro as a restaurant with a full service kitchen with interior seating for no more than 65 people and additional seating for outdoor dining of no more than 65 people. La Strada is an existing Bistro with 57 dining seats and 8 bar seats and is proposing an expansion which will adjust their seat total to 56 indoor dining seats with 9 bar seats.

La Strada proposes to continue to operate a full service kitchen, with an extensive "Italian Caffè" menu which includes baked goods, panini sandwiches, pizza, meats and cheeses. The restaurant concept will remain largely the same, with the addition of a small retail component in the new space. The existing restaurant space will be entirely dining while the expansion into the adjacent space will contain the bar seating, a small amount of floor dining and the retail displays. The applicant states that they hope to reopen the restaurant for lunch business. They are proposing to have outdoor dining for 36 patrons on private and public property. The applicant proposes 16 outdoor dining seats on private property alongside the exterior length of the restaurants frontage and an additional 20 dining seats are proposed in a dining deck located in two on-street parking spaces.

Article 3, section 3.04 (C)(10) Building Use of the Zoning Ordinance permits bistros in the Overlay District as long as the following conditions are met:

- No direct connect additional bar permit is allowed and the maximum seating at a bar cannot exceed 10 seats;
- Alcohol is served only to seated patrons, except those standing in a defined bar area;
- No dance area is provided;
- Only low key entertainment is permitted;
- Bistros must have tables located in the storefront space lining any street, or pedestrian passage;
- A minimum of 70% glazing must be provided along building facades facing a street or pedestrian passage between 1' and 8' in height;

- g. All bistro owners must execute a contract with the City outlining the details of the operation of the bistro;
- h. Outdoor dining must be provided, weather permitting, along an adjacent street or passage during the months of May through October each year. Outdoor dining is not permitted past 12:00 a.m. If there is not sufficient space to permit such dining on the sidewalk adjacent to the bistro, an elevated, ADA compliant, enclosed platform must be erected on the street adjacent to the bistro to create an outdoor dining area if the Engineering Department determines there is sufficient space available for this purpose given parking and traffic conditions.
- i. Enclosures facilitating year round dining outdoors are not permitted.
- j. Railings, planters or similar barriers defining outdoor dining platforms may not exceed 42" in height.
- k. Outdoor rooftop dining is permitted with the conditions that surrounding properties are not impacted in a negative manner and adequate street level dining is provided as determined by the Planning Board and City Commission. Rooftop dining seats will count towards the total number of permissible outdoor dining seats.

As discussed above, La Strada is proposing to have 9 seats situated at a bar towards the West side of the bistro. The applicant proposes to install seating at the front of the restaurant so that they are lining the storefront window. There are no changes proposed to the windows or doors. No direct connect bar permit will be permitted from this license if it is approved. Alcohol may only be served to seated patrons and those standing in the bar area only. La Strada does not propose any dancing area or low key entertainment.

La Strada is proposing to have outdoor dining for 16 patrons on private property directly adjacent to the building. The outdoor dining area as proposed provides for pedestrian flow via the required 5' wide pathway between the proposed dining area and the street. However, there is a discrepancy between the width of dining area as proposed in the plans and the width needed to accommodate the proposed tables and planters. **The applicant should provide revised plans detailing the exact dimensions of the proposed frontage dining area to ensure that it can accommodate the proposed tables and planters without encroaching into the 5 ft. clear pedestrian pathway. Additionally, the applicant should clarify the location of the 5ft clear pedestrian pathway and whether it is entirely on the sidewalk or whether it will coincide with some portion of the aggregate 'furniture zone'.**

In addition to clarifying the dimensions on the plan and the 5 ft. pedestrian clear path, the Planning Board should also require the applicant to install tree grates on each tree box affected by the proposed outdoor dining patio to ensure that a 5 ft. ADA clear path is being provided.

The applicant intends to have business hours of 4 pm to 12 am Tuesday – Saturday.

3.0 Setback and Height Requirements

There are no bulk, area, height or placement issues with the proposed interior renovations or outdoor dining patios.

4.0 Screening and Landscaping

- 4.1 Dumpster Screening – No changes are proposed to dumpsters or screening.
- 4.2 Parking Lot Screening – The subject site is located within the Parking Assessment District. Therefore, no additional off-street parking facility and accompanying screening is required or proposed.
- 4.3 Mechanical Equipment Screening – The applicant is not proposing any changes to the existing rooftop mechanical units on the building. If any additional mechanical units or venting is required, all changes must be submitted to the Planning Division prior to installation or changes.
- 4.4 Landscaping – The applicant proposes concrete planters lining each of the outdoor dining areas to separate them from the sidewalk. However, the applicant did not include species of plants in the provided plans. **The applicant will need to submit revised landscape plans detailing the species of plants that will be housed in the concrete planters and ensure that no plants are on the prohibited species list.**
- 4.5 Streetscape – The existing streetscape was completely reconstructed in 2013 and was built to the current downtown streetscape standards. The streetscape includes a streetlight and a street tree, which currently does not have a special treatment grate. **As noted above, the applicant will be required to install a city standard tree grate.**

5.0 Parking, Loading, Access, and Circulation

- 5.1 Parking – As the subject site is located within the Parking Assessment District, the applicant is not required to provide on-site parking.
- 5.2 Loading - Loading spaces are not required, nor proposed.
- 5.3 Vehicular Access & Circulation - Vehicular access to the building will not be altered.
- 5.4 Pedestrian Access & Circulation – Pedestrian access to the café is available directly from the City sidewalk. Under the 2016 Plan, outdoor cafes are encouraged as they create a more pedestrian friendly environment. The proposed street dining platform layout does provide for a 5 ft. clear pedestrian path along the storefront.

6.0 Lighting

Existing pedestrian scale street light fixtures illuminate Merrill St. The applicant is not proposing additional lighting on the building façade or the outdoor dining area.





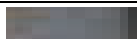

7.0 Departmental Reports

- 7.1 Engineering Division – See attached memo and comments from the Engineering Division.
- 7.2 Department of Public Services – The Department of Public Services has no concerns at this time.
- 7.3 Fire Department – Comments received from the Fire Department are attached.
- 7.4 Police Department - The Police Department reported having no concerns.
- 7.5 Parking Manager – **The Parking Manager has expressed concern that if both this applicant and 220 Merrill are approved, that will remove 5 of the existing 19 on-street parking spaces on Merrill between Old Woodward and Pierce St.**
- 7.6 Building Department – Comments received from the Building Department are attached.

8.0 Design Review

No changes are proposed to the exterior building façade except to move the existing sign to center it over the entrance. Moving an existing sign within the sign band does not require administrative approval or permits.

The changes specific to the proposed new outdoor dining are simple and involve a new deck platform, umbrellas, planters, tables, chairs and trash receptacles. A complete list of all the new proposed materials is as follows:

Material	Location	Color
Aluminum and Plastic	Outdoor dining chairs	
Steel and Tempered Glass	Outdoor dining tables	
Concrete	Planter boxes	
Composite Wood	On-street deck	
Not Provided	Platform railings	
Not Provided	Umbrellas on-street	

Outdoor Dining Area

Outdoor cafés must comply with the site plan criteria as required by Article 04, Section 4.42 OD-01, Outdoor Dining Standards. Outdoor cafes are permitted immediately adjacent to the principal use and are subject to site plan review and the following conditions:

1. Outdoor dining areas shall provide and service refuse containers within the outdoor dining area and maintain the area in good order.
2. All outdoor activity must cease at the close of business, or as noted in Subsection 3 below, whichever is earlier.
3. When an outdoor dining area is immediately adjacent to any single-family or multiple-family residential district, all outdoor activity must cease at the close of business or 10:00pm, whichever is earlier.
4. Outdoor dining may be permitted on the sidewalk throughout the year with a valid Outdoor Dining License.
5. All tables and chairs provided in the outdoor dining area shall be constructed primarily of metal, wood, or material of comparable quality.
6. Table umbrellas shall be considered under Site Plan Review and shall not impede sight lines into a retail establishment, pedestrian flow in the outdoor dining area, or pedestrian or vehicular traffic flow outside the outdoor dining area.
7. For outdoor dining located in the public right-of-way:
 - a. All such uses shall be subject to a license from the city, upon forms provided by the Community Development Department, contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
 - b. In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 5 feet.
 - c. Outdoor dining is permitted to extend in the right-of-way in front of neighboring properties, with the written permission of the property owner(s) and with Planning Board approval, if such property is vacant or the first floor storefront(s) is/are vacant. Outdoor dining areas may extend up to 50% of the width of the neighboring lot(s) storefront(s), or up to 50% of the lot(s) frontage, if such lot is vacant.
 - d. City Commission approval is also required for outdoor dining extensions onto neighboring property if the establishment making such a request holds a bistro license.
 - e. An elevated, ADA compliant platform may be erected on the street in front of an eating establishment to create an outdoor dining area only if the Engineering Department determines there is sufficient space available for this purpose given parking and traffic conditions.
 - f. No such facility shall erect or install permanent fixtures in the public right-of-way.
 - g. Outdoor dining is permitted in a B1 District at a rate of 4 seats for every 12 linear feet of store frontage, with no more than 12 seats total per building; no elevated enclosed platforms on the street are permitted in a B1 District.

The applicant is proposing to create an outdoor dining area with 16 seats located directly in front of the cafe's frontage and 20 seats in an on-street deck for a total of 36 outdoor dining seats. The proposal includes 6 two-top tables and 6 four-top tables. The tables are proposed to be round black painted steel with tempered glass top and the chairs are proposed to be aluminum frame with white plastic panel seat and back. Specification sheets on the tables and chairs are included in the plans. **The Planning Board should discuss the proposed chairs, and determine whether or not the proposed plastic material utilized for the seat and back may be considered a material of comparable quality to wood or metal.**

The applicant has provided trash receptacles within the outdoor dining areas as required by Article 04, section 4.42 OD-01 of the Zoning Ordinance. The proposed trash receptacles are Global Industrial aluminum round open top trash can in 20-gallon satin clear. The applicant proposes two trash receptacles within the outdoor dining area, both located on the on-street deck, one at the easternmost end and one at the westernmost end. The applicant intends to have business hours of 4pm to 12am Tuesday – Saturday. The proposed outdoor café is not immediately adjacent to single-family or multi-family zoned property and therefore may stay open until 12am or the close of business.

The plans include umbrellas on the tables in the on-street dining deck area only. The proposed umbrellas are "red treasure garden".

Signage

There is no additional signage proposed as a part of this site plan review. The applicant proposes to move the existing sign to center it over the restaurant entry. As stated above, moving an existing sign does not require administrative approval or additional permits.

9.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Interior Floor Plans	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Landscape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Photometric Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Colored Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site & Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10.0 Downtown Birmingham 2016 Overlay District

The site is located on Merrill between Old Woodward and Pierce within the D-5 within the Downtown Overlay District. The purpose of the Downtown Overlay District is in part to “encourage a form of development that will achieve the physical qualities necessary to maintain and enhance the economic vitality of Downtown Birmingham and to maintain the desired character of the City of Birmingham”. Specifically, the 2016 Plan recommends the addition of outdoor dining areas in the public right-of-way as being in the public’s best interest as it enhances street life, thus promoting a pedestrian friendly environment. The 2016 Plan also recommends that the 5’ clear pedestrian passage be provided against the storefronts to ensure that merchants can display and sell their products and so as not to distort the flow of pedestrians.

10.0 Approval Criteria for Final Site Plan

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property not diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

11.0 Recommendation

Based on a review of the site plan submitted, the Planning Division recommends that the Planning Board recommend **APPROVAL** to the City Commission the Special Land Use Permit Amendment and Final Site Plan/Design Review application for 243 Merrill St. – La Strada – with the following conditions:

1. The applicant must provide revised plans with clear dimensions to ensure compliance with the Zoning Ordinance;
 2. The applicant must provide a certified survey;
 3. The applicant is required to install a city standard grate to protect the street tree;
 4. The applicant will need to submit revised landscape plans detailing the species of plants that will be housed in the concrete planters and ensure that no plants are on the prohibited species list;
 5. The applicant must receive Historic District Commission approval for all exterior changes proposed within the Central Business Historic District;
 6. The applicant must obtain a recommendation from the Advisory Parking Committee for the use of public parking spaces;
 7. The applicant must submit new specification sheets for tables/chair constructed of metal or wood, or receive approval for a material of comparable quality by the Planning Board; and
- The applicant must comply with the requests of all City Departments.

12.0 Sample Motion Language (*Special Land Use Permit Amendment*)

Motion to recommend **APPROVAL** to the City Commission the Special Land Use Permit Amendment application for 243 Merrill St. – La Strada – with the following conditions:

1. The applicant must provide revised plans with clear dimensions to ensure compliance with the Zoning Ordinance;
2. The applicant must provide a certified survey;
3. The applicant is required to install a city standard grate to protect the street tree;
4. The applicant will need to submit revised landscape plans detailing the species of plants that will be housed in the concrete planters and ensure that no plants are on the prohibited species list;
5. The applicant must receive Historic District Commission approval for all exterior changes proposed within the Downtown Historic District;
6. The applicant must obtain a recommendation from the Advisory Parking Committee for the use of public parking spaces;
7. The applicant must submit new specification sheets for tables/chair constructed of metal or wood, or receive approval for a material of comparable quality by the Planning Board; and
8. The applicant must comply with the requests of all City Departments.

OR

Motion to recommend **DENIAL** to the City Commission the Special Land Use Permit Amendment application for 243 E. Merrill – La Strada – for the following reasons:

1. _____
2. _____
3. _____

OR

Motion to **POSTPONE** the Special Land Use Permit Amendment application for 243 E. Merrill – La Strada – pending receipt of the following:

1. _____
2. _____
3. _____

13.0 Sample Motion Language (*Final Site Plan & Design Review*)

Motion to recommend **APPROVAL** to the City Commission the Final Site Plan & Design Review application for 243 Merrill St. – La Strada – with the following conditions:

1. The applicant must provide revised plans with clear dimensions to ensure compliance with the Zoning Ordinance;
2. The applicant must provide a certified survey;
3. The applicant is required to install a city standard grate to protect the street tree;
4. The applicant will need to submit revised landscape plans detailing the species of plants that will be housed in the concrete planters and ensure that no plants are on the prohibited species list;
5. The applicant must receive Historic District Commission approval for all exterior changes proposed within the Downtown Historic District;
6. The applicant must obtain a recommendation from the Advisory Parking Committee for the use of public parking spaces;
7. The applicant must submit new specification sheets for tables/chair constructed of metal or wood, or receive approval for a material of comparable quality by the Planning Board; and
8. The applicant must comply with the requests of all City Departments.

OR

Motion to recommend **DENIAL** to the City Commission the Final Site Plan & Design Review application for 243 E. Merrill – La Strada – for the following reasons:

1. _____
2. _____
3. _____

OR

Motion to **POSTPONE** the Final Site Plan and Design Review application for 243 E. Merrill – La Strada – pending receipt of the following:

1. _____
2. _____
3. _____



CITY OF BIRMINGHAM FIRE DEPARTMENT

572 SOUTH ADAMS • BIRMINGHAM, MICHIGAN 48009 • 248.530.1900 FAX 248.530.1950

April 19th, 2022

RE: Final site Plan Review Comments

243 E. Merrill, Lastrada Cafe

As requested, the Fire Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:

Applicable Fire Code:

- **2015 International Fire Code**

Review Comments:

1. Fire alarm shall be fully operational during all phases of construction.
2. Fire suppression system shall be fully operational during all phases of construction.
3. Submit fire alarm and fire suppression plans to the AHJ for review and approval.
4. Submit commercial kitchen hood system plans to AHJ for review and approval.
5. Occupant load shall be determined by Assistant Building Official and Fire Marshal.
6. Fire extinguisher installation locations determined by Fire Marshal.
7. Installation of Knox box may be required for this occupancy.

Jack D. Pesha

Fire Marshal

Birmingham Fire Department

CITY OF BIRMINGHAM
Community Development – Building Department
151 Martin Street, Birmingham, MI 48009

April 19, 2022

RE: Final Site Plan Review Comments
243 E. Merrill, Lastrada Cafe

As requested, the Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:

Applicable Building Codes:

- **2015 Michigan Building Code.** Applies to all buildings other than those regulated by the *Michigan Residential Code*.
- **2015 Michigan Mechanical Code.** (Residential requirements for mechanical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- **2018 Michigan Plumbing Code.** (Residential requirements for plumbing construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- **2017 National Electrical Code along with the Michigan Part 8 Rules.** (Residential requirements for electrical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)

Review Comments:

1. No building code concerns at this time.

DATE: April 22, 2022

TO: Leah Blizinski, City Planner

FROM: Scott D. Zielinski, Assistant City Engineer

SUBJECT: Preliminary Site Plan Review – 243 E Merrill St

The Engineering Department has completed a review of the Preliminary Site Plan, with respect to conformance with City ordinances and engineering standards, and has the following comments:

SEWER:

- Plans appear to indicate no major changes in plumbing that would affect the current City connection.

WATER SYSTEM:

- Plans appear to indicate no changes in the current City connection. Records do not indicate current City connection. Water supply should be verified by the property.

PERMITS FOR CONSTRUCTION:

- Street Obstruction Permit for any temporary traffic interference on any surrounding road, or for pedestrian traffic interference on public sidewalks during construction activities.

GENERAL:

- 5ft sidewalk open space for pedestrian travel must be maintained.
- If outdoor dining deck is to be approved it should be limited to the width of the current parking space (Approximately 6-6.5 ft) and should not encroach on the driving lane. This item is subject to additional review for approval if a current permit has not been obtained.

Please note these are our initial comments and the City should be provided an opportunity to review engineered drawings prior to final submission. Engineering comments could impact design requirements.



Leah Blizinski <lblizinski@bhamgov.org>

243 E. Merrill - Design Review Requested

Mark Clemence <Mclemence@bhamgov.org>
To: Leah Blizinski <lblizinski@bhamgov.org>

Tue, Apr 19, 2022 at 1:43 PM

No Police Department concerns at this time.

Mark H. Clemence
Chief of Police
Birmingham Police Department
151 Martin St.
Birmingham, MI. 48009
248-530-1875



On Tue, Apr 19, 2022 at 9:19 AM Leah Blizinski <lblizinski@bhamgov.org> wrote:
[Quoted text hidden]



Leah Blizinski <lblizinski@bhamgov.org>

243 E. Merrill - Design Review Requested

Carrie Laird <Claird@bhamgov.org>

Fri, Apr 22, 2022 at 8:40 AM

To: Scott Zielinski <szielinski@bhamgov.org>

Cc: Bruce Johnson <Bjohnson@bhamgov.org>, Leah Blizinski <lblizinski@bhamgov.org>, Mark Clemence <Mclemence@bhamgov.org>, Jim Surhigh <cityengineer@bhamgov.org>, Jack Pesho <jpesha@bhamgov.org>, Ryan Weingartz <rweingartz@bhamgov.org>, Lauren Wood <Lwood@bhamgov.org>, Nicholas Dupuis <ndupuis@bhamgov.org>

At this time DPS has no concerns. Thanks!

[Quoted text hidden]

--

Carrie A. Laird
Parks & Recreation Manager
[851 S. Eton](#)
[Birmingham, MI 48009](#)
248-530-1714

[Quoted text hidden]



Leah Blizinski <lblizinski@bhamgov.org>

243 E. Merrill - Design Review Requested

Ryan Weingartz <rweingartz@bhamgov.org>

Wed, Apr 20, 2022 at 2:40 PM

To: Leah Blizinski <lblizinski@bhamgov.org>

Got it, thanks.

Only concern I see is if this and 220 Merrill outdoor dining get approved we will lose 7 of the 19 total on street parking that is on Merrill between Old Woodward and Pierce.

2 for 243 E. Merrill

5 for 220 Merrill

[Quoted text hidden]



Leah Blizinski <lblizinski@bhamgov.org>

220 Parking/Valet

Nicholas Dupuis <ndupuis@bhamgov.org>
To: Ryan Weingartz <rweingartz@bhamgov.org>
Cc: Leah Blizinski <lblizinski@bhamgov.org>

Wed, Apr 20, 2022 at 3:20 PM

I clarified this with Zaid Elia of 220.

If the platform gets approved by the CC, they will ONLY be using the 3 spaces in front of their establishment for the deck. There will NOT be any additional spaces for valet.

Leah, Ryan has noted that his comment still stands regarding La Strada, but please change the numbers to reflect this information.

--

Nicholas J. Dupuis
Planning Director

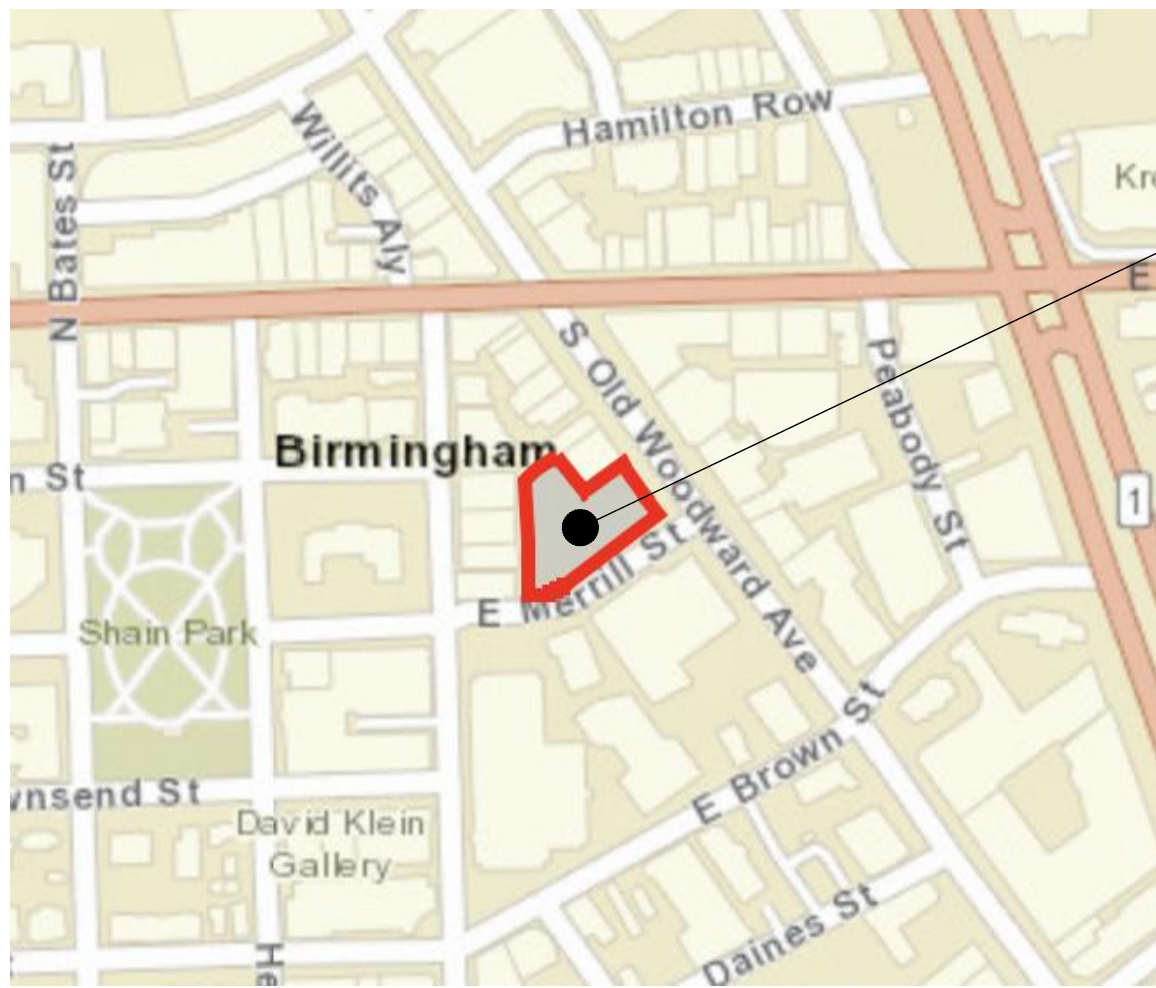


Email: ndupuis@bhamgov.org
Office: 248-530-1856
Social: [Linkedin](#)

Important Note to Residents

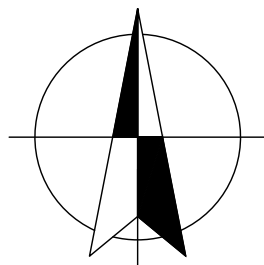
Let's connect! Join the Citywide Email System to receive important City updates and critical information specific to your neighborhood at www.bhamgov.org/citywideemail.

LASTRADA CAFE'
241 Merrill Street
Birmingham, Michigan 48009



LASTRADA CAFE'
241 EAST MERRILL STREET
Zoned: B-4
Overlay: D-5

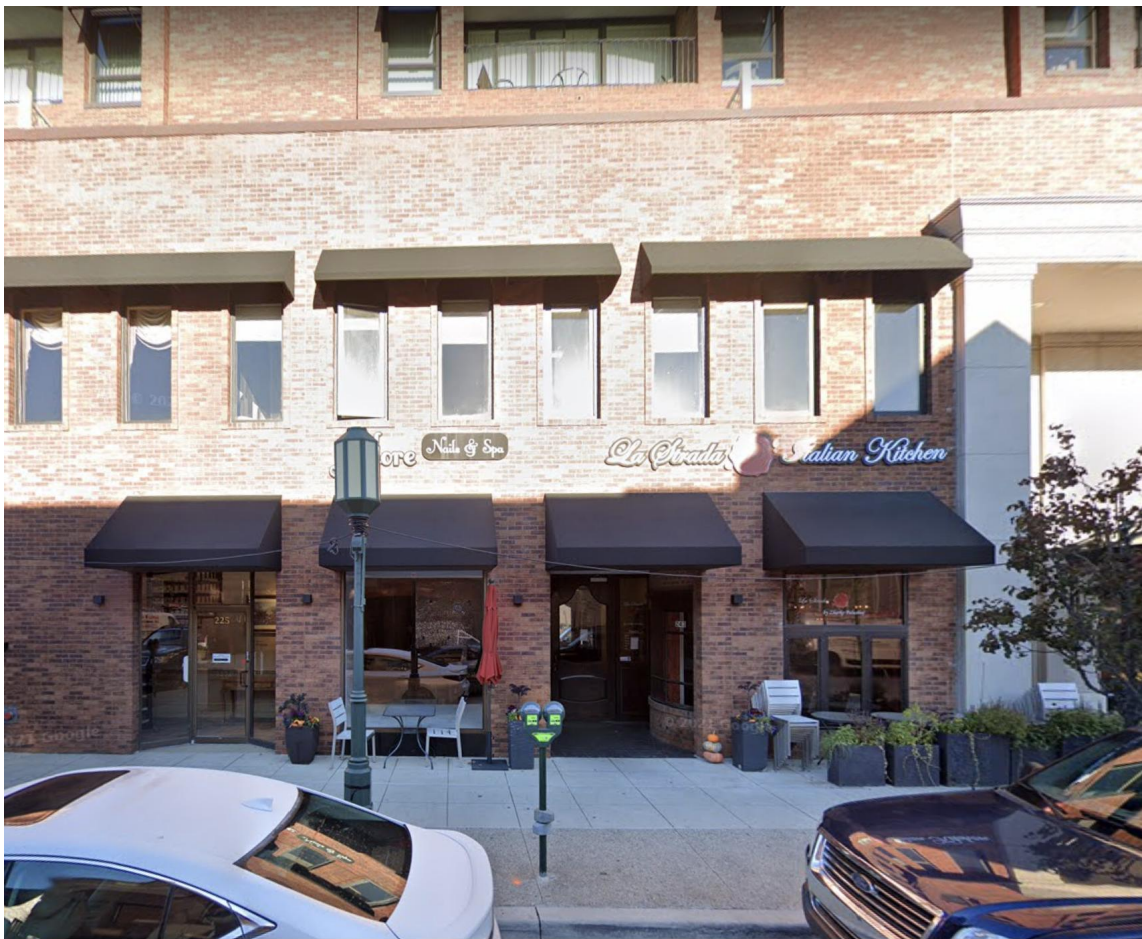
Location Map



Site Plan

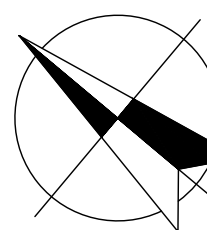
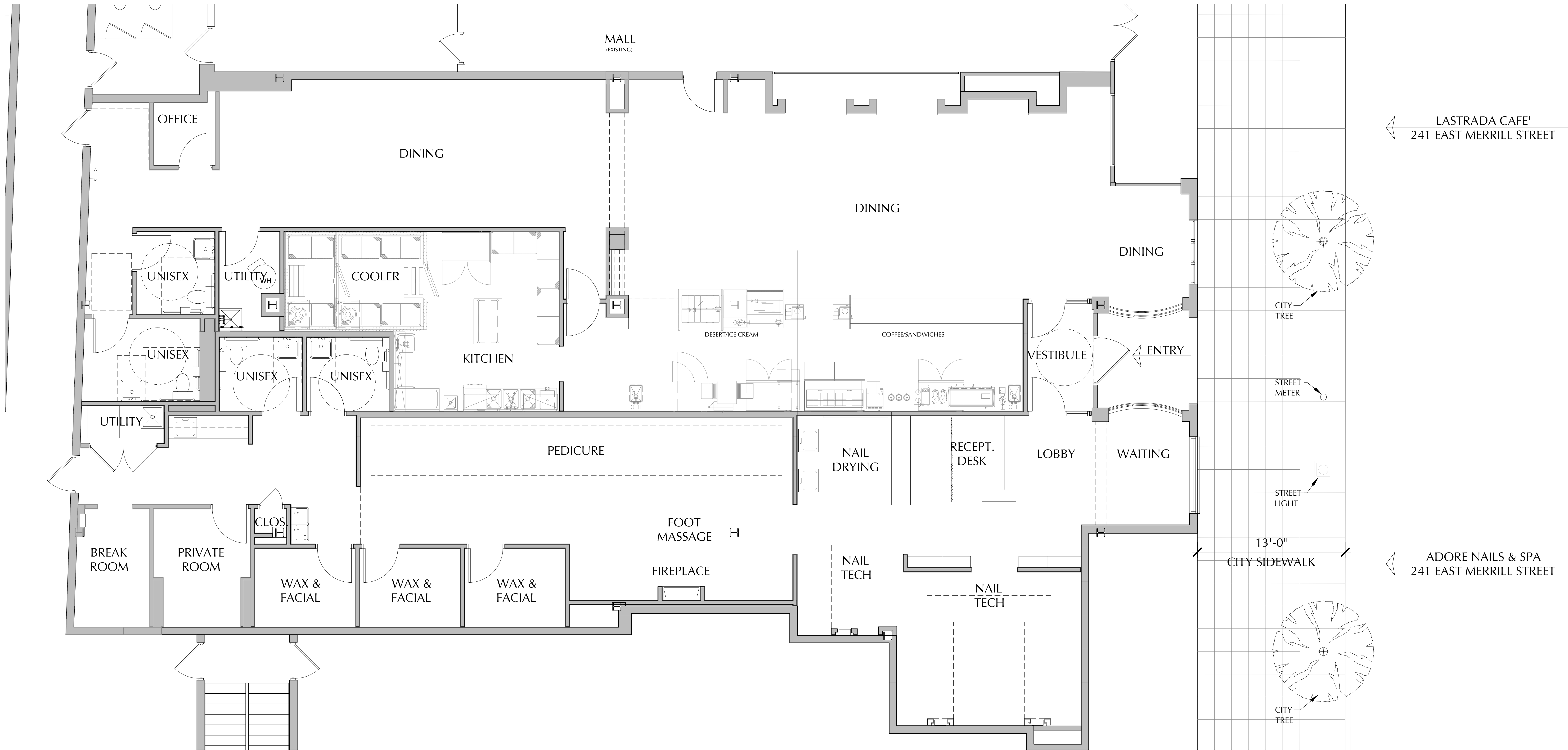
CHRISTOPHER J LONGE AIA
ARCHITECTURE
INTERIORS
124 Peabody, Birmingham, Michigan 48009 248.258.6940

NOT TO SCALE



LASTRADA CAFE'

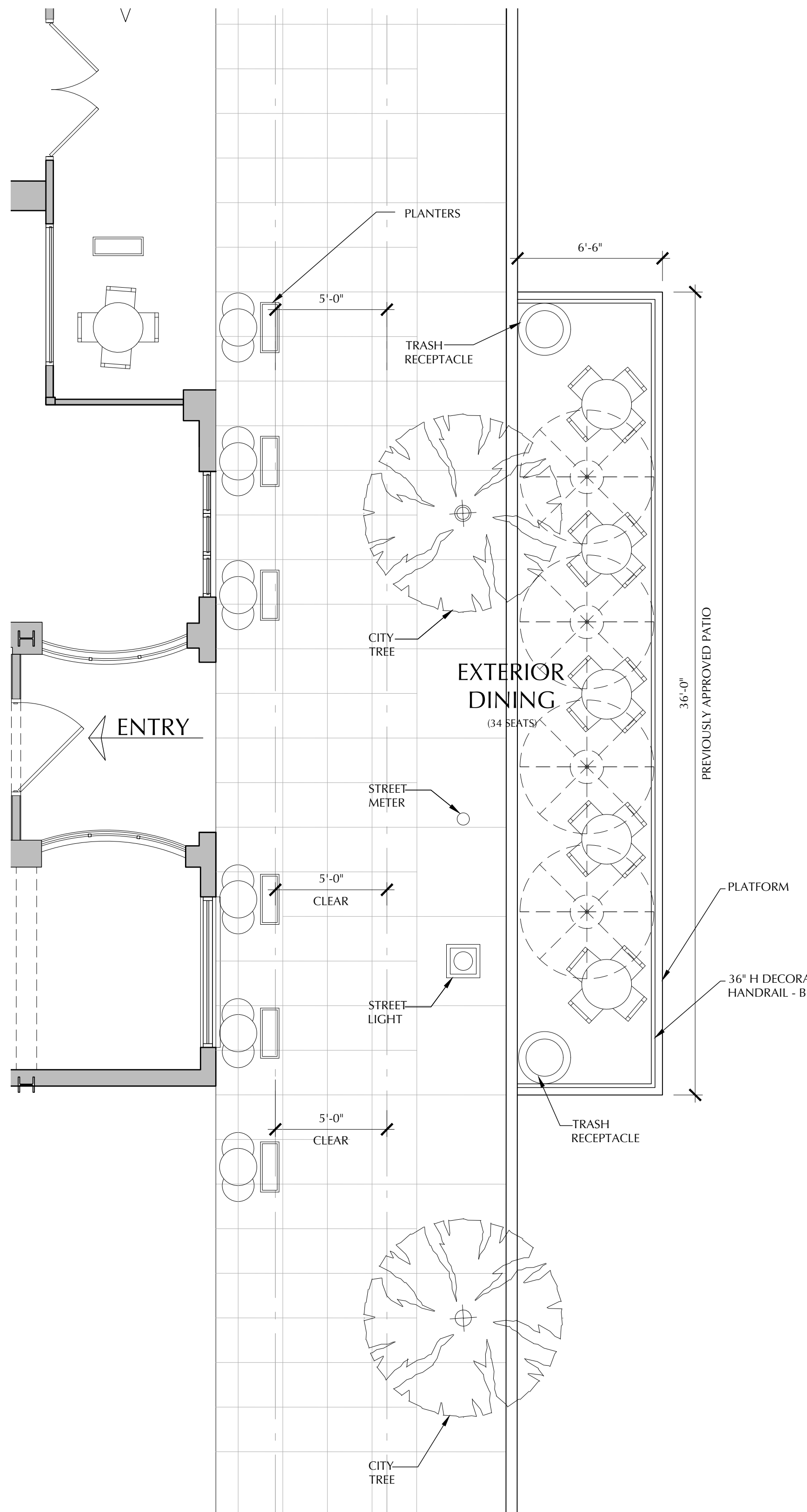
241 Merrill Street
Birmingham, Michigan 48009



EXISTING PLAN

NOT TO SCALE

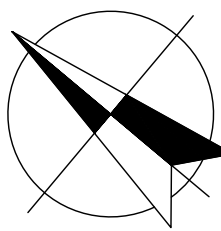
LASTRADA CAFE'
241 Merrill Street
Birmingham, Michigan 48009



PREVIOUSLY PERMITTED PATIO

OUTDOOR SEAT COUNT:

TABLE TYPE	No. of SEATS
2-TOP TABLE (6)	12 SEATS
4-TOP TABLE (6)	24 SEATS
TOTAL SEATS:	36 SEATS



Proposed Outdoor Dining Plan

CHRISTOPHER J LONGE AIA
ARCHITECTURE
INTERIORS
124 Peabody, Birmingham, Michigan 48009 248.258.6940

1/4" = 1'-0"



PREVIOUSLY APPROVED - **UMBRELLA**
RED TREASURE GARDEN

PREVIOUSLY APPROVED - **RAIL**
36" H - BLACK DECORATIVE HANDRAIL

PREVIOUSLY APPROVED - **PLATFORM**
COMPOSITE WOOD



PREVIOUSLY APPROVED - **CHAIR**
ALUMINUM - FRAME
WHITE PLASTIC PANEL - SEAT AND BACK



PREVIOUSLY APPROVED - **TABLE**
ROUND BLACK PAINTED STEEL - FRAME
TEMPERED GLASS - TOP



TRASH RECEPTACLE
GLOBAL INDUSTRIAL™ ALUMINUM
ROUND OPEN TOP TRASH CAN,
20 GALLON, SATIN CLEAR



PLANTER
CONCRETE PLANTER
10"Wx27"Lx12"H

LASTRADA CAFE'
241 Merrill Street
Birmingham, Michigan 48009

LaStrada Hour of Operation:

Indoor: Tuesday - Saturday | Dinner 4pm - 12am
Outdoor: Tuesday - Saturday | Dinner 4pm - 12am

Monday Nights open for Special Events



We proudly serve the best of food to the best of people. Please accept our appreciation and sincere thanks for letting us serve you. Sometimes in a rush of business life, we fail to say "Thank" loud enough. But you can be assured that your patronage is never taken for granted. Our aim is to please and satisfy.

To serve you is a real privilege and pleasure!

Formaggi	Salumi
Parmigiano Reggiano DOP 34 Month Aged 13 Taleggio DOP 12 Pecorino Toscano DOP 15 Asiago Vecchio DOP 15 Pasta di Caciotta di Sheep's Milk 12 Month Aged 15 Caciocavallo - 36 Month Cave Aged DOP 17 Gorgonzola Dolce DOP 13	Tartufo Prosciutto Cotto 11 Salame Piacentino DOP 12 Coppa Piacentino DOP 13 Spack Alto Adige - Protected Prosciutto 13 Prosciutto San Daniele - Slowly DOP 15 Prosciutto di Parma Black Label DOP 16 Bresaola - Air Dried Thin Mignon 17 Bacon de Bellota (Spanish Prosciutto) - Acorn fed 100 % 15

Charcuterie Board La Strada Style | 28 Per Guest

Antipasti	Miscelanea
Olive 9 Carpaccio di Filetto, Orange Zest \$100 Bruschetta 15 Cassia di Pollo Prosciutto e Melone 15 Prosciutto San Daniele, Seasoned Melon Mozzarella di Bufala Campana DOP 16 Bagna Caonice, Seasoned Tomato, Basil, Olive & Parmesan Burrata - Pugliese DOP 18 Crispy Mozzarella, Balsamic Jus, Seasoned Tomato, Basil, Olive & Parmesan Bresaola - Ricotta di Bufala 18 Air-dried Beef Stracchino, Bagna Caonice, Tomato, Basil, Olive & Parmesan Carpaccio di Filetto 21 Filetto di Pollo, Prosciutto, Parmigiano Reggiano, Seasoned Olive Oil Antipasto di Verdura 18 Roasted Peppers, Italian Capers, Grilled Zucchini, Olive, Crispy Insalata di Mare 25 Calamari, Shrimp, Scallops, Tagliatelli, Grilled Zucchini, Olive, Crispy	Miscelanea 11 Seasoned Tapenade, Bacon, Pasta Zuppa del Giorno 12 Soup of the Day Polenta 15 Crispy Polenta, Seasoned Tomato, Basil, Olive & Parmesan Bresaola - Ricotta di Bufala 18 Air-dried Beef Stracchino, Bagna Caonice, Tomato, Basil, Olive & Parmesan Carpaccio di Filetto 21 Filetto di Pollo, Prosciutto, Parmigiano Reggiano, Seasoned Olive Oil Antipasto di Verdura 18 Roasted Peppers, Italian Capers, Grilled Zucchini, Olive, Crispy Insalata di Mare 25 Calamari, Shrimp, Scallops, Tagliatelli, Grilled Zucchini, Olive, Crispy

Insalate	Compagnie
The Colors 13 Arugula, Balsamic, Seasoned Tomato, Olive, Crispy Basilicata 15 Crispy Peppers, Italian Capers, Grilled Zucchini, Olive, Crispy	Compagnie 15 Bagna Caonice, Seasoned Tomato, Basil, Olive & Parmesan Coppa Piacentino DOP 13 Spack Alto Adige - Protected Prosciutto 13 Prosciutto San Daniele - Slowly DOP 15 Prosciutto di Parma Black Label DOP 16 Bresaola - Air Dried Thin Mignon 17 Bacon de Bellota (Spanish Prosciutto) - Acorn fed 100 % 15

Pizza	Pasta
Margherita 16 San Marzano Tomato, Mozzarella, Fresh Basil Napoli 17 San Marzano Tomato, Mozzarella, Fresh Basil Pomigiano 18 San Marzano Tomato, Mozzarella, Fresh Basil Capriccioso 19 San Marzano Tomato, Mozzarella, Fresh Basil Pasta e Pomodoro 20 San Marzano Tomato, Mozzarella, Fresh Basil Valtellina 21 San Marzano Tomato, Mozzarella, Fresh Basil Caciocavallo 22 San Marzano Tomato, Mozzarella, Fresh Basil	Pasta 15 Traghetti (Prime Grains) al Pomodoro e Basilico 23 Pasta e Pomodoro 24 Pasta e Pomodoro 25 Pasta e Pomodoro 26 Pasta e Pomodoro 27 Pasta e Pomodoro 28 Pasta e Pomodoro 29 Pasta e Pomodoro 30 Pasta e Pomodoro 31 Pasta e Pomodoro 32 Pasta e Pomodoro 33 Pasta e Pomodoro 34 Pasta e Pomodoro 35 Pasta e Pomodoro 36 Pasta e Pomodoro 37 Pasta e Pomodoro 38 Pasta e Pomodoro 39 Pasta e Pomodoro 40 Pasta e Pomodoro 41 Pasta e Pomodoro 42 Pasta e Pomodoro 43 Pasta e Pomodoro 44 Pasta e Pomodoro 45 Pasta e Pomodoro 46 Pasta e Pomodoro 47 Pasta e Pomodoro 48 Pasta e Pomodoro 49 Pasta e Pomodoro 50 Pasta e Pomodoro 51 Pasta e Pomodoro 52 Pasta e Pomodoro 53 Pasta e Pomodoro 54 Pasta e Pomodoro 55 Pasta e Pomodoro 56 Pasta e Pomodoro 57 Pasta e Pomodoro 58 Pasta e Pomodoro 59 Pasta e Pomodoro 60 Pasta e Pomodoro 61 Pasta e Pomodoro 62 Pasta e Pomodoro 63 Pasta e Pomodoro 64 Pasta e Pomodoro 65 Pasta e Pomodoro 66 Pasta e Pomodoro 67 Pasta e Pomodoro 68 Pasta e Pomodoro 69 Pasta e Pomodoro 70 Pasta e Pomodoro 71 Pasta e Pomodoro 72 Pasta e Pomodoro 73 Pasta e Pomodoro 74 Pasta e Pomodoro 75 Pasta e Pomodoro 76 Pasta e Pomodoro 77 Pasta e Pomodoro 78 Pasta e Pomodoro 79 Pasta e Pomodoro 80 Pasta e Pomodoro 81 Pasta e Pomodoro 82 Pasta e Pomodoro 83 Pasta e Pomodoro 84 Pasta e Pomodoro 85 Pasta e Pomodoro 86 Pasta e Pomodoro 87 Pasta e Pomodoro 88 Pasta e Pomodoro 89 Pasta e Pomodoro 90 Pasta e Pomodoro 91 Pasta e Pomodoro 92 Pasta e Pomodoro 93 Pasta e Pomodoro 94 Pasta e Pomodoro 95 Pasta e Pomodoro 96 Pasta e Pomodoro 97 Pasta e Pomodoro 98 Pasta e Pomodoro 99 Pasta e Pomodoro 100

Risotto Aquarelle Carnaroli 7 Year Aged

Carne	Pesce
Scallopine alla Fiorentina 37 Prime Rib, Seasoned Tomato, Basil, Olive & Parmesan Saltimbocca alla Romana 37 Prime Rib, Seasoned Tomato, Basil, Olive & Parmesan Scallopine alla Fiorentina 37 Prime Rib, Seasoned Tomato, Basil, Olive & Parmesan	Pesce 15 Traghetti (Prime Grains) al Pomodoro e Basilico 23 Pasta e Pomodoro 24 Pasta e Pomodoro 25 Pasta e Pomodoro 26 Pasta e Pomodoro 27 Pasta e Pomodoro 28 Pasta e Pomodoro 29 Pasta e Pomodoro 30 Pasta e Pomodoro 31 Pasta e Pomodoro 32 Pasta e Pomodoro 33 Pasta e Pomodoro 34 Pasta e Pomodoro 35 Pasta e Pomodoro 36 Pasta e Pomodoro 37 Pasta e Pomodoro 38 Pasta e Pomodoro 39 Pasta e Pomodoro 40 Pasta e Pomodoro 41 Pasta e Pomodoro 42 Pasta e Pomodoro 43 Pasta e Pomodoro 44 Pasta e Pomodoro 45 Pasta e Pomodoro 46 Pasta e Pomodoro 47 Pasta e Pomodoro 48 Pasta e Pomodoro 49 Pasta e Pomodoro 50 Pasta e Pomodoro 51 Pasta e Pomodoro 52 Pasta e Pomodoro 53 Pasta e Pomodoro 54 Pasta e Pomodoro 55 Pasta e Pomodoro 56 Pasta e Pomodoro 57 Pasta e Pomodoro 58 Pasta e Pomodoro 59 Pasta e Pomodoro 60 Pasta e Pomodoro 61 Pasta e Pomodoro 62 Pasta e Pomodoro 63 Pasta e Pomodoro 64 Pasta e Pomodoro 65 Pasta e Pomodoro 66 Pasta e Pomodoro 67 Pasta e Pomodoro 68 Pasta e Pomodoro 69 Pasta e Pomodoro 70 Pasta e Pomodoro 71 Pasta e Pomodoro 72 Pasta e Pomodoro 73 Pasta e Pomodoro 74 Pasta e Pomodoro 75 Pasta e Pomodoro 76 Pasta e Pomodoro 77 Pasta e Pomodoro 78 Pasta e Pomodoro 79 Pasta e Pomodoro 80 Pasta e Pomodoro 81 Pasta e Pomodoro 82 Pasta e Pomodoro 83 Pasta e Pomodoro 84 Pasta e Pomodoro 85 Pasta e Pomodoro 86 Pasta e Pomodoro 87 Pasta e Pomodoro 88 Pasta e Pomodoro 89 Pasta e Pomodoro 90 Pasta e Pomodoro 91 Pasta e Pomodoro 92 Pasta e Pomodoro 93 Pasta e Pomodoro 94 Pasta e Pomodoro 95 Pasta e Pomodoro 96 Pasta e Pomodoro 97 Pasta e Pomodoro 98 Pasta e Pomodoro 99 Pasta e Pomodoro 100

INDOOR SEAT COUNT:

TABLE TYPE	No. of SEATS
2-TOP TABLE (11)	22 SEATS
4-TOP TABLE (7)	28 SEATS
6-TOP TABLE (1)	6 SEATS
BAR (9)	9 SEATS
TOTAL SEATS:	65 SEATS

Proposed Plan

CHRISTOPHER J LONGE AIA
ARCHITECTURE
INTERIORS
124 Peabody, Birmingham, Michigan 48009 248.258.6940

3/16" = 1'-0"

SD.3.0

LASTRADA CAFE'
241 Merrill Street
Birmingham, Michigan 48009



Existing Elevation



EXISTING SIGN TO BE RELOCATED
CENTERED ABOVE ENTRANCE AWNING

Proposed Elevation



Special Land Use Permit Application – Bistro

Planning Division

AMENDMENT TO SLUP.

Form will not be processed until it is completely filled out.

1. Applicant

Name: LA STRADA CAFE LLC.
Address: 243 E. MEZILL ST.
BIRMINGHAM, MI 48009.
Phone Number: 248 480-0492
Fax Number: _____
Email address: 2PALUSHAT@YAHOO.COM.

2. Property Owner

Name: MEZILLWOOD COLLECTION.
Address: 251 MEZILL ST
BIRMINGHAM, MI 48009.
Phone Number: 248 647-8390.
Fax Number: _____
Email address: IKELUP@IGLAWFIRM.COM

3. Applicant's Attorney/Contact Person

Name: JOHN W. HENKELL
Address: 251 MEZILL ST #212
BIRMINGHAM, MI 48009
Phone Number: _____
Fax Number: _____
Email address: JWHENKE@AOL.COM.
JWHENKE@IGLAWFIRM.COM.

4. Project Designer/Developer

Name: CHRISTOPHER LONGE.
Address: 124 PEAISODY ST.
BIRMINGHAM, MI 48009
Phone Number: 248 258 6940.
Fax Number: _____
Email address: CJLONGE@CJLONGEAIA.COM

5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
 - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
 - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
 - iii. A Certified Land Survey;
 - iv. Interior floor plans;

- v. A Landscape Plan;
 - vi. A Photometric Plan;
 - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if the applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

6. Project Information

Address/Location of the property: 243 E. MEZILL ST.
Name of development: _____
Sidwell #: _____
Current Use: _____
Proposed Use: _____
Area of Site in Acres: _____
Current zoning: _____
Is the property located in the floodplain? _____
Name of Historic District Site is Located in: _____
Date of Historic District Commission Approval: _____

Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Application for Revised Final Site Plan: _____
Date of Revised Final Site Plan Approval: _____
Date of Design Review Board Approval: _____
Is there a current SLUP in effect for this site? _____
Date of Application for SLUP: _____
Date of SLUP Approval: _____
Date of Last SLUP Amendment: _____

7. Details of the Proposed Development (attach separate sheet if necessary)

SEE ATTACHED

8. Buildings and Structures

Number of Buildings on Site: _____
Height of Buildings & # of Stories: _____

Use of Buildings: _____
Height of Rooftop Mechanical Equipment: _____

9. Floor Use and Area (in Square Feet)

Structures:

Restaurant Space: _____
Office Space: _____
Retail Space: _____

Number of Residential Units: _____
Rental or Condominium? _____
Total Floor Area: _____

10. Proposed Bistro Operation

Number of Indoor Seats: 65
Number of Outdoor Seats: 32
Entertainment Proposed: NO.
Previous LCC Complaints? NO
Number of Tables along Street Façade: _____
Type of Cuisine: ITALIAN

Bar Area? YES
Number of Seats at Bar: 9
Full Service Kitchen? YES
Percentage of Glazing Proposed: _____
Years of Experience in Birmingham: 6 yrs
Years of Experience Outside Birmingham: 35 yrs

11. Required and Proposed Setbacks

Required Front Setback: _____
Required Rear Setback: _____
Required Total Side Setback: _____

Proposed Front Setback: _____
Proposed Rear Setback: _____
Proposed Total Side Setback: _____

12. Outdoor Dining Facility

Location (sidewalk right-of-way or on-street parking space): SEE ATTACHED
Hours of Operation: _____
Width of unobstructed sidewalk between door and café? (5 ft. required): _____
Platform Proposed: _____
Trash Receptacles: _____

Number of Tables/Chairs: _____
Material of Tables/Chairs: _____
Tables Umbrellas Height & Material: _____
Number and Location of Parking Spaces Utilized: _____
Screenwall Material: _____
Enclosure Material: _____

13. Required and Proposed Parking

Required number of parking spaces: _____
Location of parking on site: _____
Screenwall material: _____

Shared Parking Agreement? _____
Location of parking off site: _____
Height of screenwall: _____

14. Landscaping

Location of landscape areas: _____

Proposed landscape material: _____

Attachment to SLUP amendment request

LaStrada is requesting an Amendment to its 2015 SLUP to reconfigure and expand the Restaurant into the now vacant adjacent space (vacated by Adore') in the Merrillwood Building.

LaStrada has the opportunity to redesign and reconfigure the Restaurant. The proposed redesign will provide enhanced open flow design and retail goods for sales display, better bar and server counter areas.

Indoor seating will be increased from its current forty-eight (48) seats with six (6) bar stools to fifty-six (56) dining seats and nine (9) bar stools.

It is also hoped the Restaurant will be able to re-open for lunch business.

15. Streetscape

Sidewalk width: _____
Number of benches: _____
Number of planters: _____
Number of existing street trees: _____
Number of proposed street trees: _____
Streetscape plan submitted? _____

Description of benches or planters: _____

Species of existing trees: _____

Species of proposed trees: _____

16. Loading

Required number of loading spaces: _____
Typical angle of loading spaces: _____
Screenwall material: _____
Location of loading spaces on site: _____

Proposed number of loading spaces: _____

Typical size of loading spaces: _____

Height of screenwall: _____

Typical time loading spaces are used: _____

17. Exterior Waste Receptacles

Required number of waste receptacles: _____
Location of waste receptacles: _____
Screenwall material: _____

Proposed number of waste receptacles: _____

Size of waste receptacles: _____

Height of screenwall: _____

18. Mechanical Equipment

Utilities and Transformers:

Number of ground mounted transformers: _____
Size of transformers (L•W•H): _____
Number of utility easements: _____
Screenwall material: _____

Location of all utilities & easements: _____

Height of screenwall: _____

Ground Mounted Mechanical Equipment:

Number of ground mounted units: _____
Size of ground mounted units (L•W•H): _____
Screenwall material: _____

Location of all ground mounted units: _____

Height of screenwall: _____

Rooftop Mechanical Equipment:

Number of rooftop units: _____
Type of rooftop units: _____
Screenwall material: _____
Location of screenwall: _____

Location of all rooftop units: _____

Size of rooftop units (L•W•H): _____

Percentage of rooftop covered by mechanical units: _____

Height of screenwall: _____

Distance from rooftop units to all screenwalls: _____

19. Accessory Buildings

Number of accessory buildings: _____
Location of accessory buildings: _____

Size of accessory buildings: _____

Height of accessory buildings: _____

20. Building Lighting

Number of light standards on building: _____
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light standards on building: _____

Height from grade: _____

Proposed wattage per fixture: _____

21. Site Lighting

Number of light fixtures: _____
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light fixtures: _____

Height from grade: _____

Proposed wattage per fixture: _____

Holiday tree lighting receptacles: _____

22. Adjacent Properties

Number of properties within 200 ft.: _____

Property #1

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #2

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #3

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #4

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #5

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #6

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: _____

Date: 2/10/2022

Print Name: Jeffrey ISHBIA

Signature of Applicant: _____

Date: 2/10/2022

Print Name: ZHAIZKO PAUSIAT / LA STRADA CAFE, LLC
MEMBER

Signature of Architect: Christopher J. Longe

Date: _____

Print Name: CHRISTOPHER J. LONGE

Office Use Only

Application #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Accepted by: _____



MEMORANDUM

Planning Division

DATE: April 27, 2022

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: 294 E. Brown – Final Site Plan and Design Review

The applicant has submitted an application for Final Site Plan and Design Review for the construction of a 4-story mixed-use building in the B2 (General Business) and D3 (Downtown Overlay) Zoning Districts. The subject site currently contains a 2-story office/commercial building, street trees, landscaping, and associated parking and site improvements. The proposed new building will contain a mix of retail, office and residential units, as well as a rooftop use, a courtyard/passage that connects to the RH site to the east, and a 58-car below-grade parking facility. The primary materials on the building façade are brick, limestone and glass.

On February 23, 2022, the Planning Board moved to postpone consideration of the Preliminary Site Plan review to give the applicant time to address the issues noted in the CIS, but also to make revisions to the site plans per staff comments.

On March 23, 2022, the Planning Board moved to accept the Community Impact Study with the following conditions:

1. The Planning Division suggests that the applicant review any and all opportunities on site to provide storm water detention in the form of green infrastructure;
2. The applicant comply with the requests of the City's traffic consultant and submit a final transportation impact study;
3. The applicant must comply with the requests of all City departments; and,
4. That the applicant improve the pedestrian crosswalk on Brown, slightly to the west of 294 E. Brown, by installing signage, updating the ADA ramps, and restriping the crosswalk.

In addition, on March 23, 2022, the Planning Board also moved to approve the Preliminary Site Plan review with the following conditions:

1. The applicant must remove the synthetic planting material (turf, groundcover, birch trees, etc.) as currently proposed, or at final site plan review provide alternative definitions and how it might be considered in reference to Article 4, Section 4.20;
2. The applicant must submit revised plans showing a loading space that meets the requirements of Article 4, Section 4.24 (C) of the Zoning Ordinance;

3. The applicant must submit material specifications, samples and all other required information for the proposed building to complete the Design Review at Final Site Plan; and
4. The applicant must comply with the requests of all City Departments.

The applicant has provided updated plans and supporting documentation that addresses many of the conditions of acceptance/approval as noted above.

1.0 Land Use & Zoning

- 1.1 **Existing Land Use** – The existing land use is commercial, and currently contains a 2-story office building and an associated off-street parking facility.
- 1.2 **Zoning** – The subject site exists within the B2 (General Business) and D3 (Downtown Overlay) Zoning Districts.
- 1.3 **Summary of Adjacent Land Use & Zoning** – The following chart summarizes existing land use and zoning classifications of the adjacent and/or nearby properties:

	North	South	East	West
Existing Land Use	Commercial	Mixed-Use	Commercial	Commercial/Office
Existing Zoning District	B4 (Business-Residential)	B2-B (General Business)	B2 (General Business)	B2 (General Business)
Overlay Zoning District	D4	D2	D4	D3

2.0 Setback & Height Requirements

The attached zoning compliance summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. The applicant appears to meet the bulk, area and placement requirements of the B2/D3 zoning districts.

3.0 Screening & Landscaping

- 3.1 **Dumpster Screening** – The applicant is proposing one trash room on the first floor at the southwest corner of the site adjacent to the receiving area, which appear to collect from the first floor through the courtyard and mechanical room, as well as floors 3-4 through a trash chute. There are no indications of the type or quantity of refuse containers noted in the plans. In terms of screening, the receptacles are all proposed inside the building envelope, thus fully screened by the building.
- 3.2 **Parking Lot Screening** – The applicant is proposing a below-grade, 58-space off-street parking facility. The facility spans the entire property, with the entrance to the facility being located off Brown at the northwest corner of the property. Due

to the proposed parking facilities location underground, the parking facility is considered to be fully screened and will require no additional screening.

3.3 Mechanical Equipment Screening – The site plans proposed show a number of rooftop mechanical units that will require screening.

The proposed rooftop units (RTU's) are all centrally located (in terms of depth) on the roof in various locations. The applicant has indicated extensive metal panel screening enclosures on the elevation drawings, and has included the location of such on the roof plan. The applicant has also submitted specification sheets on the proposed RTU's, and has provided a height dimension of 9 ft. for the proposed RTU screening on the elevation drawings. The RTU specifications provided range from small air handling units to large package HVAC units that measure a little over 6 ft. in height at the tallest (not including any curbs). The applicant appears to meet the screening requirements for the proposed rooftop units.

In addition to the rooftop units, the applicant is showing one DTE transformer and one DTE primary switch cabinet at the northeast corner of the property. The applicant has provided arborvitae screening for the ground-mounted mechanical units. Article 4, Section 4.54 (B)(8) of the Zoning Ordinance states that when required to screen a trash receptacle or ground-mounted mechanical or electrical equipment, a masonry screen wall with wood gates is required. The screen wall shall match the material of the principal building.

However, Section 4.54 (A) permits flexibility in the materials, size, height and placement of walls in order to allow architectural harmony and usable open space and to accomplish a unified design. In the past, the Planning Board has considered evergreen screening to be an appropriate screening material for ground mounted units. In this case, the placement of the DTE equipment in a landscaped area and the proposed arborvitae appears to meet the criteria for flexibility in material selection. **The Planning Board should discuss the proposed arborvitae screening and determine if it is an appropriate screening material.**

3.4 Landscaping – The applicant is proposing to install landscaping on-site within the courtyard/passage, as well as on the roof. The bulk of the landscaping proposed on the ground level are neat evergreen hedges/shrubs (Green Velvet Boxwood), with other flowering shrubs (Bobo and Pinky Winky Hydrangea) mixed in at the courtyard/passage entries. In addition, 4 flowering trees (Ivory Silk Lilac), 13 columnar trees (Slender Silhouette Sweetgum) and ornamental grasses (All Gold J. Forest Grass) are proposed in the open side of the courtyard/passage.

As noted above, it appears as though the applicant is proposing to install synthetic plantings beneath the building on the eastern part of the courtyard/passage. Article 4, Section 4.20 (D)(1) requires all landscaping to consist of approved natural materials or living plant materials. **The applicant must remove the synthetic planting material (turf, groundcover, birch trees, etc.) and replace with a live planting material, or obtain a variance from the Board of Zoning Appeals.**

As for the roof plantings, the applicant is proposing extensive plantings along the northern, southern and eastern edges of the rooftop. These plantings include flowering trees (Sargent Crabapple), ornamental grasses (Tara Dwarf Prairie Dropseed), canopy trees (Princeton Sentry Ginkgo), columnar trees (Slender Silhouette Sweetgum) and mixed flowering groundcover. The applicant is also proposing synthetic turf on the rooftop.

None of the proposed plantings appear explicitly on the prohibited species list found in Article 4, Section 4.20 (D)(4).

- 3.5 Streetscape Elements – The applicant has provided a number of street trees, streetlights, 5 benches, 4 trash receptacles, and 2 bike racks on the site plans submitted. In terms of street trees, Article 4, Section 4.20 (G) requires at least 1 street tree for each 40 linear feet of frontage along a street. A breakdown of the required and proposed street trees is provided below:

Street	Linear Frontage (ft.)	Required	Provided
Brown	170	4	3
Daines	170	4	3
Total	340	8	6

It is apparent that the areas of the streetscape where the 4th tree would be placed contain the entrance to their underground parking access and receiving access areas. **The applicant has obtained a waiver from the Staff Arborist for 1 street tree along Brown, and 1 street tree along Daines.**

As far as streetlights, the applicant appears to be proposing 4 street lights along Brown. Each streetlight is spaced 40 ft. apart and set in between street trees. All streetlights proposed are expected to meet the streetscape standards for Downtown Birmingham.

Finally, the applicant has proposed 5 total benches: 3 along Brown and 2 along Daines. There are 2 bike racks proposed on private property along the Connecting Via at the west side of the property, and 4 trash receptacles on the site plans submitted. **The Planning Board may wish to require the applicant to include additional benches, bike racks, or trash receptacles along each street frontage.**

4.0 Parking, Loading & Circulation

- 4.1 Parking – Article 4, Section 4.46 of the Zoning Ordinance requires the applicant to provide the following off-street parking for the uses proposed in the site plans submitted:

Proposed Use	Requirements	Area or Units	Spaces
2 or less room unit	1 space per unit	8	8
3 or more room unit	1.25 spaces per unit	28	35
Total Required	-	-	43
Total Proposed	-	-	58

Based on the calculations above, the applicant meets the parking requirements for the proposed development. These spaces appear to be available for the residential and office users of the building through what appears to be a restricted access garage door. The applicant has indicated that the 15 spaces over the required off-street parking will be provided to the office users of the building.

- 4.2 Loading – Based on the commercial space (7,110 sq. ft.) and office space (34,452 sq. ft.) within the proposed development, the applicant is required to provide two off-street loading spaces with the following minimum dimensions: 40 feet long, 12 feet wide and 14 feet high. The applicant has provided two loading spaces (40 ft. x 12 ft. x 14 ft.) within the south side of the building along Daines. The applicant has indicated that the loading spaces will be accessed by a single overhead garage. In addition, the applicant has provided a vehicle maneuvering plan that demonstrates how trucks will access the space with an ample turning radius.
- 4.3 Vehicle Circulation & Access – The site plans submitted indicate that the main vehicle access to the site will be through an opening on the northwest side of the building that leads to the underground parking facility. The curb cut measures 20 ft. wide and contains glass overhead garage doors. Delivery and service vehicles will access the site on the southwest side of the building through a garage door that accesses the receiving area of the building. The applicant has also provided an opening on the west elevation of the building at the parking ingress/egress point to provide for greater visibility while pulling in and out of the parking garage.
- 4.4 Pedestrian Circulation & Access – Pedestrian access is varied with a main lobby entrance for the upper office and residential floors in the center of the building along Brown. There are also two retail access points along Brown, as well as the courtyard/passage. The office space along Daines has similar pedestrian access.

5.0 Lighting

The applicant has submitted an exterior lighting design concept, specification sheets for proposed light fixtures, and a photometric plan detailing the illuminance level across the property pursuant to Article 4, Section 4.21 (C). The lighting concepts consist of bollard lighting, in-grade lighting, and accent lighting concentrated in the courtyard /passage and rooftop of the proposed development with a few lights placed on the facades. A review of the light fixtures proposed suggests that the bollard lights are cutoff as defined by Section 9.02, but the in-grade strip lighting and the accent lighting would not be considered fully cut off. The lighting does appear to be placed in a manner that is consistent and coordinated, and positioned away from abutting properties where appropriate.

Article 4, Section 4.21 (D)(1) states that Exception to cutoff luminaries can be made at the discretion of the Planning Board under any of the following conditions:

- a. The distribution of upward light is controlled by means of refractors or shielding to the effect that it be used solely for the purpose of decorative enhancement of the luminaire itself and does not expel undue ambient light into the nighttime environment.
- b. The luminaire is neither obtrusive nor distracting, nor will it create a traffic hazard or otherwise adversely impact public safety, with appropriate methods used to eliminate undesirable glare and/or reflections.
- c. The luminaire is consistent with the intent of the Master Plan, Urban Design Plan(s), Triangle district plan, Rail District plan and/or Downtown Birmingham 2016 Report, as applicable.
- d. The scale, color, design or material of the luminaire will enhance the site on which it is located, as well as be compatible with the surrounding buildings or neighborhood.
- e. Lighting designed for architectural enhancement of building features (i.e. architectural enhancement lighting). Appropriate methods shall be used to minimize reflection and glare.
- f. The site lighting meets all requirements set forth in this ordinance including, but not limited to, light trespass and nuisance violations.

The Planning Board should consider the light fixtures proposed and determine if the standards of Section 4.21 (D)(1) have been met.

In terms of the photometric plan, Article 4, Section 4.21 (E) states that the intensity of light on a site shall not exceed 0.6 maintained foot-candles at any property line that abuts a single-family residential zoned property or 1.5 maintained foot-candles at any property line for any other zoned property. The light intensity shall be measured at 6 ft. above ground level on a vertical plane. In addition, the intensity of light on a site which provides a front setback of less than 5 ft. shall be measured from 5 ft. beyond the front property line. A review of the photometric plan provided does indicate light intensity that stays within the permitted 1.5 maintained foot-candles 5 ft. beyond the front property line.

However, based on the above ordinance language, the rear of the property along Daines is not afforded the same light intensity extension as the front of the property along Brown. The light intensity proposed at the property line along Daines exceeds the permitted 1.5 maintained foot-candles and must be reduced. Thus, **the applicant must submit a revised photometric plan demonstrating light levels that do not exceed 1.5 maintained foot-candles along the rear property line.**

6.0 Departmental Reports

- 6.1 Engineering Department – Please see the attached Engineering Department comments dated April 22, 2022.
- 6.2 Department of Public Services – Regarding the proposed new city street trees: The hybrid elms are acceptable. The "Presidential Gold" Ginkgos have a 30-40 ft.

width at maturity. We recommend "Goldspire" ginkgo instead. Same look, but columnar growth pattern with a 6 ft. mature width for this tight location, and in addition they must be male clone only (seedless variety).

- 6.3 Fire Department – Please see the attached Fire Department comments dated April 22, 2022.
- 6.4 Police Department – The Police Department has indicated that they have no concerns as long as the project has the necessary on-site parking requirements consistent with City zoning.
- 6.5 Building Department – Please see the attached Building Division comments dated April 19, 2022.
- 6.6 Parking Manager – The Parking Manager has no concerns at this time.

7.0 Design Review

The applicant has submitted elevation drawings with detailed material notes, as well as material specifications, glazing calculations and preliminary signage plans. The façade of floors 1-3 and the roof lobby are proposed to be constructed of red architectural brick with cast stone accents. The 4th floor façade is proposed as textured stucco. The applicant is also proposing some architectural details such as aluminum canopies, aluminum clad wood operable windows on floors 3 & 4, and a metal panel rooftop screen wall in slate grey. The 4th floor and rooftop are proposed to be enclosed with wood and metal guardrails. The material palette proposed generally meets the architectural standards of the Downtown Overlay which includes (but is not limited to) the following standards:

1. At least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood. Dryvit or E.F.I.S is prohibited.
2. The primary colors of building exteriors shall be compatible with the colors of adjacent buildings and in character with the surrounding area, although the trim may be of a contrasting color.
3. Storefronts shall be directly accessible from public sidewalks. Each storefront must have transparent areas, equal to 70% of its portion of the facade, between one and eight feet from the ground.
4. Storefronts shall have mullion systems, with doorways and signage integrally designed. Mullion systems shall be painted, powder-coated, or stained.
5. The glazed area of a facade above the first floor shall not exceed 35% of the total area, with each facade being calculated independently.
6. Clear glazing is required on the first floor. Lightly tinted glazing is permitted on upper floors only. Windows shall not be blocked with opaque materials or the back of shelving units or signs.

Glazing

As noted above, buildings in the Downtown Overlay must have storefronts with clear glazing equal to 70% of its portion of the façade between one and eight ft. from the ground. The applicant has submitted glazing calculations demonstrating 70.1% glazing on the first floor of the Brown elevation and 72.1% glazing on the Daines first floor elevation. In terms of upper floor glazing, the applicant has provided calculations demonstrating that glazing area does not exceed 35%.

Finally, the applicant has also submitted glazing specifications that demonstrate an 80% minimum Visible Light Transmittance, which meets the definition of clear glazing.

Signage

The applicant has submitted a preliminary sign design plan pursuant to Article 1, Section 1.04 (A) of the Sign Ordinance, which states that for all newly constructed or exterior renovated buildings, an overall building sign design plan shall be approved by the appropriate reviewing body, in accordance with Section 2.02: Sign Review. Based on the calculations provided and the locations of signage, the Planning Division has limited concerns and would recommend approval of the preliminary sign design plan for the proposed development with the understanding that all new signs will be reviewed and approved based on the requirements of the Sign Ordinance.

Rooftop Use

Article 5, Section 5.12 (I) permits rooftop amenities such as pergolas, trellises and other similar items in the B4 zone, provided:

1. They are set back at least 5 feet from the eave line.
2. They are of sufficient weight or anchored to the building to resist anticipated wind loads.
3. They do not have full enclosures.
4. They do not include eisenglass or similar enclosure materials.
5. Rooftop structures and amenities may not contain habitable space.

Based on the roof level plan submitted, amenities proposed for the rooftop use include a pool, seating, umbrellas, 3 cabanas (a pergola-like shade structure), grills and fire pit. Article 9, Section 9.02 of the Zoning Ordinance defines eave line as the point of intersection of the roof and exterior wall on a flat roof building. In assessing the roof plan, it is clear that the infinity edge swimming pool infringes into the required 5 ft. setback from the eave line. Thus, **the applicant must submit revised plans demonstrating a 5 ft. setback from the eave line for all rooftop amenities, or obtain a variance from the Board of Zoning Appeals.**

8.0 Required Attachments

(See next page)

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Floor Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Colored Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Site & Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions

- 9.1 The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- 9.2 The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- 9.3 The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property and not diminish the value thereof.
- 9.4 The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- 9.5 The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- 9.6 The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

10.0 Recommendation

Based on a review of the site plans submitted and the requirements outlined in Article 7, Section 7.27 of the Zoning Ordinance, the Planning Division recommends that the Planning Board **APPROVE** the Final Site Plan and Design Review application for 294 E. Brown with the following conditions:

1. The applicant must remove the synthetic planting material (turf, groundcover, birch trees, etc.) and replace with a live planting material, or obtain a variance from the Board of Zoning Appeals;
2. The Planning Board approves the non-cutoff light fixtures pursuant to Article 4, Section 4.21 (D)(1);
3. The applicant must submit a revised photometric plan demonstrating light levels that do not exceed 1.5 maintained foot-candles along the rear property line;
4. The Planning Board approves the preliminary building sign design plan;
5. The applicant must submit revised plans demonstrating a 5 ft. setback from the eave line for all rooftop amenities, or obtain a variance from the Board of Zoning Appeals; and
6. The applicant must comply with the requests of all City Departments.

11.0 Sample Motion Language

Motion to **APPROVE** the Final Site Plan and Design Review application for 294 E. Brown with the following conditions:

1. The applicant must remove the synthetic planting material (turf, groundcover, birch trees, etc.) and replace with a live planting material, or obtain a variance from the Board of Zoning Appeals;
2. The Planning Board approves the non-cutoff light fixtures pursuant to Article 4, Section 4.21 (D)(1);
3. The applicant must submit a revised photometric plan demonstrating light levels that do not exceed 1.5 maintained foot-candles along the rear property line;
4. The Planning Board approves the preliminary building sign design plan;
5. The applicant must submit revised plans demonstrating a 5 ft. setback from the eave line for all rooftop amenities, or obtain a variance from the Board of Zoning Appeals; and
6. The applicant must comply with the requests of all City Departments.

OR

Motion to **POSTPONE** the Final Site Plan and Design Review application for 294 E. Brown pending receipt of the following:

1. _____
2. _____
3. _____

OR

Motion to **DENY** the Final Site Plan and Design Review application for 294 E. Brown for the following reasons:

1. _____

2. _____
3. _____

**Zoning Compliance Summary Sheet
Final Site Plan Review
294 E. Brown**

Existing Site: 2 story commercial/office building

Zoning: B2 (General Business) & D3 (Downtown Overlay)

Land Use: Commercial/Office

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Commercial	Mixed-Use	Commercial	Commercial/ Office
Existing Zoning District	B4 (Business-Residential)	B2-B (General Business)	B2 (General Business)	B2 (General Business)
Overlay Zoning District	D4	D2	D4	D3

Land Area: Existing: 0.758 ac
Proposed: 0.758 ac

Dwelling Units: Existing: 0 units
Proposed: 34 units

Minimum Lot Area/Unit: Required: N/A
Proposed: N/A

Min. Floor Area /Unit: Required: 300 sq. ft. (single story hotel or motel)
600 sq. ft. (efficiency and one bedroom)
800 sq. ft. (two or more bedroom)
Proposed: 936 sq. ft. (one bedroom)
1,316-1,200 (two or more bedroom)

Max. Total Floor Area: Required: N/A
Proposed: N/A

Min. Open Space: Required: N/A
Proposed: N/A

Max. Lot Coverage:	Required:	N/A
	Proposed:	N/A
Front Setback:	Required:	0 ft.
	Proposed:	0 ft.
Side Setbacks	Required:	0 ft. maximum
	Proposed:	0 ft.
Rear Setback:	Required:	0 ft. (equal to adjacent pre-existing building)
	Proposed:	0 ft.
Min. Front+Rear Setback	Required:	N/A
	Proposed:	N/A
Max. Bldg. Height:	Permitted:	68 ft., 4 stories
	Proposed:	65 ft., 4 stories
Min. Eave Height:	Required:	20 ft.
	Proposed:	52 ft.
Floor-Floor Height:	Required:	N/A
	Proposed:	N/A
Front Entry:	Required:	On frontage line
	Proposed:	On frontage line
Absence of Bldg. Façade:	Required:	N/A
	Proposed:	N/A
Opening Width:	Required:	N/A
	Proposed:	N/A
Parking:	Required:	43 off-street spaces
	Proposed:	58 off-street spaces
Min. Parking Space Size:	Required:	180 sq. ft.
	Proposed:	180 sq. ft.
Parking in Frontage:	Required:	N/A
	Proposed:	N/A
Loading Area:	Required:	2 off-street loading spaces 40 ft. x 12 ft. x 14 ft.

Screening:

Proposed: 2 off-street loading spaces
40 ft. x 12 ft. x 14 ft.

Parking: Required: 6 ft. masonry screen wall
Proposed: Facility located underground

Loading: Required: Screened from view
Proposed: Interior loading area screened by building

Rooftop Mechanical: Required: Screened from view
Proposed: 9 ft. metal panel screen wall

Elect. Transformer: Required: N/A
Proposed: N/A

Dumpster: Required: Masonry screen wall with wood gates
Proposed: One fully interior trash room fully screened by building facade



CITY OF BIRMINGHAM FIRE DEPARTMENT

572 SOUTH ADAMS • BIRMINGHAM, MICHIGAN 48009 • 248.530.1900 FAX 248.530.1950

April 22, 2022

RE: Site plan review comments

294 E. Brown

The Fire Department has examined the submitted plans for the proposed project for 294 E. Brown.

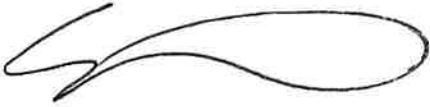
Applicable Fire Codes:

- 2015 International Fire Code
- All applicable NFPA documents, guides and standards referenced in the 2015 International Fire Code.
- Local ordinance

Review Comments:

1. A bi-directional antenna system (BDA) may be required per fire code. Determination shall be made toward the end of final construction after walls are poured and construction is near completion.
2. Per City Ordinance 54-32: A Knox Power Shutdown Device shall be installed on the exterior of the building. This device shall disconnect power to all of the building with the exception of emergency devices such as egress lighting, fire alarms, elevator recall, etc. This device shall be secured using the Knox Shut off device. Contact Fire Marshal for specifications.
3. Full fire suppression is required for this structure.
 - a. Fire department connection to be installed on north side (Brown St.) side and located within 100 feet of a fire hydrant. If a hydrant is not within 100 feet of the FDC a hydrant shall be installed at the expense of the project owner to meet this requirement.
4. Stand pipe system to be installed in all stairwells on each level. Standpipe system to be installed on rooftop and underground parking.
5. Full fire alarm coverage installation is required for this structure.
6. Stairway to access rooftop.
7. Required egress pathway distances shall be met and required in the building and enclosed egress points per IBC and IFC.
8. Knox box key box (surface mount) shall be required on the north and south side of the building due to the size of the building. Contact Fire Marshal for specific locations for Knox box installation.
9. Exterior fire alarm notification devices on rooftop elevation required.
10. Rooftop garden shall follow all fire and building code requirements listed.
11. Dependent on the final design height of the building and IBC, IFC requirements an emergency generator may be required.

12. Do to the size of the project and dependent on the final design height of the building a fire command center is recommended and may be required per IFC.
13. A fire pump may be required dependent of building height and available city water pressure.
14. Access on Brown St. and Danes St. of fire apparatus shall be maintained following completion of project.
15. Exit signage illuminated shall be installed above doors and at ground level of all floors.
16. Parking garage shall require ventilation system, CO2 monitoring, fire alarm, fire suppression and standpipe system.

A handwritten signature in black ink, consisting of a stylized, flowing line that forms a large loop and ends with a small flourish.

Jack D. Pesh

Fire Marshal

Birmingham Fire Department

CITY OF BIRMINGHAM
Community Development – Building Department
151 Martin Street, Birmingham, MI 48009

April 19, 2022

RE: Final Site Plan Review Comments
294 E. Brown, Brown Street Mixed Use Building

As requested, the Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:

Applicable Building Codes:

- **2015 Michigan Building Code.** Applies to all buildings other than those regulated by the *Michigan Residential Code*.
- **2015 Michigan Mechanical Code.** (Residential requirements for mechanical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- **2018 Michigan Plumbing Code.** (Residential requirements for plumbing construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- **2017 National Electrical Code along with the Michigan Part 8 Rules.** (Residential requirements for electrical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)

Review Comments:

1. The windows long the west property line will need to be fire-resistance-rated glazing in accordance with Section 716.2 of the building code.
2. No other building code concerns at this time.

DATE: April 22, 2022

TO: Nicholas Dupuis, Planning Director

FROM: Scott Zielinski, Assistant City Engineer

SUBJECT: 2nd Design Drawing Review Comments for 294 E Brown

As requested the Engineering Department has conducted a review of the Preliminary Design drawings prepared by Saroki Architecture dated 1-25-2022 for Design Review, and the engineering site plan drawings prepared by Nowak & Fraus for Saroki that are dated 12-14-2021. With respect to conformance with City ordinances and engineering standards, the Engineering Department has the following updated comments in [BLUE](#):

GENERAL:

- Site Plans will be required to show changes in planned grade elevations both onsite and in Right-Of-Way (ROW) space.
- Cross section of the Sewer and Water connections need to be shown along with the clarification showing a minimum of 18" clearance will be maintained between any water and sewer crossings.
- ~~Engineering recommends the truck access to street been reviewed to assure there is enough space for trucks to turn in and out of planned truck entrance off of Daines (as Daines is a smaller width street).~~
 - [Based on proposed vehicle analysis, the turning should be suitable for smaller trucks and garbage trucks.](#)
- Earth Retention System (ERS) will be required for below ground work, and must be designed to be self-contained on the property.

SEWER:

- Separate connections for both Storm Sewer and Sanitary Sewer shall be established.
- Current sanitary connections appear to be adequate for building use.
- Plans do not indicate how roof drainage will be handled. Note that City Ordinance prohibits downspouts from being directly connected to the sewer system.

STORM WATER RUNOFF:

- For the proposed site development, it is the City's determination that the full property of the proposed construction site is considered the "affected area" with respect to City's Storm Water Runoff Ordinance (Chapter 114, Article III, Division 4, Sec 114-271 to 114-274). Therefore, the allowable runoff from the site for a 10-year storm event is 1.0 cfs/acre, or 0.2 cfs, whichever is greater.

- Provide calculations for required storm water detention, and show how the excess storm water will be detained and released at the allowable discharge rate.

PERMITS:

- Obstruction Permits will be required for work in the street.
 - Site logistic plan for road obstructions and planned construction route will be required.

Please note these are general comments and the City should be provided an opportunity to review engineered drawings prior to final submission. Engineering comments could impact design requirements.



MEMORANDUM

Department of Public Services

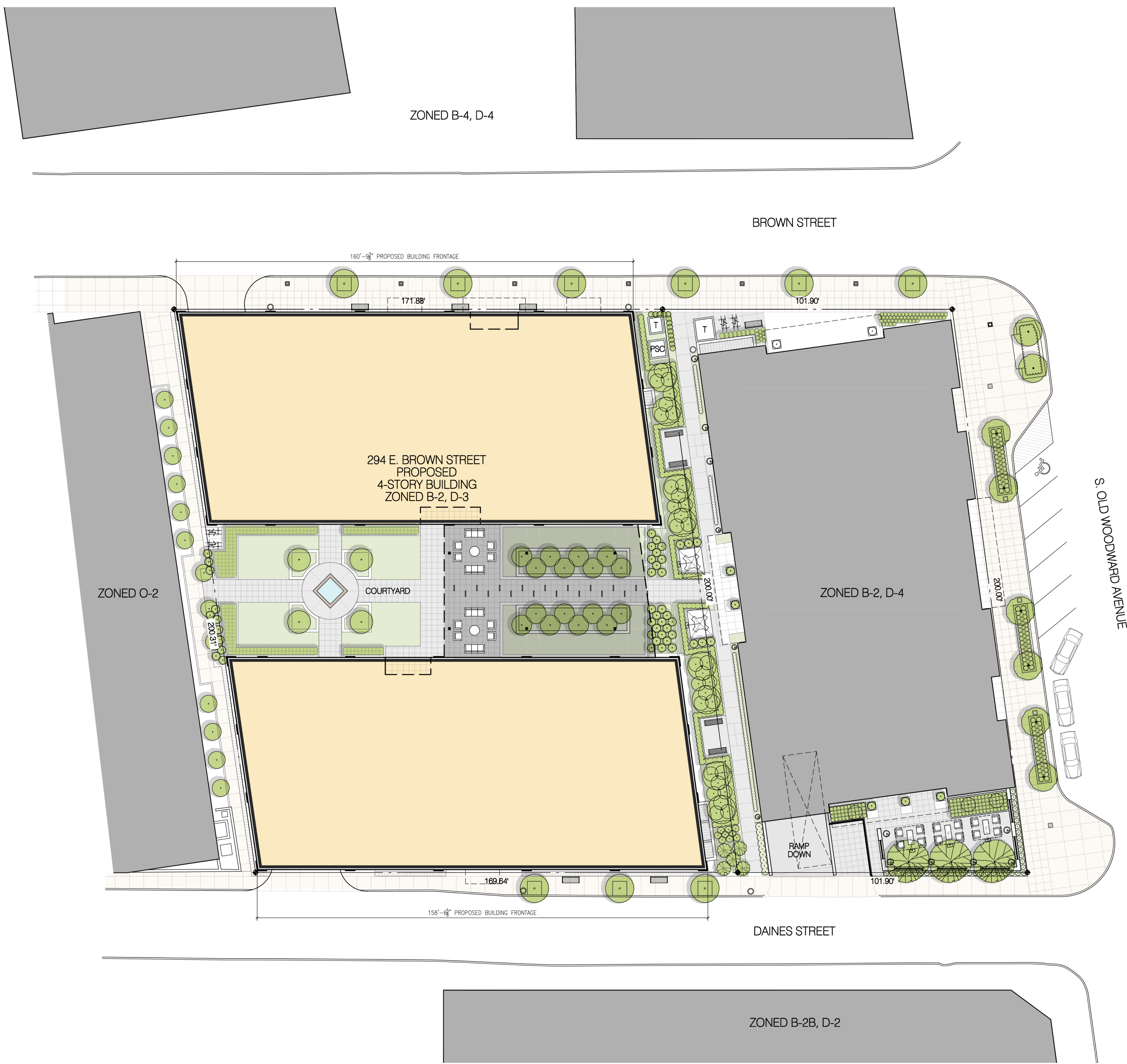
DATE: February 23, 2022

TO: Patrick Funke, Senior Associate
Michael J. Dul & Associates

FROM: Brendan McGaughey, Parks and Forestry Foreman
Carrie A. Laird, Parks and Recreation Manager

SUBJECT: Waiver to be Granted for 294 E. Brown

A waiver from the Staff Arborist shall be granted for the elimination of 2 trees upon approval of the Final Site Plan for 294 E. Brown. One (1) tree on Brown Street due to the location of the underground parking access, and one (1) tree on Daines Street due to the limited space between building frontage and curb of the street to the west, as the street widens close to Brown.



PRELIMINARY
NOT FOR CONSTRUCTION

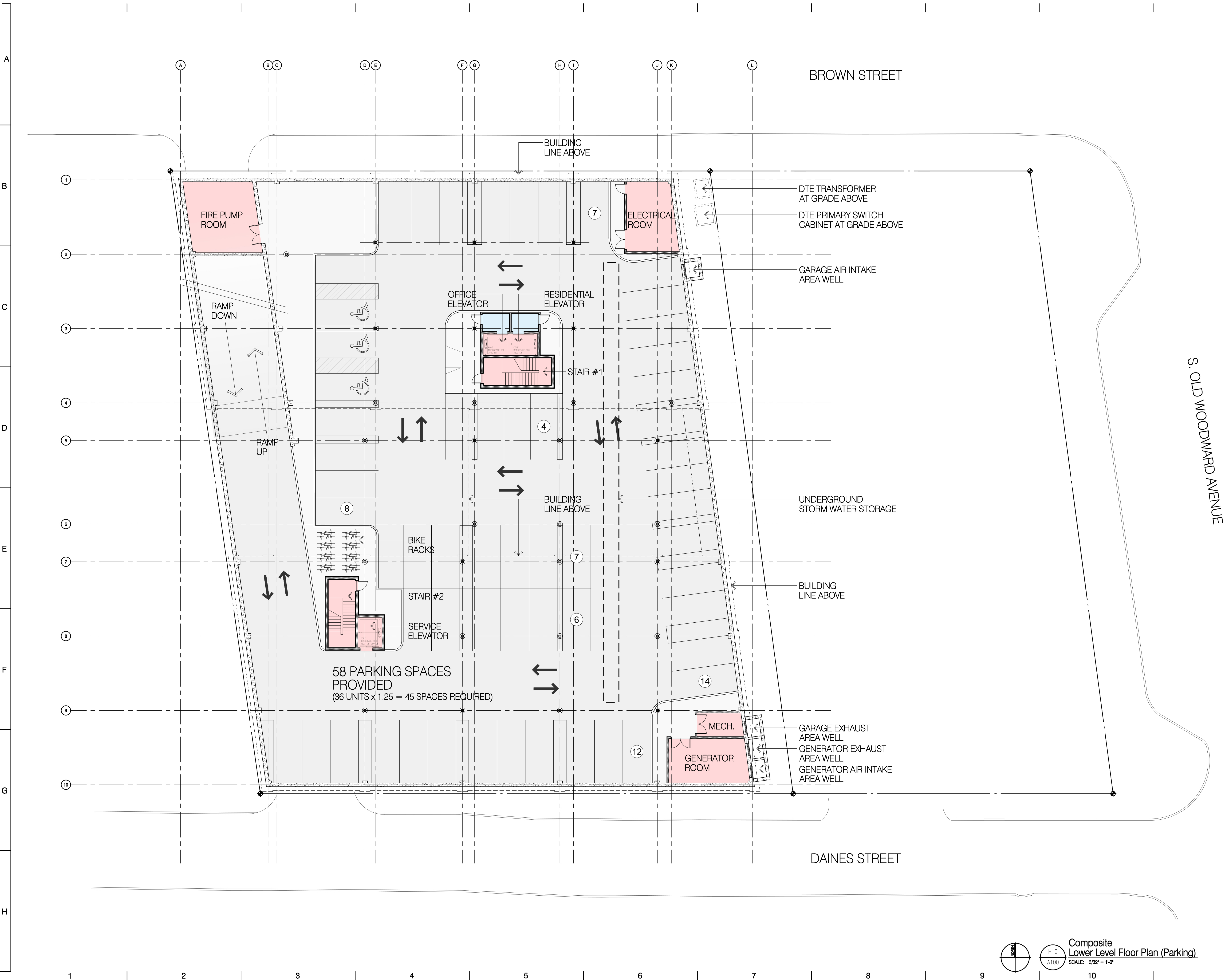
SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: 2022-04-08
Issued For: SCHEMATIC DESIGN
2022-04-15 FINAL SITE PLAN APPROVAL

Sheet No.:
A001
ARCHITECTURAL SITE PLAN

Architectural Site Plan
SCALE: 1/16" = 1'-0"



PRELIMINARY
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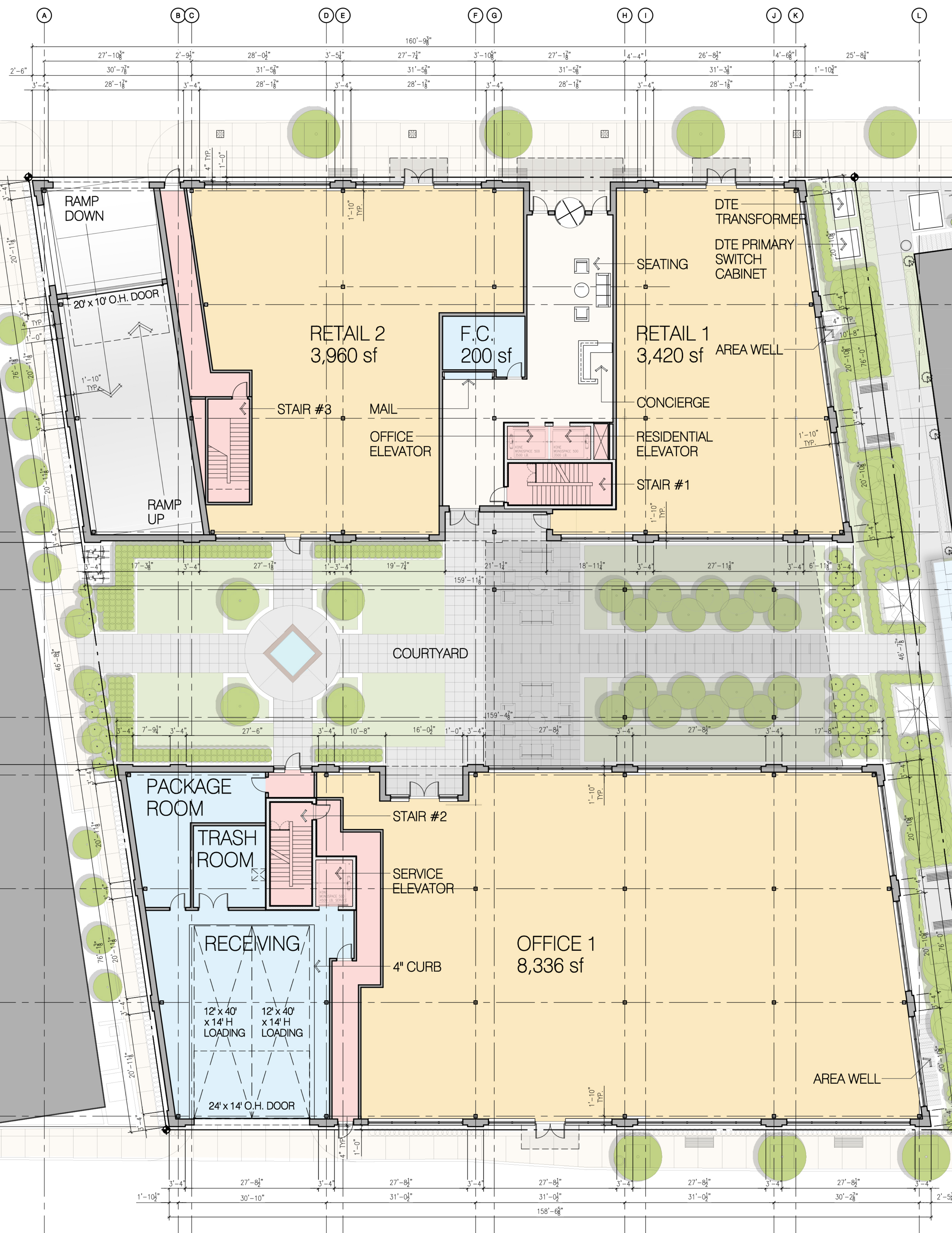
Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: **Issued For:**
2022-01-17 SITE PLAN APPROVAL
2022-01-25 DESIGN REVISION
2022-02-15 DESIGN REVISION
2022-04-08 SCHEMATIC DESIGN
2022-04-15 FINAL SITE PLAN APPROVAL

Sheet No.:
A100
COMPOSITE
LOWER LEVEL FLOOR PLAN
(PARKING)

Composite
Lower Level Floor Plan (Parking)
SCALE: 3/32" = 1'-0"

A
B
C
D
E
F
G
H



BROWN STREET

S. OLD WOODWARD AVENUE

DAINES STREET

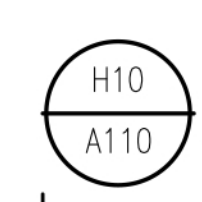
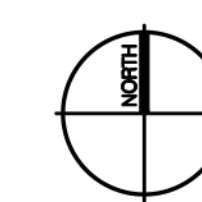
PRELIMINARY
NOT FOR CONSTRUCTION

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ARCHITECTURE
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BIRMINGHAM, MI 48009
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Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: **Issued For:**
2022-01-17 SITE PLAN APPROVAL
2022-01-25 DESIGN REVISION
2022-02-15 DESIGN REVISION
2022-04-08 SCHEMATIC DESIGN
2022-04-15 FINAL SITE PLAN APPROVAL

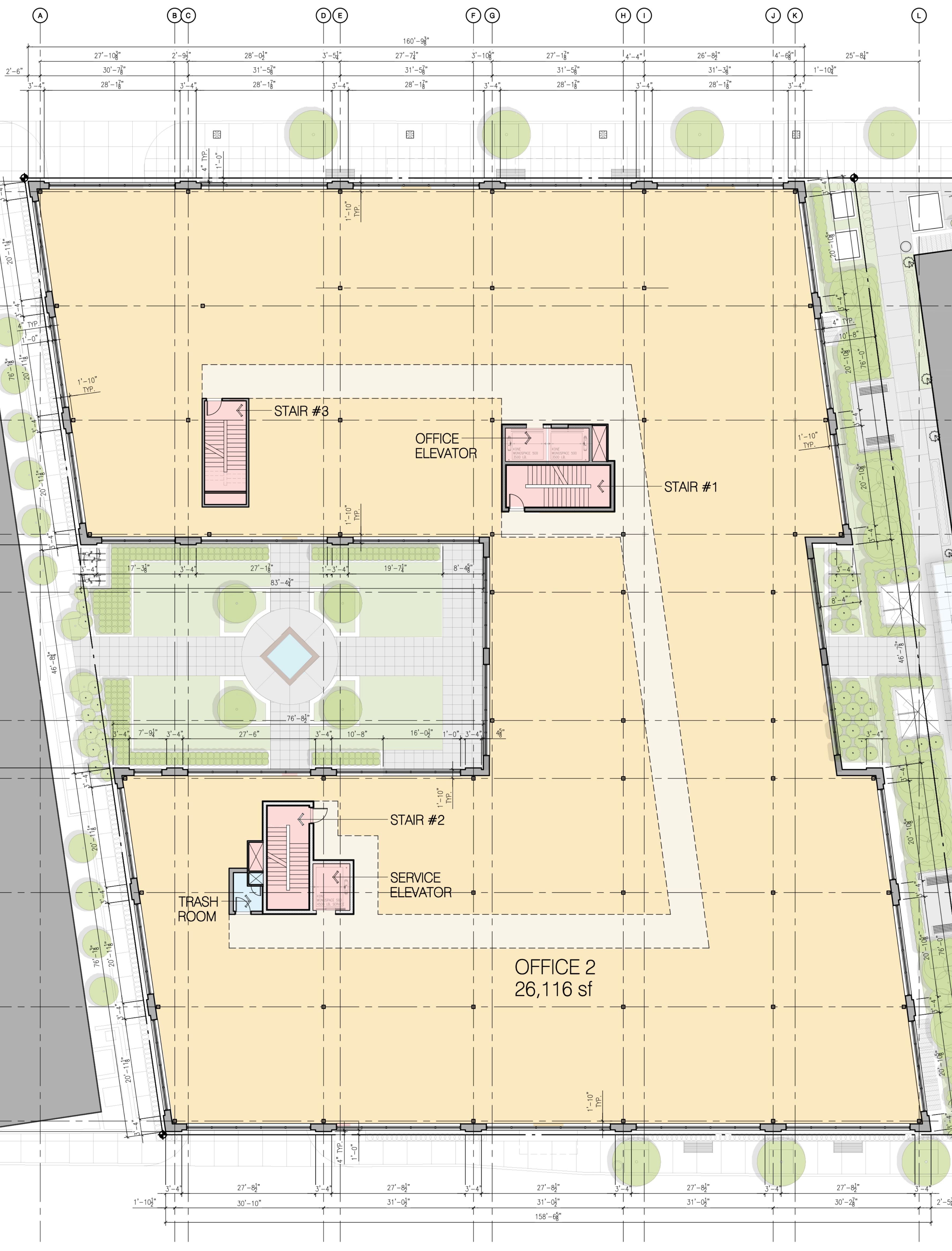
Sheet No.:
A110
COMPOSITE
FIRST LEVEL FLOOR PLAN



Composite
First Level Floor Plan
SCALE: 3/32" = 1'-0"

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A
B
C
D
E
F
G
H



BROWN STREET

S. OLD WOODWARD AVENUE

DAINES STREET


PRELIMINARY
NOT FOR CONSTRUCTION

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
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Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: **Issued For:**
2022-01-17 SITE PLAN APPROVAL
2022-01-25 DESIGN REVISION
2022-04-08 SCHEMATIC DESIGN
2022-04-15 FINAL SITE PLAN APPROVAL

Sheet No.:
A120
COMPOSITE
SECOND LEVEL FLOOR PLAN



H10

A120

Composite
Second Level Floor Plan
SCALE: 3/32" = 1'-0"

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10



BROWN STREET

S. OLD WOODWARD AVENUE

DAINES STREET

PRELIMINARY
NOT FOR CONSTRUCTION

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
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Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: **Issued For:**
2022-01-17 SITE PLAN APPROVAL
2022-01-25 DESIGN REVISION
2022-04-08 SCHEMATIC DESIGN
2022-04-15 FINAL SITE PLAN APPROVAL

Sheet No.:
A130
COMPOSITE
THIRD LEVEL FLOOR PLAN

Composite
Third Level Floor Plan
SCALE: 3/32" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

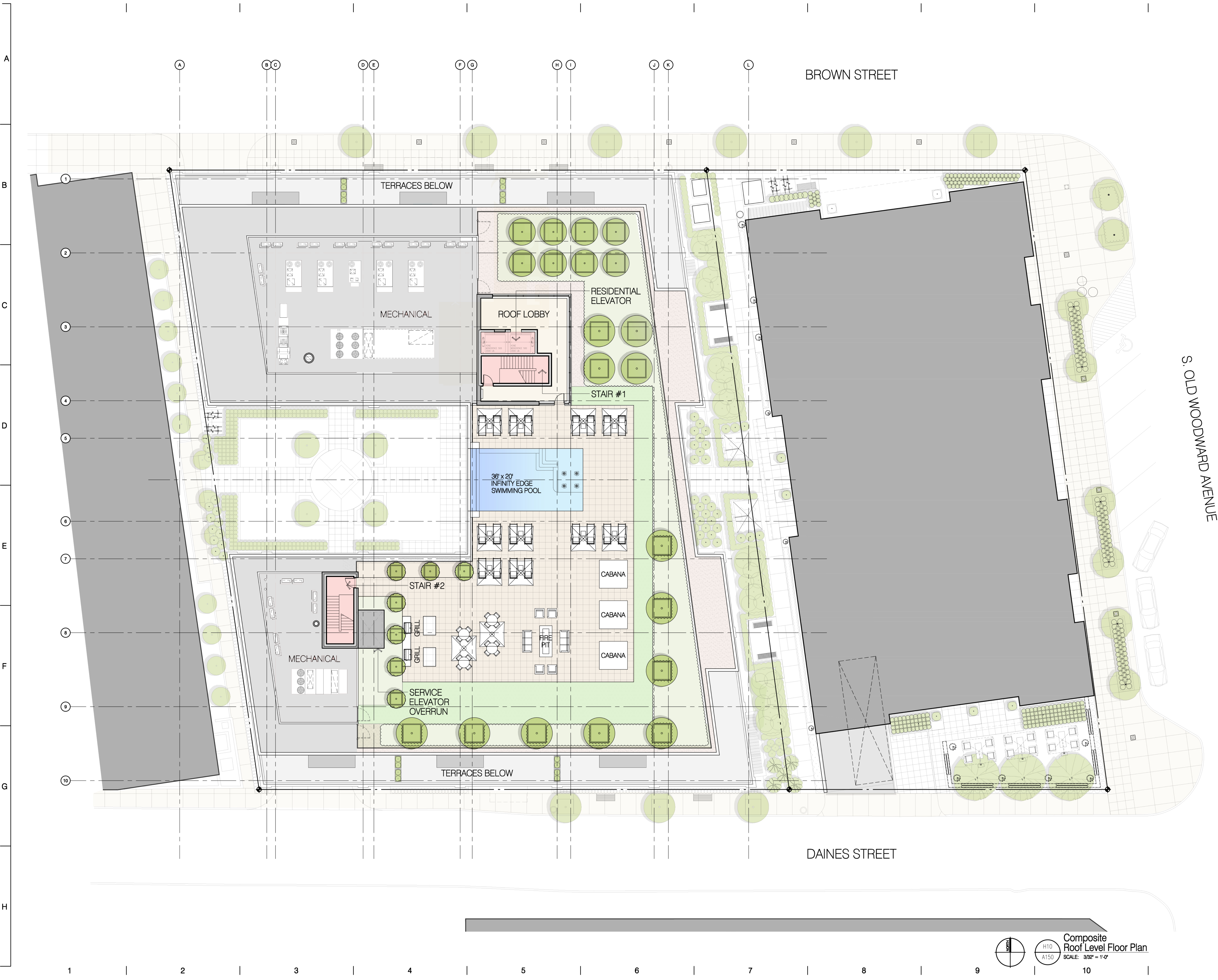
SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: Issued For:
2022-01-17 SITE PLAN APPROVAL
2022-01-25 DESIGN REVISION
2022-04-08 SCHEMATIC DESIGN
2022-04-15 FINAL SITE PLAN APPROVAL

Sheet No.:
A140
COMPOSITE
FOURTH LEVEL FLOOR PLAN

Composite
Fourth Level Floor Plan
SCALE: 3/32" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

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BIRMINGHAM, MI 48009
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F. 248.258.5515
SarokiArchitecture.com

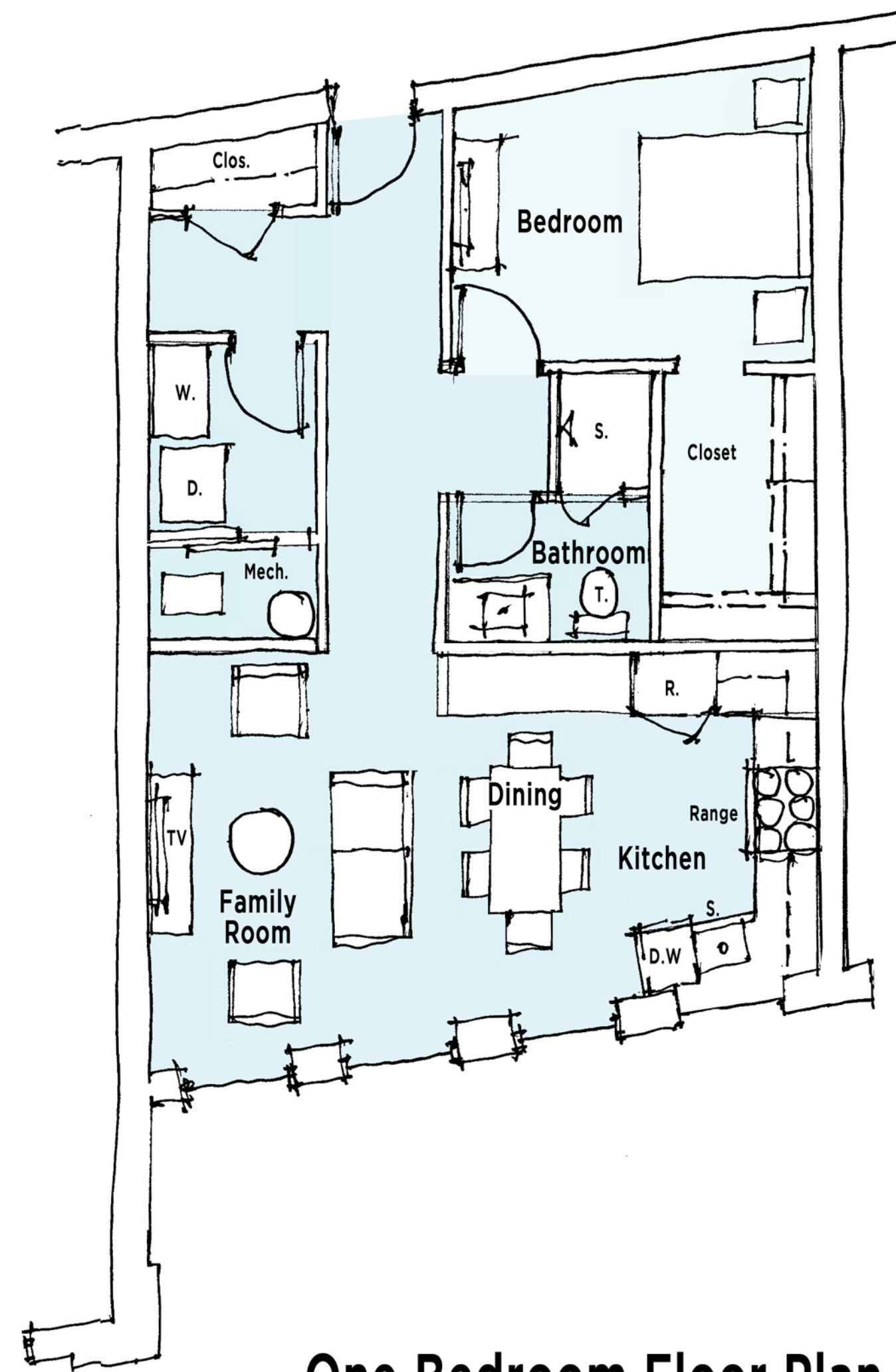
Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: **Issued For:**
2022-01-17 SITE PLAN APPROVAL
2022-01-25 DESIGN REVISION
2022-04-08 SCHEMATIC DESIGN
2022-04-15 FINAL SITE PLAN APPROVAL

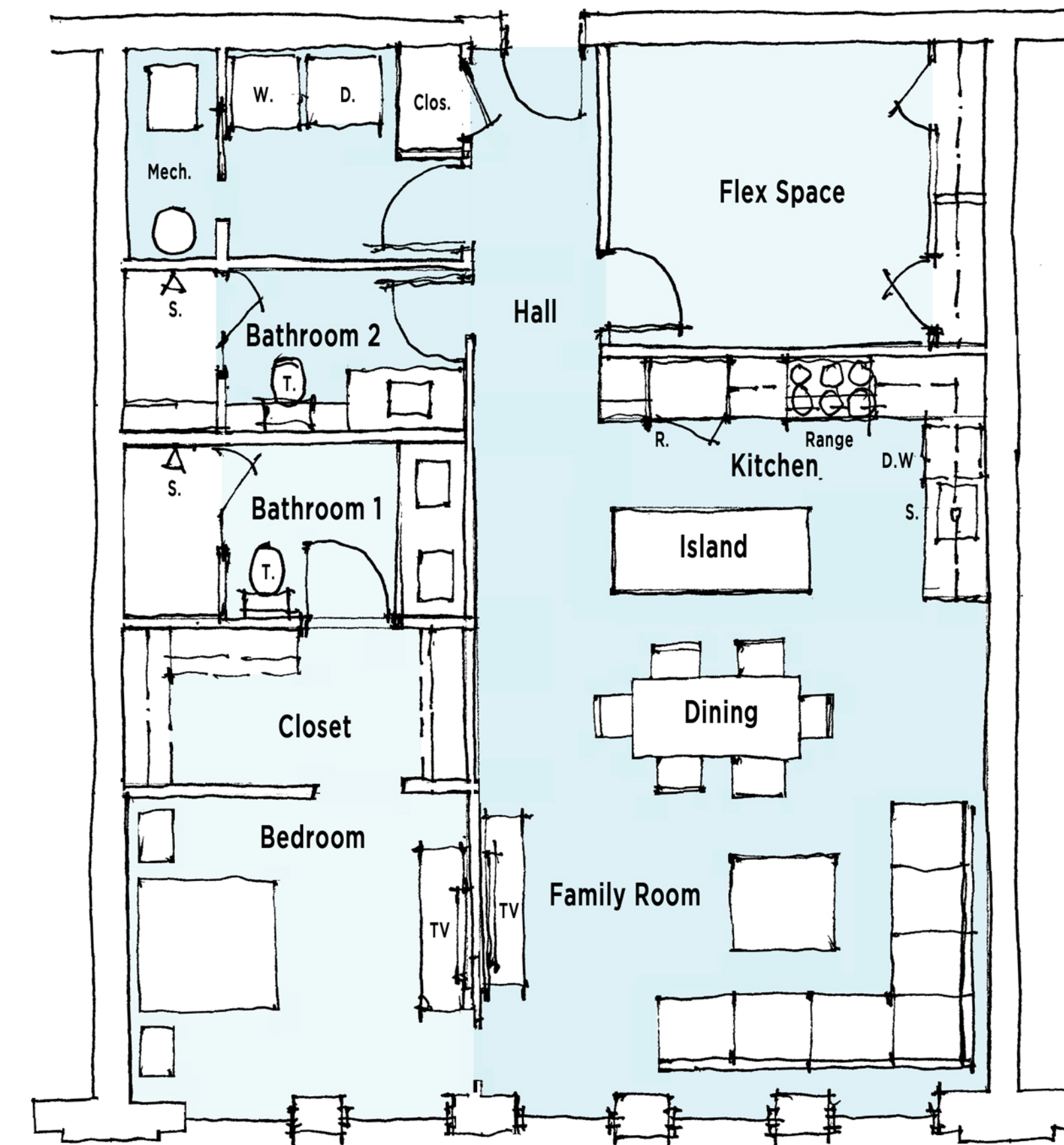
Sheet No.:
A150
COMPOSITE
ROOF LEVEL FLOOR PLAN

Composite
Roof Level Floor Plan
SCALE: 3/32" = 1'-0"

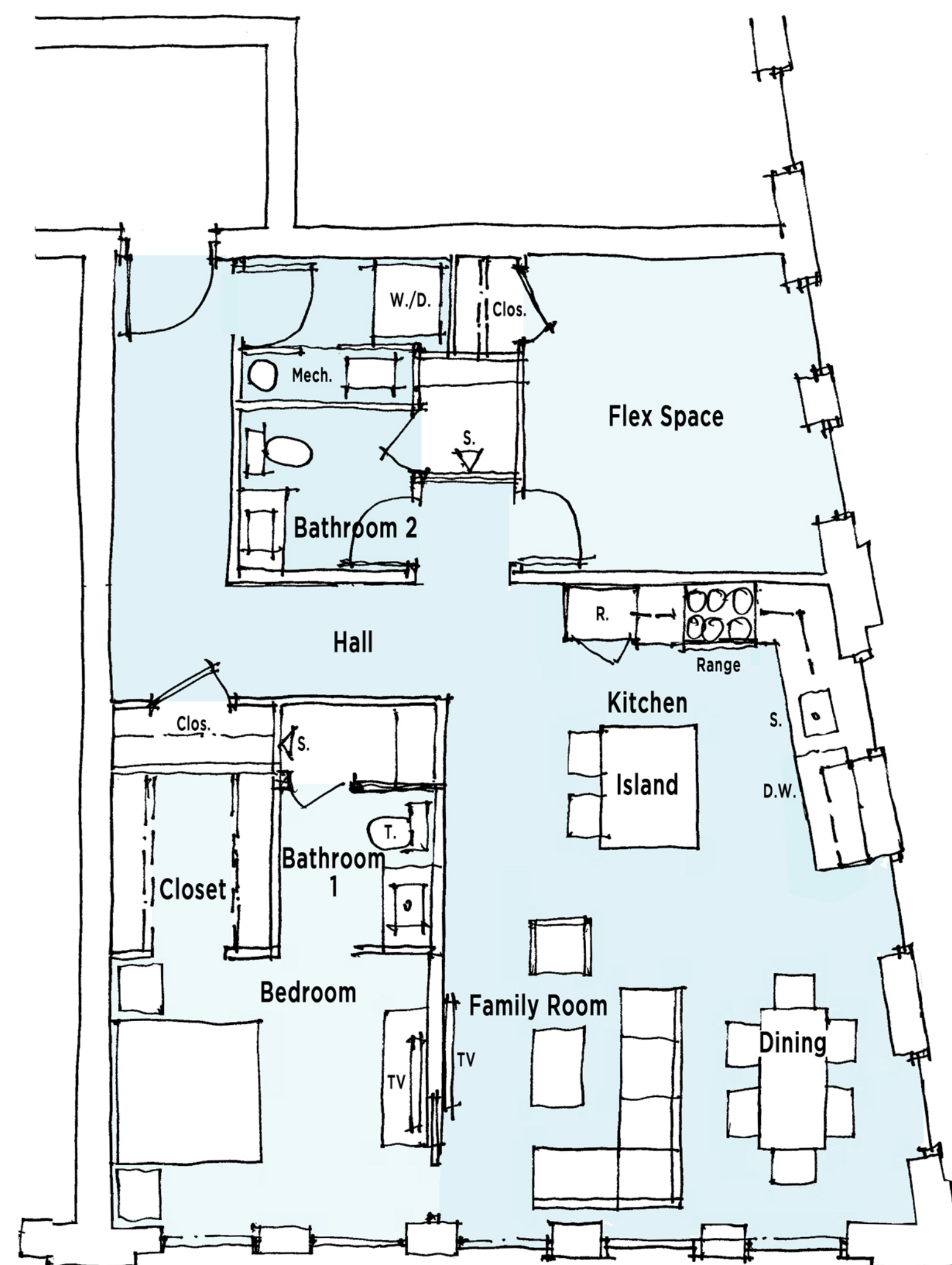
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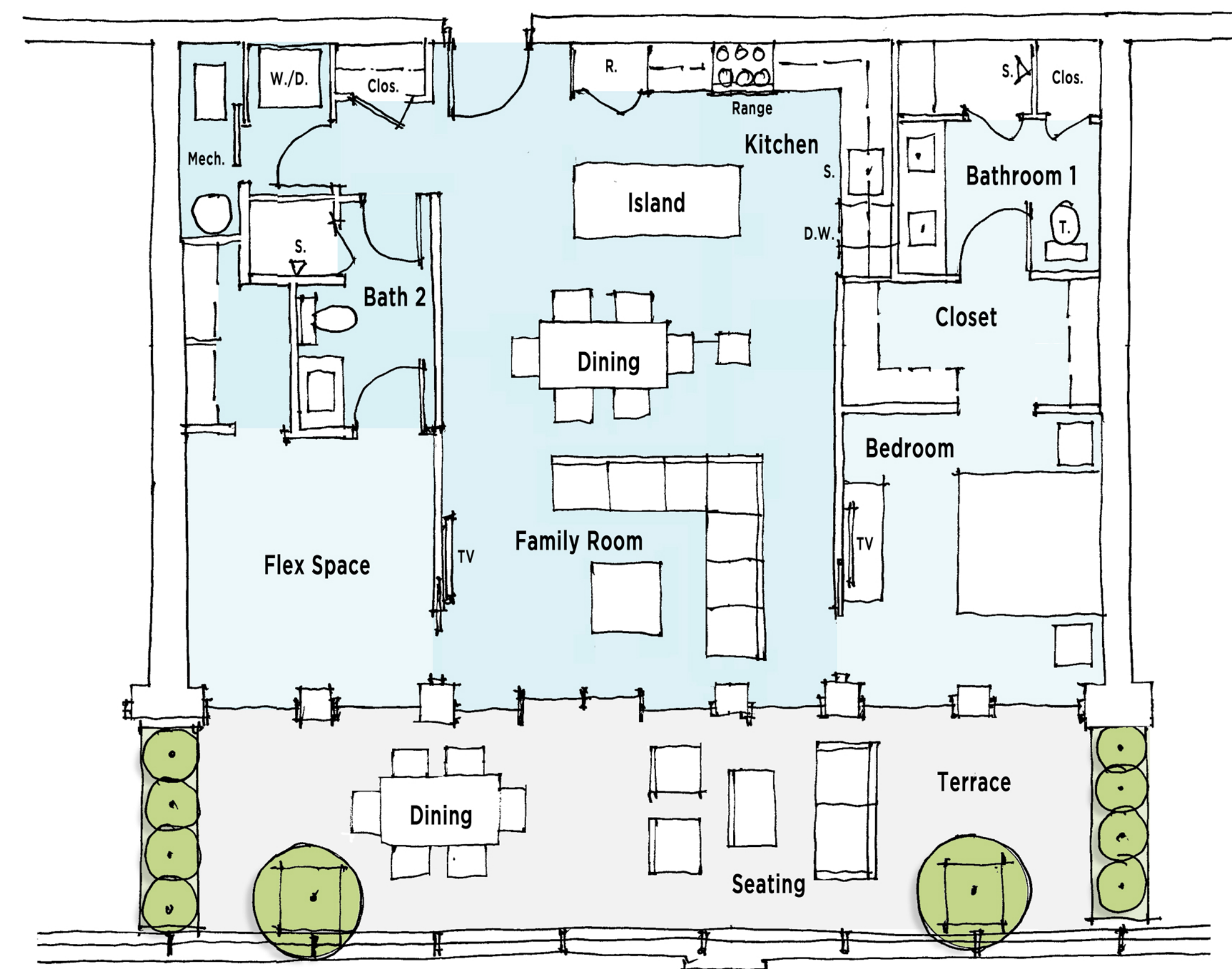
One Bedroom Floor Plan
936 SF



Two Bedroom Floor Plan
1,200 SF



Two Bedroom Floor Plan
1,316 SF



Two Bedroom Floor Plan
1,117 SF

PRELIMINARY
NOT FOR CONSTRUCTION

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430 N. OLD WOODWARD
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SarokiArchitecture.com

Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: Issued For:
2022-01-17 SITE PLAN APPROVAL
2022-01-25 DESIGN REVISION
2022-04-08 SCHEMATIC DESIGN

Sheet No.:
A160
TYPICAL UNIT FLOOR PLANS

Permanent Business Sign Standards:

PRINCIPAL BUILDING FRONTAGE (BROWN STREET)	=	160'-9"
MAXIMUM ALLOWABLE SIGNAGE AREA	=	160.75 S.F.
MAXIMUM ALLOWABLE HEIGHT (SIGN BAND)	=	2'-0"
MAXIMUM ALLOWABLE HEIGHT (WALL SIGN)	=	3'-0"

Potential Permanent Business Signs:

SIGN 'A' AREA	=	24 S.F.
SIGN 'B' AREA	=	24 S.F.
SIGN 'C' AREA	=	24 S.F.
SIGN 'D' AREA	=	24 S.F.
SIGN 'E' AREA	=	24 S.F.
SIGN 'F' AREA	=	24 S.F.
SIGN 'G' AREA	=	8 S.F.
SIGN 'H' AREA	=	8 S.F.

TOTAL POTENTIAL PERMANENT BUSINESS SIGN AREA	=	160 S.F.
--	---	----------

PRELIMINARY
NOT FOR CONSTRUCTION

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Project:

Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: **Issued For:**

2022-01-17 SITE PLAN APPROVAL

2022-01-25 DESIGN REVISION

2022-02-15 DESIGN REVISION


2022-04-08 SCHEMATIC DESIGN

2022-04-19 FINAL SITE PLAN APPROVAL

Sheet No.:

A200

SOUTH ELEVATION
(DAINES STREET)



H10
A200

South Elevation (Daines Street)

SCALE: $\frac{3/32"}{1'} = 1'-0"$

Sheet No.:

A200

SOUTH ELEVATION
(DAINES STREET)

SAROKI
ARCHITECTURE

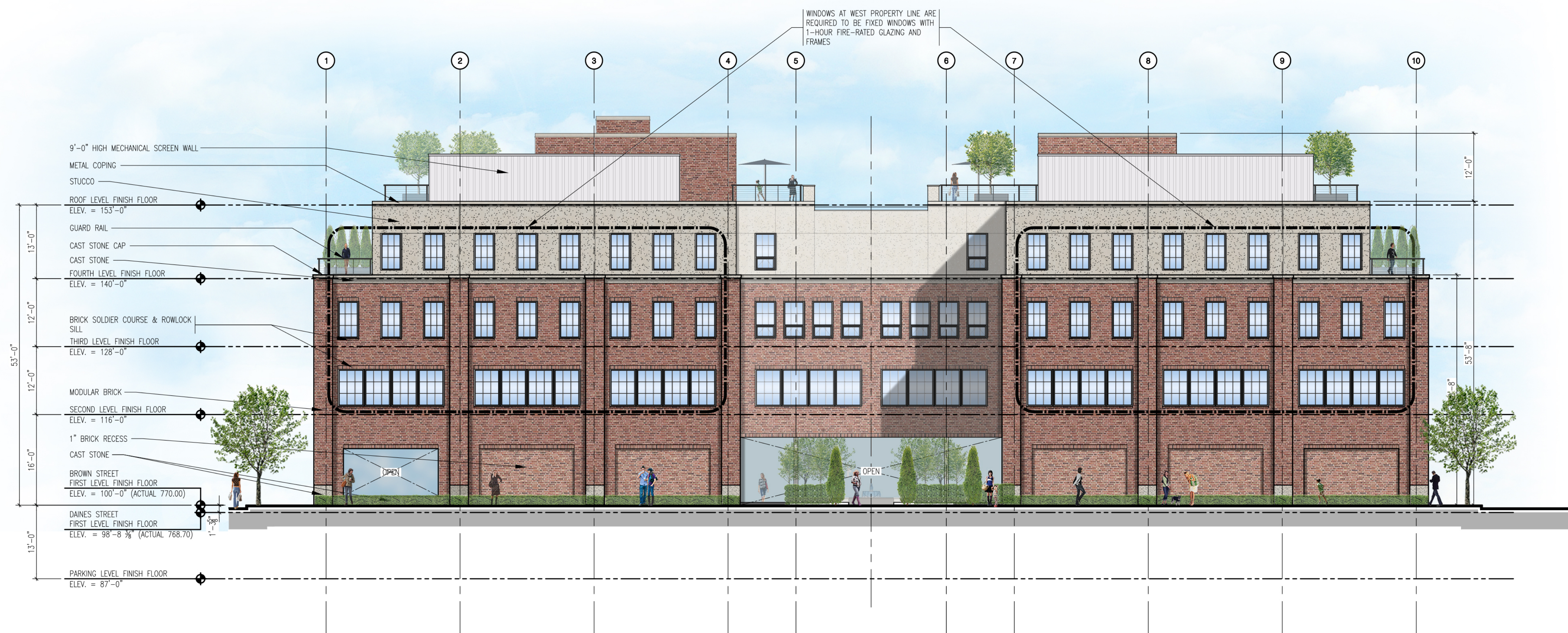
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Date:	Issued For:
2022-01-17	SITE PLAN APPROVAL
2022-01-25	DESIGN REVISION
2022-04-08	SCHEMATIC DESIGN
2022-04-15	FINAL SITE PLAN APPROVAL

Sheet No.:
A204
WEST ELEVATION



H10
A204

West Elevation

SCALE: 3/32" = 1'-0"

A

B

C

D

E

F

G

H

Permanent Business Sign Standards:

PRINCIPAL BUILDING FRONTAGE (BROWN STREET)	=	160'-9"
MAXIMUM ALLOWABLE SIGNAGE AREA	=	160.75 S.F.
MAXIMUM ALLOWABLE HEIGHT (SIGN BAND)	=	2'-0"
MAXIMUM ALLOWABLE HEIGHT (WALL SIGN)	=	3'-0"

Potential Permanent Business Signs:

SIGN 'A' AREA	=	24 S.F.
SIGN 'B' AREA	=	24 S.F.
SIGN 'C' AREA	=	24 S.F.
SIGN 'D' AREA	=	24 S.F.
SIGN 'E' AREA	=	24 S.F.
SIGN 'F' AREA	=	24 S.F.
SIGN 'G' AREA	=	8 S.F.
SIGN 'H' AREA	=	8 S.F.

TOTAL POTENTIAL PERMANENT BUSINESS SIGN AREA	=	160 S.F.
--	---	----------

PRELIMINARY
NOT FOR CONSTRUCTION

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: Issued For:

2022-01-17 SITE PLAN APPROVAL

2022-01-25 DESIGN REVISION

2022-02-15 DESIGN REVISION

2022-04-08 SCHEMATIC DESIGN

2022-04-15 FINAL SITE PLAN APPROVAL

Sheet No.:

A208

NORTH ELEVATION
(BROWN STREET)



H10
A208
North Elevation (Brown Street)
SCALE: 3/32" = 1'-0"

A
B
C
D
E
F
G
H

1 2 3 4 5 6 7 8 9 10



PRELIMINARY
NOT FOR CONSTRUCTION

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: **Issued For:**
2022-01-17 SITE PLAN APPROVAL
2022-01-25 DESIGN REVISION
2022-04-08 SCHEMATIC DESIGN
2022-04-15 FINAL SITE PLAN APPROVAL

Sheet No.:
A212
EAST ELEVATION

H10
A212
East Elevation
SCALE: 3/32" = 1'-0"

A

B

C

D

E

F

G

H

1 2 3 4 5 6 7 8 9 10

Glazing Calculations:

Daines Street:
First Level (between 1' & 8')
Glazing area = 800.1 SF
Facade area between 1' & 8' = 1,109.8 SF
800.1 SF / 1,109.8 SF = 0.721 x 100 = 72.1%

Second Level
Glazing area = 790 SF
Second Level facade area = 2,273 SF
790 SF / 2,273 SF = 0.347 x 100 = 34.7%

Third Level
Glazing area = 595 SF
Second Level facade area = 1,902.6 SF
595 SF / 1,902.6 SF = 0.313 x 100 = 31.3%

Fourth Level
Glazing area = 657.8 SF
Second Level facade area = 1,990.5 SF
657.8 SF / 1,990.5 SF = 0.330 x 100 = 33.0%

Required:	Proposed:
70% Min.	72.1%
35% Max.	34.7%
35% Max.	31.3%
35% Max.	33.0%

PRELIMINARY
NOT FOR CONSTRUCTION

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ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: 2022-04-15
Issued For: FINAL SITE PLAN APPROVAL

Sheet No.:
A220
GLAZING CALCULATIONS
(DAINES STREET)

H110
A220
South Elevation (Daines Street)
SCALE: 3/32" = 1'-0"

A

B

C

D

E

F

G

H

Glazing Calculations:

Brown Street:
First Level (between 1' & 8')
Glazing area = 617.8 SF
Facade area between 1' & 8' = 881 SF
617.8 SF / 881 SF = 0.701 x 100 = 70.1%

Second Level
Glazing area = 790 SF
Second Level facade area = 2,305 SF
790 SF / 2,305 SF = 0.342 x 100 = 34.2%

Third Level
Glazing area = 595 SF
Second Level facade area = 1,929.3 SF
595 SF / 1,929.3 SF = 0.308 x 100 = 30.8%

Fourth Level
Glazing area = 657.8 SF
Second Level facade area = 1,943.6 SF
657.8 SF / 1,943.6 SF = 0.338 x 100 = 33.8%

Required: Proposed:

70% Min. 70.1%

35% Max. 34.2%

35% Max. 30.8%

35% Max. 33.8%

PRELIMINARY
NOT FOR CONSTRUCTION

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

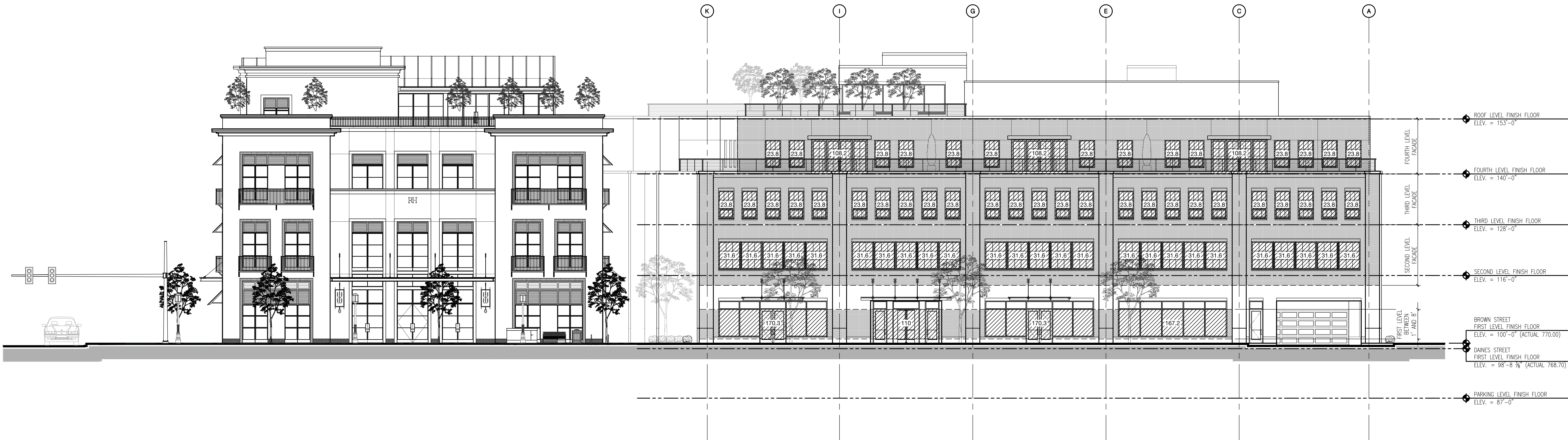
Date: Issued For:

2022-04-15 FINAL SITE PLAN APPROVAL

Sheet No.:

A221

GLAZING CALCULATIONS
(BROWN STREET)



H10
A221
North Elevation (Brown Street)
SCALE: 3/32\"/>

A

B

C

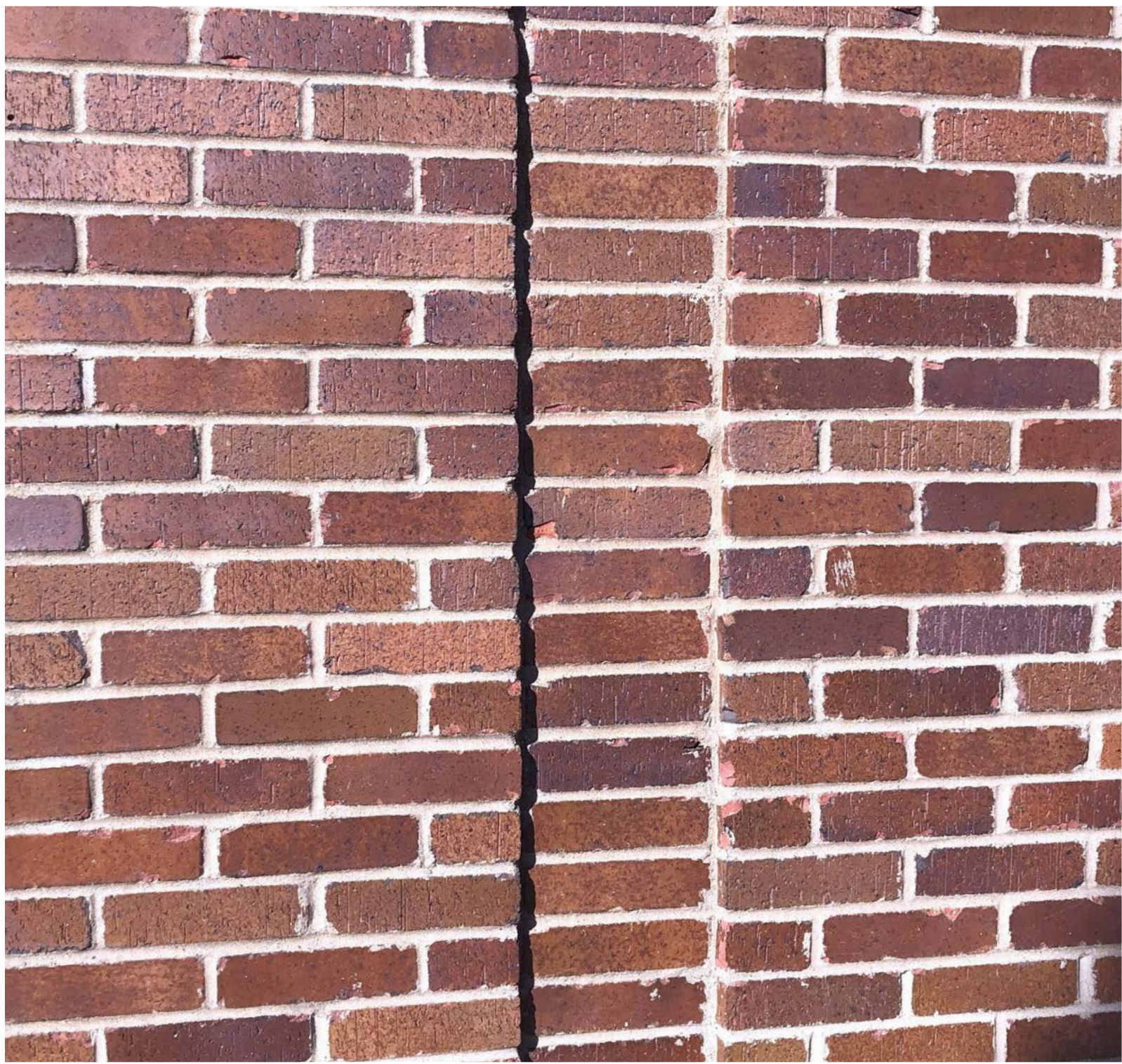
D

E

F

G

H



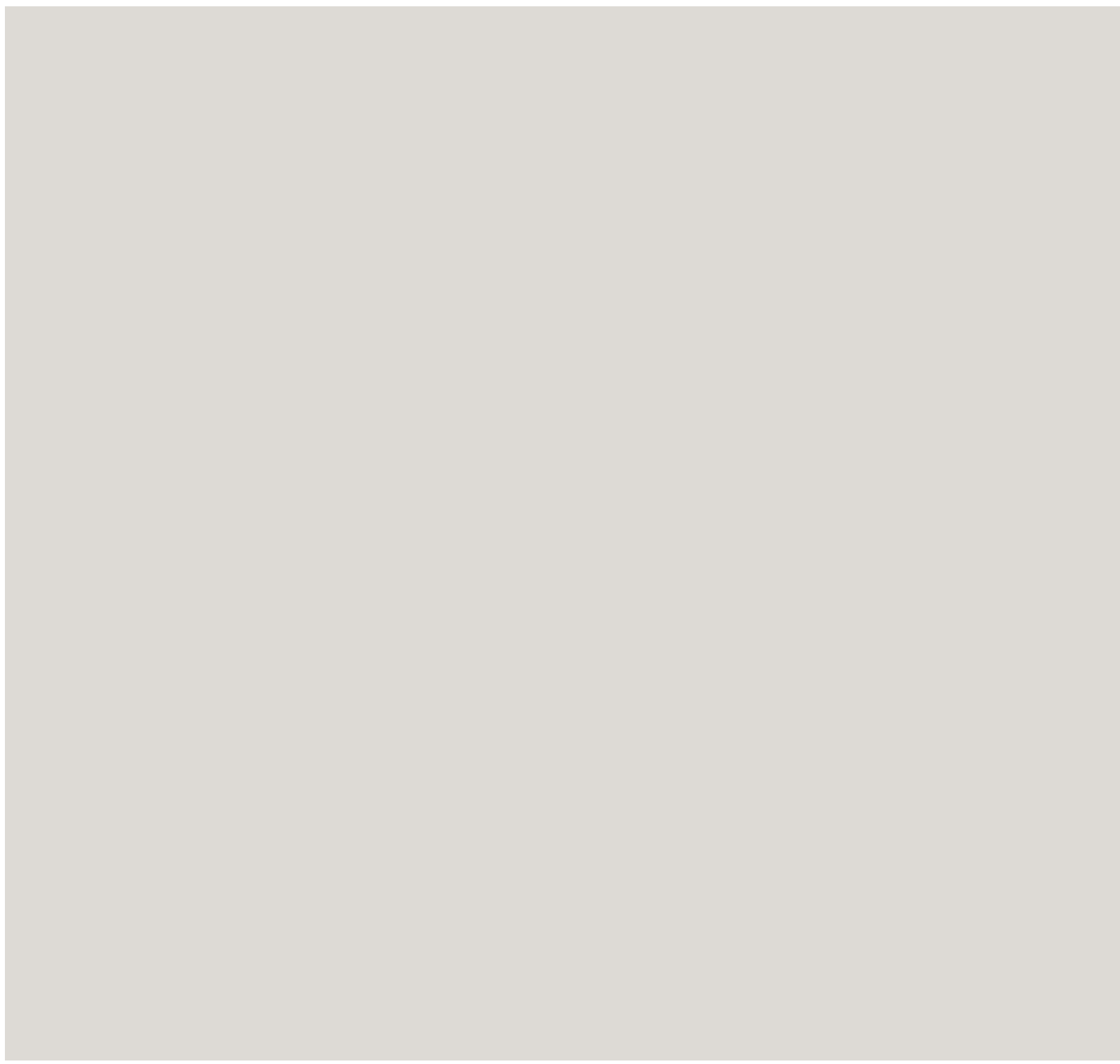
Architectural Brick
YHB
Metro / Flashed Tan / S/V Tumbled
Grey Mortar



Cast Stone



Stucco



Metal Panel / Mechanical Enclosure
Slate Gray



Guardrail, Typical



Operable Windows, Typical

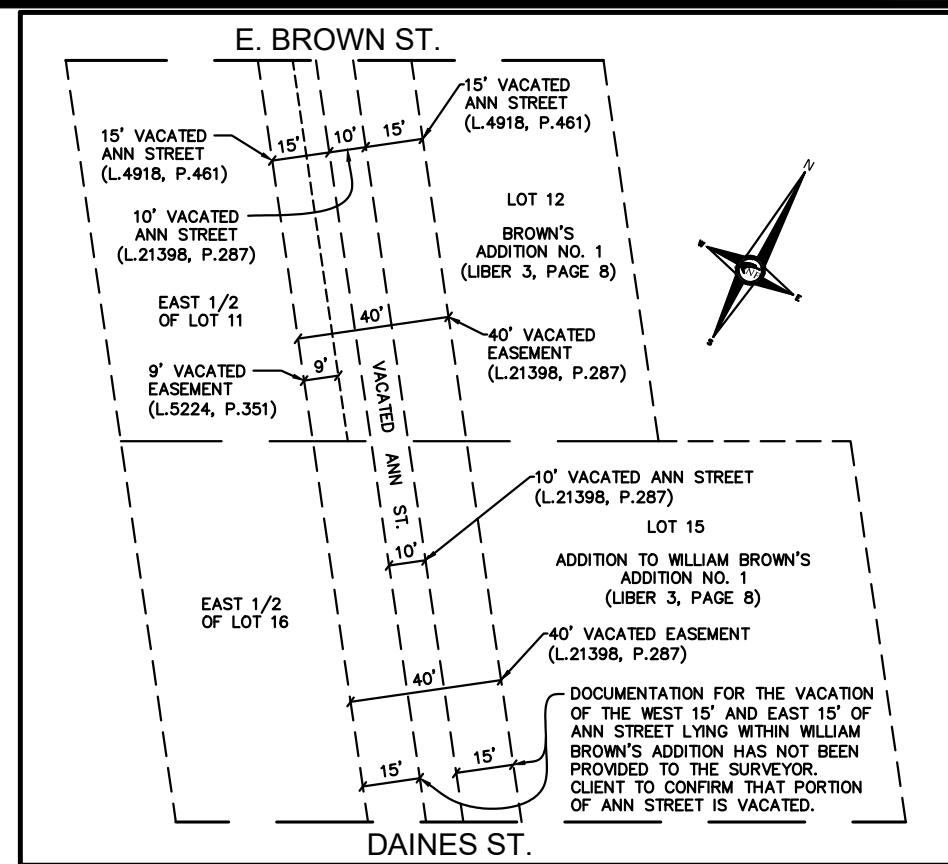
PRELIMINARY
NOT FOR CONSTRUCTION

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Project:
Brown Street Mixed-Use
294 E. Brown Street
Birmingham, MI 48009

Date: Issued For:
2022-01-17 SITE PLAN APPROVAL
2022-04-08 SCHEMATIC DESIGN
2022-04-15 FINAL SITE PLAN APPROVAL

Sheet No.:
A900
EXTERIOR MATERIALS



ANN STREET SKETCH

1" = 50'

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL AGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26125C05377 BEARING AN EFFECTIVE DATE OF 09-29-2006.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A003240501, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON DECEMBER 28, 2020. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE UTILITY COMPANY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

ALTA SURVEY NOTES

THERE IS NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.

THERE IS NO VISIBLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

THERE IS NO VISIBLE EVIDENCE OF ANY WETLAND AREAS.

LOCATION OF UTILITIES EXISTING ON OR SERVING THE PROPERTY AS DETERMINED BY OBSERVED EVIDENCE OR EVIDENCE FROM PLANS REQUESTED BY THE SURVEYOR AND OBTAINED FROM UTILITY COMPANIES.

THE SUBJECT PROPERTY HAS ACCESS TO S. OLD WOODWARD AVENUE, E. BROWN STREET AND DAINES STREET, ALL BEING A PUBLICLY DEDICATED ROAD.

BASIS OF BEARING NOTE

ALL BEARINGS ARE IN RELATION TO THE PREVIOUSLY ESTABLISHED SOUTH RIGHT-OF-WAY LINE OF STREET (60' WIDE) (NOW KNOWN AS BROWN STREET) OF BROWN'S ADDITION AS RECORDED IN LIBER 3 OF PLATS, PAGE 8, OAKLAND COUNTY RECORDS. (N.62E.)

DATUM NOTE

ALL ELEVATIONS SHOWN HEREON ARE ON THE CITY OF BIRMINGHAM'S VERTICAL DATUM. REFERENCED HEREON, IS ONE (1.00) FOOT HIGHER THAN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88).

SURVEY DATA

SITE AREA:

PARCEL 1: 13,818.22 SQUARE FEET OR 0.317 ACRES
PARCEL 1: 18,892.06 SQUARE FEET OR 0.433 ACRES
PARCEL 2: 13,204.93 SQUARE FEET OR 0.303 ACRES
PARCEL 3: 8,137.75 SQUARE FEET OR 0.187 ACRES
TOTAL: 54,052.96 SQUARE FEET OR 1.24 ACRES

ZONED:

B2, GENERAL BUSINESS DISTRICT

PARKING SPACES:

PARCEL 1: 9 REGULAR SPACES
PARCEL 1: 46 REGULAR SPACES AND 3 BARRIER-FREE SPACES
PARCEL 2: 20 REGULAR SPACES AND 1 BARRIER-FREE SPACE
PARCEL 3: NO ON-SITE PARKING SPACES

A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF BIRMINGHAM TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747

LEGAL DESCRIPTION - PARCEL 2 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

THE EASTERLY 50 FEET OF LOT 12, AND THE WESTERLY PART OF LOT 13, MEASURING 82.45 FEET ON THE NORTH LOT LINE AND 82.48 FEET ON THE SOUTH LOT LINE OF BROWN'S ADDITION SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 300 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-006

TITLE REPORT NOTES - PARCEL 2

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 910053, COMMITMENT DATE: DECEMBER 21, 2020, REVISION B.

SCHEDULE B, PART II, EXCEPTIONS:

EXCEPTIONS: 1, 4, 5, 6, 7, 8, 10, 11, 14 AND 15 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.

2. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.

3. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.

9. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)

12. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER AND THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.

13. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

LEGAL DESCRIPTION - PARCEL 3 (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

LOT(S) 14, EXCEPT THAT PART TAKEN FOR WIDENING WOODWARD AVENUE OF ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

ADDRESS: 394 S. OLD WOODWARD AVENUE, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-014

TITLE REPORT NOTES - PARCEL 3

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 910453, COMMITMENT DATE: DECEMBER 21, 2020, REVISION A.

SCHEDULE B, PART II, EXCEPTIONS:

EXCEPTIONS: 1, 4, 5, 6, 7, 9, 10, 13 AND 14 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.

2. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.

3. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.

8. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)

11. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER AND THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.

12. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

CERTIFICATE OF SURVEY

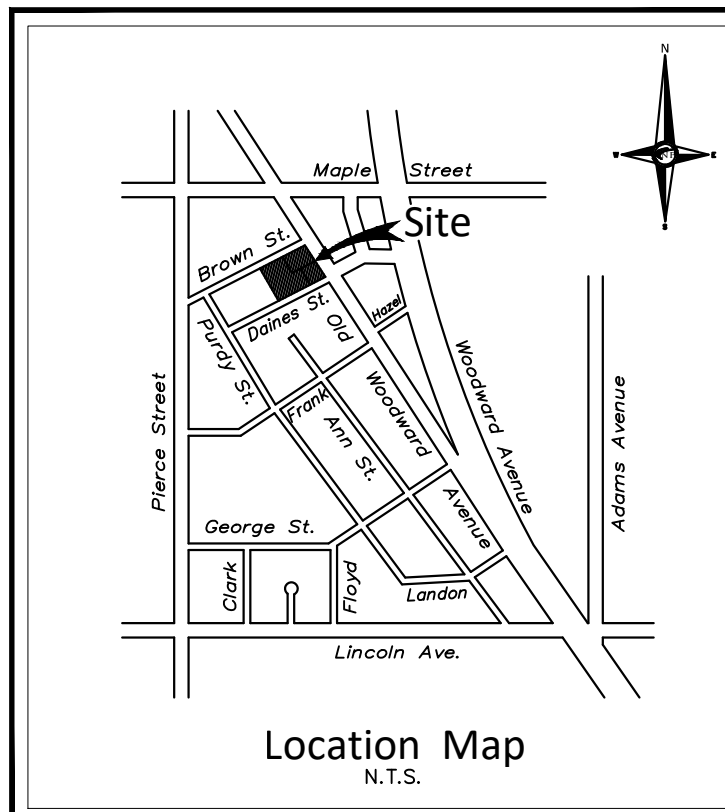
CERTIFIED TO:

-PURCHASER'S ASSIGNEE
-TROTTER PROPERTIES 294, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, AS TO PARCEL 1
-BRB EQUITABLE, LLC, AS TO PARCEL 2
-FRANK T. KONAREVICH OR LOIS H. KONAREVICH (OR SUCCESSOR TRUSTEES) AS THE TRUSTEES FOR THE FRANK T. KONAREVICH REVOCABLE LIVING TRUST DATED MAY 22, 1995, AS TO PARCEL 3
-FIRST AMERICAN TITLE INSURANCE COMPANY AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 1, 2, 3, 4, 6(a), 7(c), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 16, 2020.

KEVIN NAVAROLI, P.S. NO. 4001053503

1-24-2021



LEGAL DESCRIPTION - PARCELS I & II (PER TITLE COMMITMENT)

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL I: THE WEST 1/2 OF LOT(S) 11 OF BROWN'S ADDITION TO THE CITY OF BIRMINGHAM AND THE EAST 1/2 OF LOT 16 OF BROWN'S ADDITION NO. 1, IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING THE VACATED WEST 20 FEET OF ANN STREET ADJOINING LOT 11 AND THE VACATED WEST 19 FEET OF ANN STREET ADJOINING LOT 16.

PARCEL II: THE WEST 1/2 OF LOT(S) 12 OF BROWN'S ADDITION TO THE VILLAGE (NOW CITY) OF BIRMINGHAM, OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, TOWNSHIP OF BLOOMFIELD (NOW CITY OF BIRMINGHAM), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, ALSO LOT 15, ADDITION TO WILLIAM BROWN'S ADDITION NO. 1, BEING A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS, INCLUDING VACATED 20 FEET OF ANN STREET, ADJOINING THE WESTERLY SIDE OF LOT 12 AND VACATED 21 FEET OF ANN STREET ADJOINING THE WESTERLY SIDE OF LOT 15.

ADDRESS: 294 E. BROWN STREET, BIRMINGHAM, MI 48009

TAX ID NUMBER: 19-36-204-021

TITLE REPORT NOTES - PARCELS I & II

REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY FILE NUMBER: 915853, COMMITMENT DATE: DECEMBER 8, 2020.

SCHEDULE B, PART II, EXCEPTIONS:

EXCEPTIONS: 1, 4, 5, 6, 7, 8 AND 16 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.

2. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF OF THE LAND.

3. EASEMENTS, ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.

9. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8715, PAGE 137. (NO EASEMENTS OR RESTRICTIONS WITHIN SAID DOCUMENT, NOT PLOTTED)

10. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 5224, PAGE 351. (SAID VACATED EASEMENT IS PLOTTED HEREON)

11. EASEMENT FOR UTILITIES OVER THAT PORTION OF LAND INCLUDED IN THE VACATED ANN STREET AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 4918, PAGE 461 (SAID VACATED ANN STREET & RETAINED EASEMENT ARE PLOTTED HEREON) AND LIBER 21398, PAGE 287 (SIZE AND LOCATION OF DETROIT EDISON EASEMENT IS UNKNOWN, NOT PLOTTED).

12. EASEMENT(S), RESTRICTIONS AND/OR SETBACK LINES, IF ANY, AS DISCLOSED BY THE RECORDED PLAT.

13. INTEREST OF OTHERS IN OIL, GAS AND MINERAL RIGHTS, IF ANY, WHETHER OR NOT RECORDED IN THE PUBLIC RECORDS.

14. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER AND THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.

15. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES.

NOTE: DOCUMENTATION FOR THE VACATION OF THE WEST 15 FEET AND EAST 15 FEET OF ANN STREET LYING WITHIN WILLIAMS BROWN'S ADDITION HAS NOT BEEN PROVIDED TO THE SURVEYOR. CLIENT TO CONFIRM THAT PORTION OF ANN STREET IS VACATED.

LEGEND

MANHOLE(MH)	EXISTING SANITARY SEWER
CO	EXISTING SAN. CLEAN OUT
HYDRANT(HYD)	EXISTING WATER MAIN
GATE VALVE(GV)	EXISTING STORM SEWER
MANHOLE(MH)	CATCH BASIN(CB)
CBB	EX. BEEHIVE CATCH BASIN
UTILITY POLE	EX. UNDERGROUND (UG) CABLE
GUY POLE	OVERHEAD (OH) LINES
LP	LIGHT POLE
UP	SIGN
ASPH.	EXISTING GAS MAIN
CONC.	ASPHALT
FD. / FND.	CONCRETE
RET. WALL	FOUND
R.O.W.	RETAINING WALL
SPK	RIGHT-OF-WAY
(TYP)	SET PK NAIL
(R)	TYPICAL
(M)	RECORD
C/L	MEASURED
P/L	CENTERLINE
GM	PROPERTY LINE
EM	GAS METER
PM	ELECTRIC METER
AC	PARKING METER
LS	AIR CONDITIONING UNIT
	LANDSCAPE



NOWAK & FRAUS ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL (248) 332-7931
FAX (248) 332-8257
WWW.NOWAKFRAUS.COM

SEAL

PROJECT

294 E. Brown St. and
300 & 394
S. Old Woodward Ave.
Birmingham, MI 48009

CLIENT

Saroki Architecture
430 N. Old Woodward Ave.
Birmingham, MI 48009

Contact: Victor Saroki
Phone: 248.258.5707

PROJECT LOCATION

Part of the NE 1/4
of Section 36
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET

ALTA/NSPS Land Title /
Topographic Survey



Know what's below
Call before you dig.

DATE ISSUED/REVISED

2022-04-08 SCHEMATIC DESIGN

DRAWN BY:

M. Carnaghi

DESIGNED BY:

K. Navaroli

APPROVED BY:

K. Navaroli

DATE:

April 8, 2022

SCALE: 1" = 20'

20 10 0 10 20 30

NFE JOB NO.

SHEET NO.

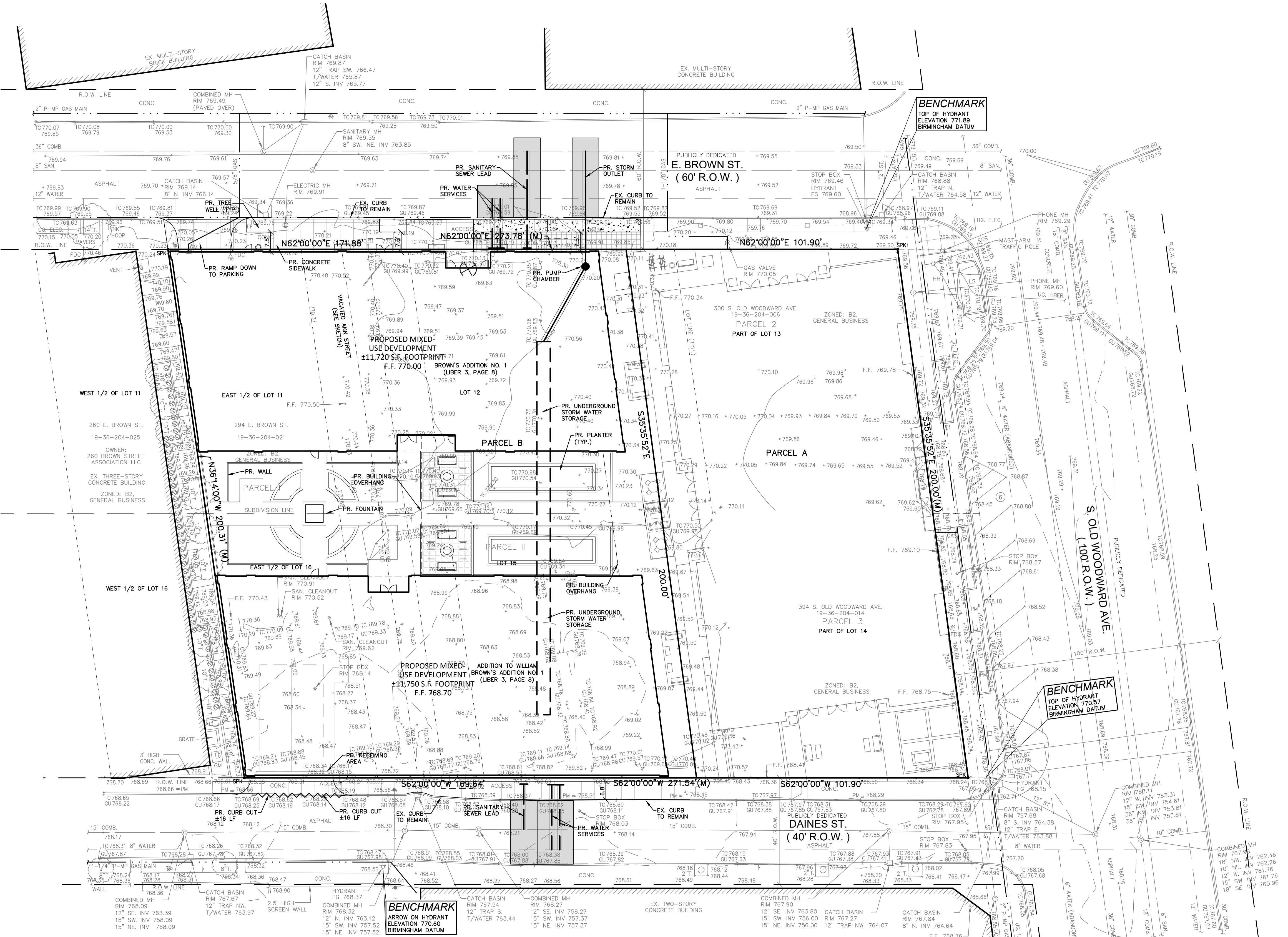
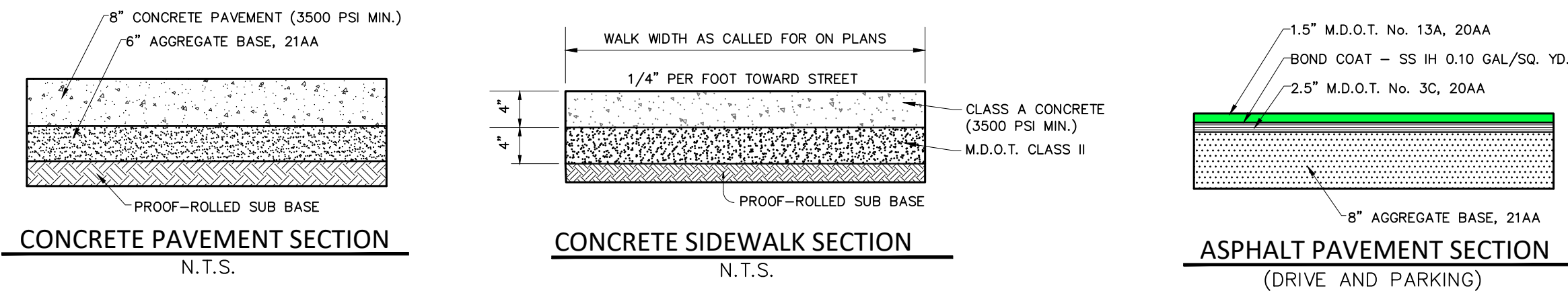
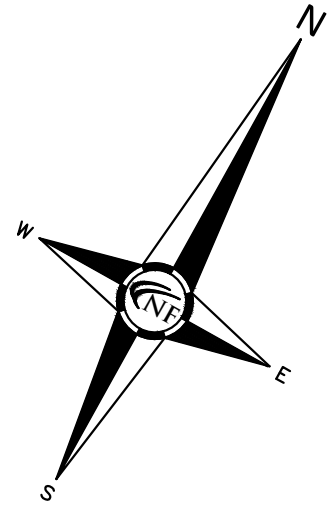
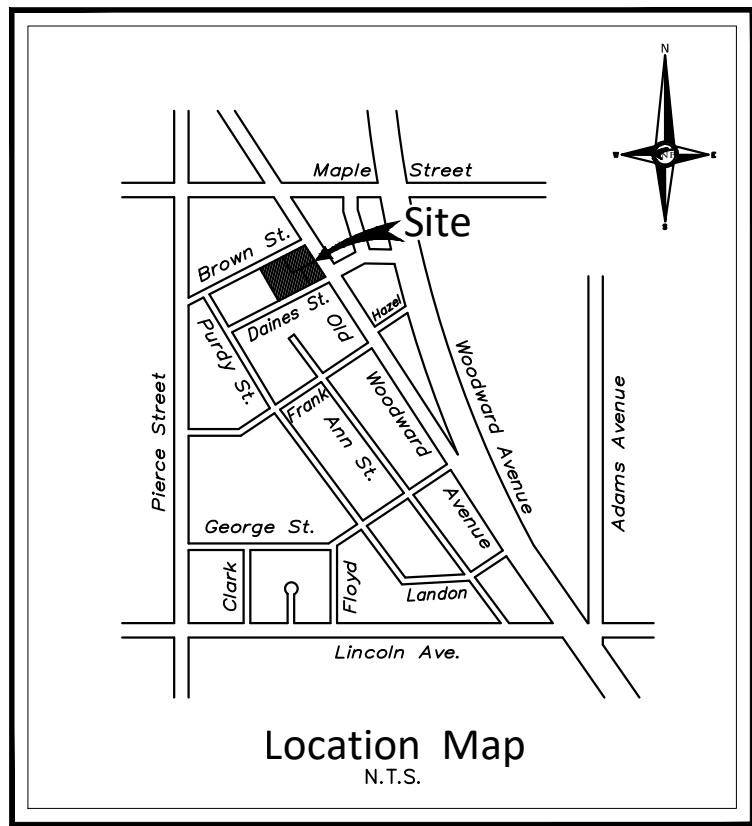
M106

SP-1

**NOWAK & FRAUS
ENGINEERS**

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL (248) 332-7931
FAX (248) 332-8257
WWW.NOWAKFRAUS.COM



GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 110L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 110T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMP, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMP, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

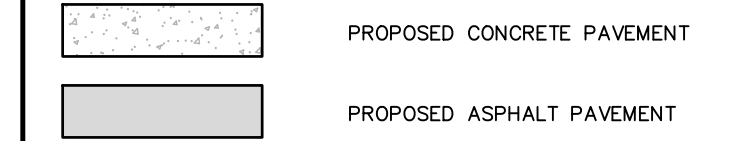
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

COVID-19 PANDEMIC CONDITION

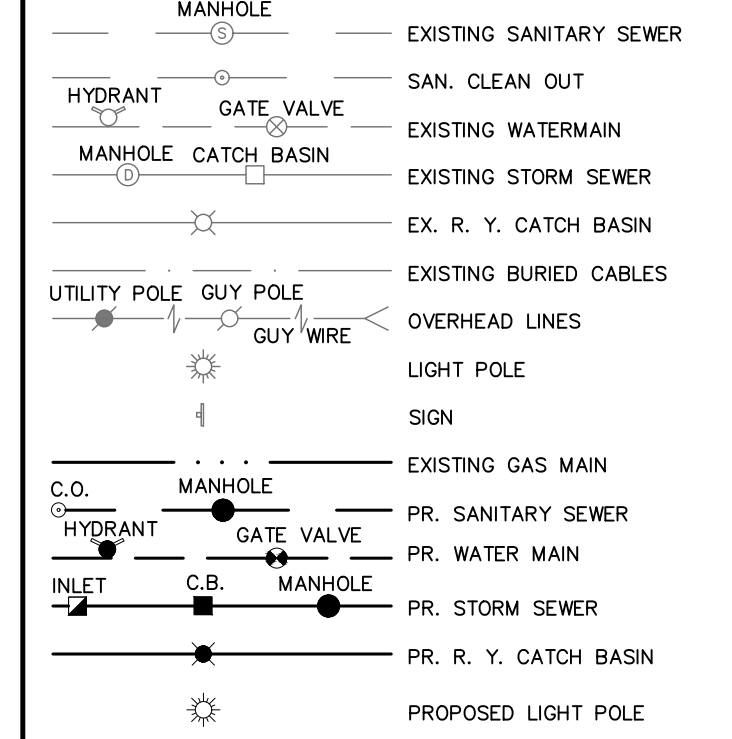
DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES; HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

ALL CONSTRUCTION DOCUMENTS WILL BE UPDATED WHEN THE UTILITY INFORMATION IS PROVIDED BY THE FACILITY OWNER UP UNTIL THE TIME OF SUBMITTAL. ONCE THE PLANS HAVE BEEN SUBMITTED AND APPROVED IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN A MISS DIG TICKET PRIOR TO COMMENCING ANY CONSTRUCTION REQUIRING EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY NFE OF ANY UTILITIES FLAGGED BY MISS DIG THAT WERE NOT SHOWN ON THE PLANS OR UTILITIES UNCOVERED DURING THEIR WORK.

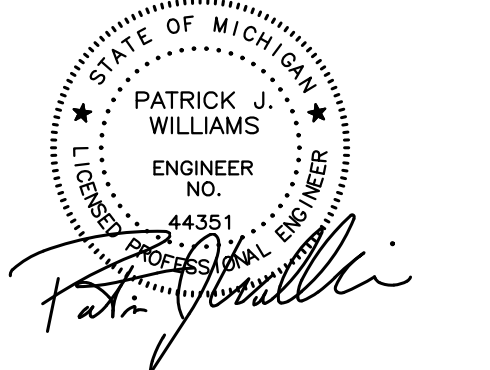
PAVING LEGEND



LEGEND



SEAL



PROJECT

294 E. Brown St. and
300 & 394
S. Old Woodward Ave.
Birmingham, MI 48009

CLIENT

Saroki Architecture
430 N. Old Woodward Ave.
Birmingham, MI 48009

Contact: Victor Saroki
Phone: 248.258.5707

PROJECT LOCATION

Part of the NE 1/4
of Section 36
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET

Engineering Site Plan



DATE ISSUED/REVISED

2022-04-08 SCHEMATIC DESIGN

DRAWN BY:

A. Eizember

DESIGNED BY:

A. Eizember

APPROVED BY:

P. Williams

DATE:

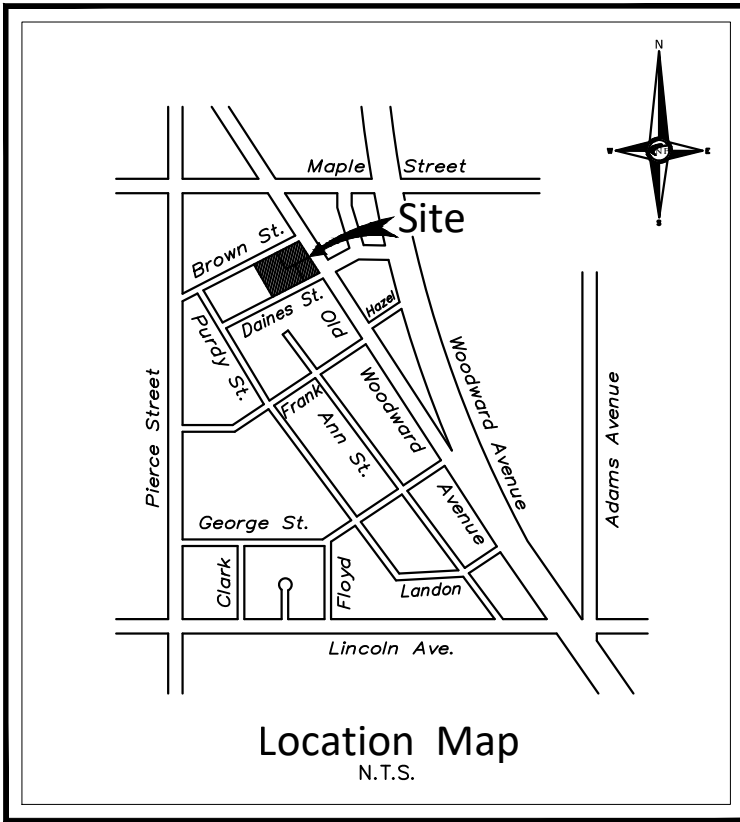
April 8, 2022

SCALE: 1" = 20'

20 10 0 10 20 30

NFE JOB NO. SHEET NO.

M106 SP-2



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

Contact: Victor Saroki
Phone: 248.258.5707

PROJECT LOCATION
Part of the NE 1/4
of Section 36
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET

Vehicle Maneuvering Plan
(Entering Loading Area)

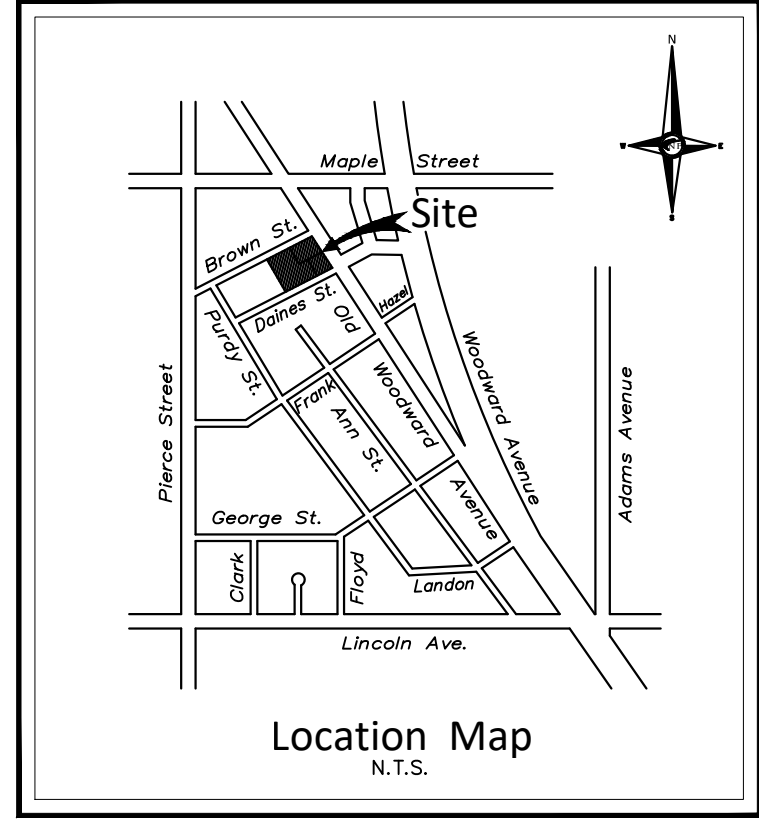
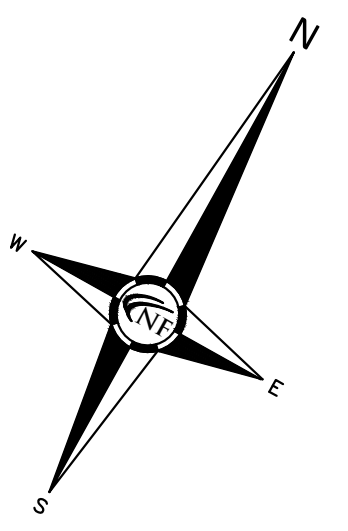


DATE	ISSUED/REVISED
2022-04-08	SCHEMATIC DESIGN

SCALE: 1" = 20'

NFE JOB NO. **M106** SHEET NO. **SP-2a**

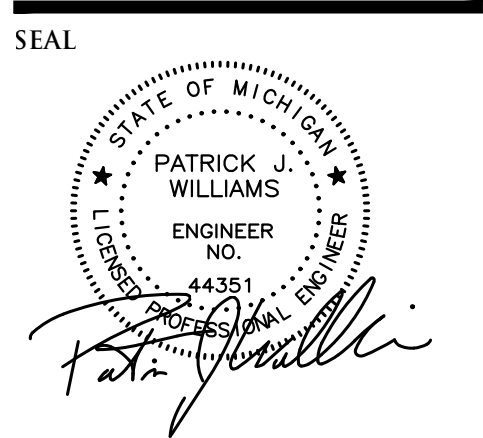




NOWAK & FRAUS ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

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Contact: Victor Saroki
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of Section 36
T.2N., R.10E.,
City of Birmingham,
Oakland County, Michigan

SHEET
Vehicle Maneuvering Plan
(Exiting Loading Area)



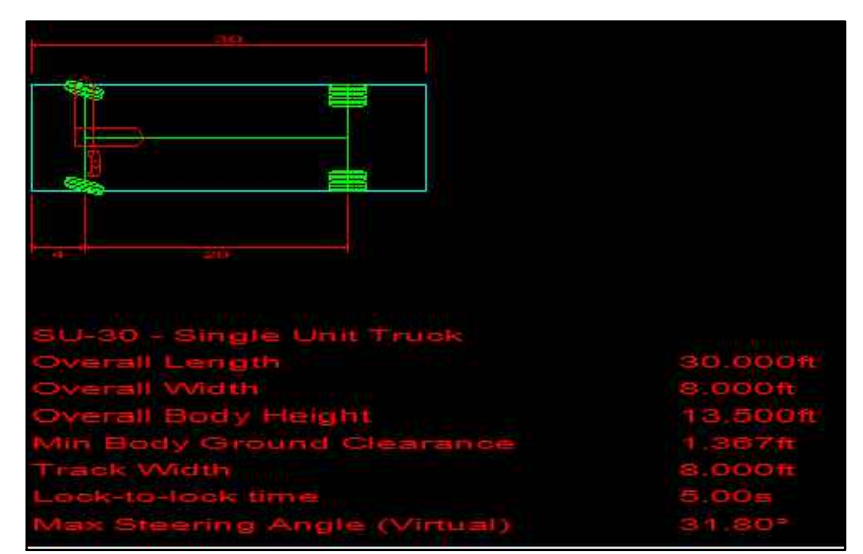
DATE ISSUED/REVISED
2022-04-08 SCHEMATIC DESIGN

DRAWN BY:
A. Eizember
DESIGNED BY:
A. Eizember
APPROVED BY:
P. Williams

DATE:
April 8, 2022

SCALE: 1" = 20'

NFE JOB NO. M106 SHEET NO. SP-2b



COVID-19 PANDEMIC CONDITION

DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES. HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

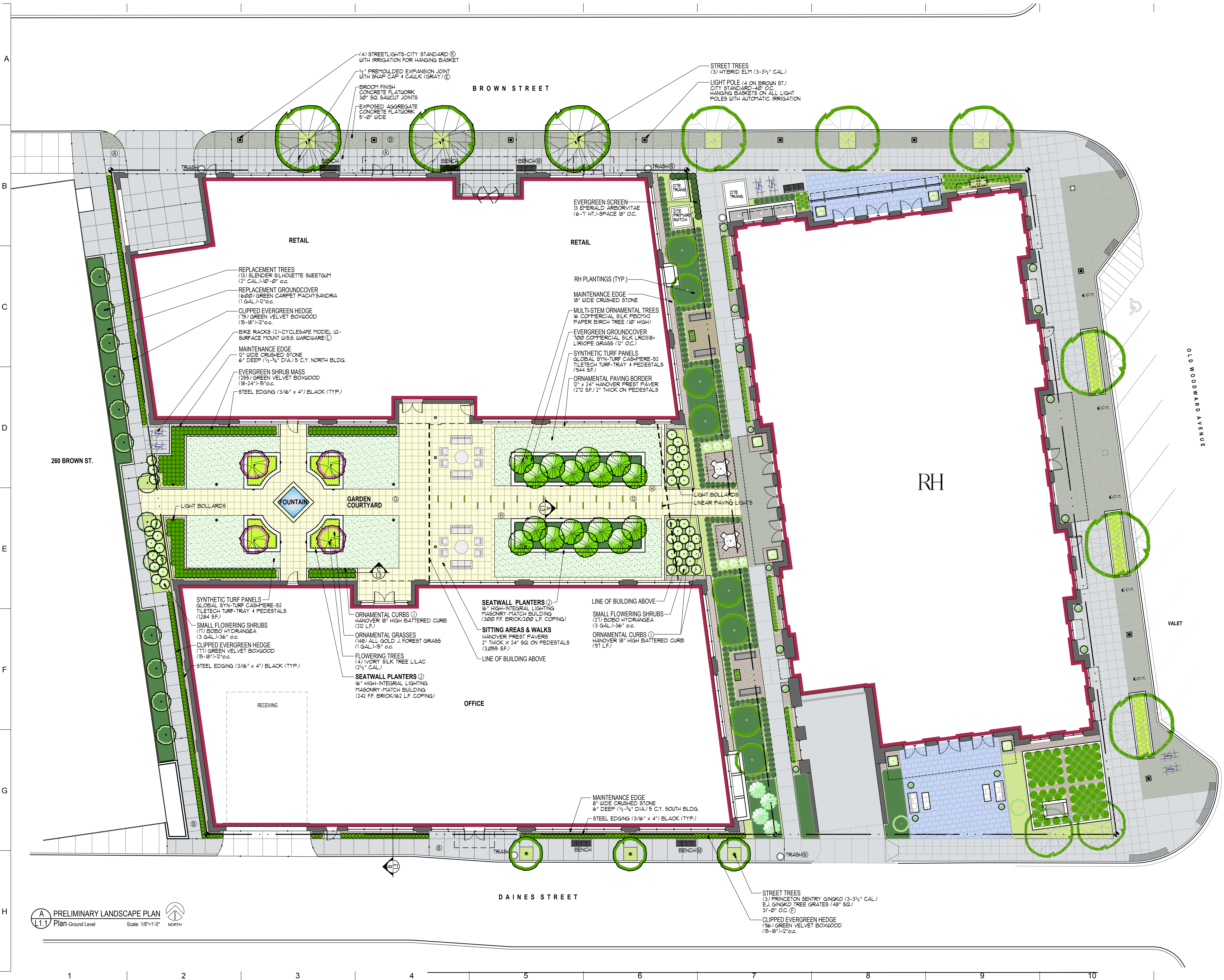
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PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	SIGN		OVERHEAD LINES
	EXISTING GAS MAIN		LIGHT POLE
	C.O. MANHOLE		SIGN
	HYDRANT		EXISTING GAS MAIN
	INLET		PR. SANITARY SEWER
	GATE VALVE		PR. WATER MAIN
	MANHOLE		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	MANHOLE		PROPOSED LIGHT POLE



LANDSCAPE
ARCHITECTURE

MICHAEL J. DUL
& ASSOCIATES, INC.

212 DAINES STREET
BIRMINGHAM
MICHIGAN 48009

P 248 644 3410
F 248 644 0819

Michael J. Dul
OF MICHAEL J. DUL & ASSOCIATES, INC.
LANDSCAPE ARCHITECT
NO. 781
BIRMINGHAM, MI 48009

SAROKI
ARCHITECTURE

430 N. OLD WOODWARD
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Project:
Brown Street Mixed-Use
Brown Street
Birmingham, MI 48009

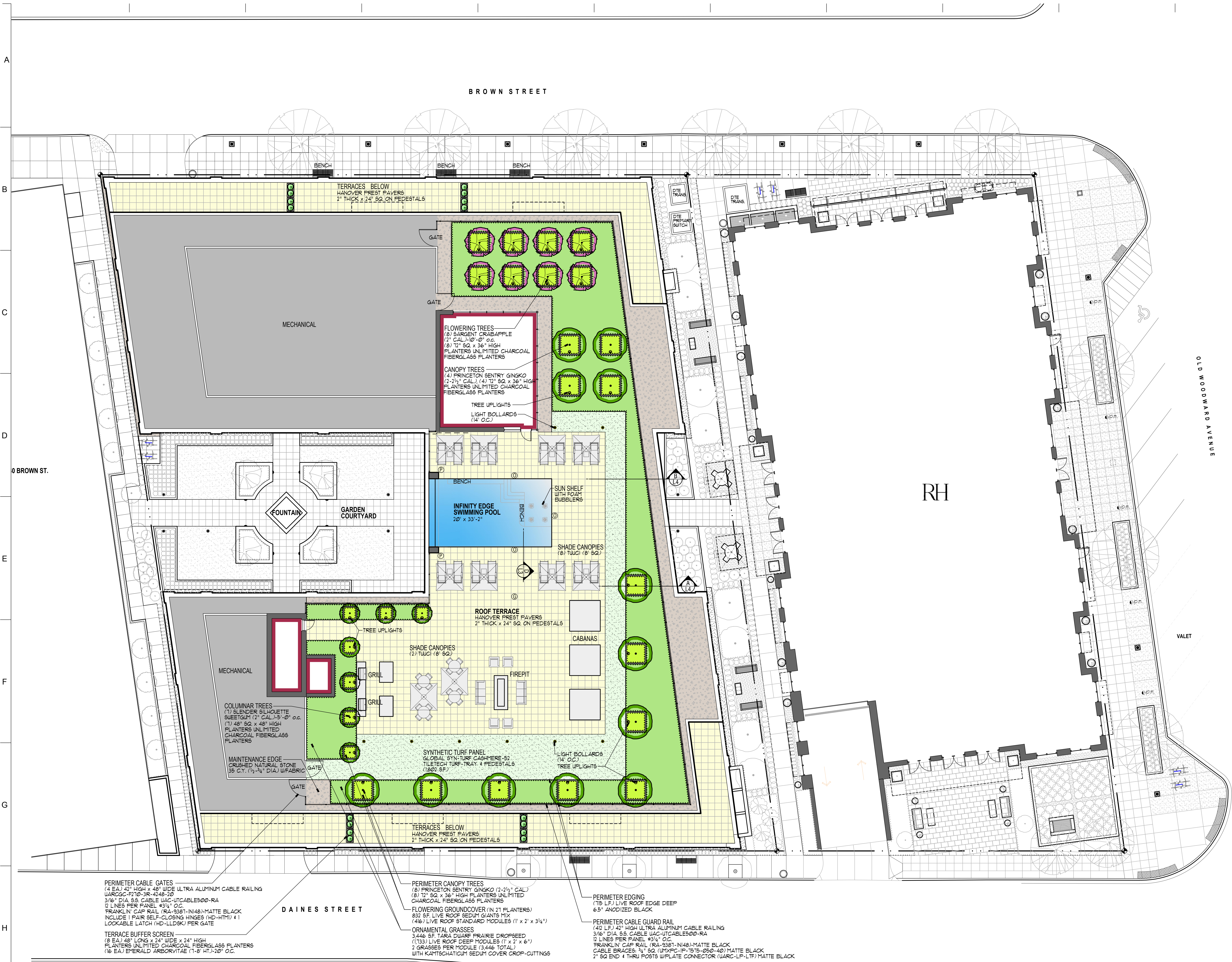
Date: 12-01-2021
Issued For: Preliminary Site Plan App.

Date: 01-27-2022
Issued For: Preliminary Site Plan App.

Date: 04-08-2022
Issued For: Schematic Design

Date: 04-15-2022
Issued For: Final Site Approval

Sheet No.:
L1.1
Preliminary
Landscape Plan
GROUND LEVEL



A

MATERIAL SCHEDULE				
SYM.	QTY.	ITEM/DESCRIPTION	PATTERN	COLOR
GROUND LEVEL				
CONCRETE ALL FLATWORK SHALL BE A MIN. 4000 P.S.I. AFTER 28 DAYS, WITH 5-8% AIR ENTRAINMENT, REINFORCED WITH 6"x6" W/3" X 10" S.W.I.F. INSTALLED ON COMPACTED SAND OR AGGREGATE (SEE DETAILS). POWERWASH AND SEAL ALL EXPOSED AGGREGATE WITH EUCLID CHEMICAL CO. SUPER DIAMOND CLEAR 350 SEALER. SAUCUT CONTROL JOINTS PER PLAN.				
(A)	1266 SF.	ROW WALKS: MIN. 4" THICK REIN. CONCRETE FLATWORK, AVE. 30" SQ. SAUCUT CONTROL JOINTS, MEDIUM BROOM FINISH, ON A MIN. 4" M.D.O.T. CLASS II SAND		
(B)	2009 SF.	ROW WALKS & SITE WALKS: MIN. 4" THICK REIN. CONCRETE FLATWORK, SAUCUT CONTROL JOINTS PER PLAN, MEDIUM BROOM FINISH, ON A MIN. 4" M.D.O.T. CLASS II SAND		
(C)	994 SF.	DRIVE APPROACH: MIN. 8" THICK M.D.O.T. REIN. CONCRETE FLATWORK, SAUCUT CONTROL JOINTS, MEDIUM BROOM FINISH, ON A MIN. 6" COMPACTED 21AA AGGREGATE		
(D)	668 SF.	MIN. 4" THICK REIN. EXPOSED AGGREGATE CONCRETE FLATWORK (CITY STANDARD SPECIFICATION)-SAUCUT CONTROL JOINTS PER PLAN ON MIN. 4" COMPACTED M.D.O.T. CLASS II SAND		
(E)	625 LF.	1/2" WIDE PREFABRICATED EXPANSION JOINT COMPLETE WITH SNAP CAP AND DOW CORNING 790 CAULK		GRAY
(F)	3 EA.	E.J. 48" SQ. GINGKO TREE GRATE 4 FRAMES		
(G)	320 LF.	4" SCH. 40 P.V.C. SLEEVES-BURY A MIN. 12" EXTEND A MIN. 12" BEYOND PAVING EDGES, CAP ENDS, STAKE LOCATIONS		
CONCRETE UNIT PAVERS: ALL CONCRETE UNIT PAVERS SHALL BE INSTALLED ON ADJUSTABLE PEDESTALS, CONSISTENT 1/2" WIDE JOINTS.				
(H)	3095 SF.	HANOVER PAVES (2" THICK X 23 1/2" X 23 1/2") TUDOR FINISH ON ADJUSTABLE PEDESTALS	STACKED BOND	NATURAL
(I)	272 SF.	HANOVER PAVES (2" THICK X 18 1/4" X 23 1/2") TUDOR FINISH ON ADJUSTABLE PEDESTALS	RUNNING BOND	NATURAL
(J)	309 LF.	HANOVER BATTERED ROCKCURB (6" THICK X 18" HIGH X 36" LONG) EXPOSED 6" ABOVE FINISH GRADE TUDOR FINISH, STRAIGHT PCS.	RUNNING BOND	NATURAL
(K)	180 LF.	4" SCH. 40 P.V.C. SLEEVES-BURY A MIN. 12" EXTEND A MIN. 12" BEYOND PAVING EDGES, CAP ENDS, STAKE LOCATIONS		
MASONRY CONSTRUCTION: ALL PROPOSED MASONRY SHALL MATCH BUILDING, 1/2" WIDE GROUT JOINTS, INCLUDE PLASTIC STRAW WEEPS (32" O.C.), 40 MIL RUBBER MEMBRANE UNDER COPING. CONTRACTOR SHALL FIELD TEMPLATE AND SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO LIMESTONE COPING FABRICATION, WASH AND CLEAN ALL MASONRY WITH SURE KLEAN 600, DO NOT USE ACID BASE CHEMICALS NEAR LIMESTONE.				
(L)	542 FF.	12" WIDE X 16" HIGH BRICK PLANTERS-COMPLETE WITH REIN. CHU AND 4" THICK X 14" WIDE X 36" AVE. LENGTH INDIANA LIMESTONE COPINGS (COLOR: BUFF) SMOOTH (60 GRIT) FINISH		MATCH BUILDING
SITE AMENITIES: INSTALL PER MANUFACTURER'S SPECIFICATIONS.				
(M)	4 EA.	STREETLIGHT STANDARD: HADCO 51002A LUMINAIRE W/PHOTOCELL HADCO 510022 8'-8" HIGH POLE W/OUTLETS COMPLETE WITH MONARCH HANGING PLANTER (1 PER POLE)- INCLUDE CITY STANDARD MOUNTING BRACKET & IRRIGATION PIPING		SW INDUSTRIAL 4 MARINE COATING #504072
(N)	2 EA.	BIKE RACK STANDARD: CYCLESAFE MODEL W/2 SURFACE MOUNT WITH 5.5 HARDWARE		JOHN W. HUNTER GREEN DUMORT CHROMAGNE
(O)	5 EA.	BENCH STANDARD: DUMOR, INC. 19-50-030 WITH CUSTOM LETTERING-SURFACE MOUNT WITH 5.5 HARDWARE		BIRMINGHAM GREEN (CUSTOM)
(P)	4 EA.	TRASH RECEPTACLE STANDARD: DUMOR, INC. 0-3947-30-BT-1 30 GAL BONNET TOP WITH OLD FLAT COVER, 49-32 32 FL LINER W/HANDLE, BLACK		BIRMINGHAM GREEN (CUSTOM)
(Q)	2 EA.	SOLUS DECOR HEMI (NG) 48" DIA. HIGH OUTPUT BURNER ASST. WITH REFRACTORY STONE MEDIA AND WEATHERPROOF COVER		CINDER
ROOFTOP CONCRETE UNIT PAVERS: ALL CONCRETE UNIT PAVERS SHALL BE INSTALLED ON ADJUSTABLE PEDESTALS, CONSISTENT 1/2" WIDE JOINTS, POOL COPING SHALL BE SET ON A MIN. 1" LATEX MODIFIED MORTAR SETTING, 1/2" WIDE GROUT JOINTS				
(R)	4482 SF.	HANOVER PAVES (2" THICK X 23 1/2" X 23 1/2") TUDOR FINISH ON ADJUSTABLE PEDESTALS	STACKED BOND	NATURAL
(S)	90 LF.	HANOVER PAVES (2" THICK X 23 1/2" X 23 1/2") TUDOR FINISH SET ON MIN. 1" LATEX MODIFIED MORTAR SETTING BED, 1/2" WIDE GROUT JOINTS, TUDOR FINISH EDGE ON EXPOSED POOL EDGE	STACKED BOND	NATURAL
(T)	12 LF.	4" SCH. 40 P.V.C. SLEEVES-BURY A MIN. 12" EXTEND A MIN. 12" BEYOND PAVING EDGES, CAP ENDS, STAKE LOCATIONS		
MASONRY CONSTRUCTION: ALL PROPOSED MASONRY SHALL MATCH BUILDING, 1/2" WIDE GROUT JOINTS, INCLUDE PLASTIC STRAW WEEPS (32" O.C.), 40 MIL RUBBER MEMBRANE UNDER COPING. CONTRACTOR SHALL FIELD TEMPLATE AND SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO LIMESTONE COPING FABRICATION, WASH AND CLEAN ALL MASONRY WITH SURE KLEAN 600, DO NOT USE ACID BASE CHEMICALS NEAR LIMESTONE.				
(U)	64 FF.	21" WIDE X 34" LONG X 42" HIGH BRICK PIERS-COMPLETE WITH REIN. CHU AND 4" THICK X 23" WIDE X 36" LONG INDIANA LIMESTONE CAPS (COLOR: BUFF) SMOOTH (60 GRIT) FINISH		MATCH BUILDING
GUARD RAILING & GATES: STAINLESS STEEL, CABLE RAILING WITH MATTE BLACK FRANKLIN TOP RAIL AND POSTS-SHALL BE MANUFACTURED BY ULTRA ALUMINUM MANUFACTURING, INC. (800-456-4400)				
(V)	42 LF.	42" HIGH ULTRA S.S. CABLE RAILING WITH FRANKLIN TOP RAIL & POSTS		MATTE BLACK
(W)	4 EA.	42" HIGH X 48" WIDE ULTRA S.S. CABLE RAILING GATES		MATTE BLACK

C

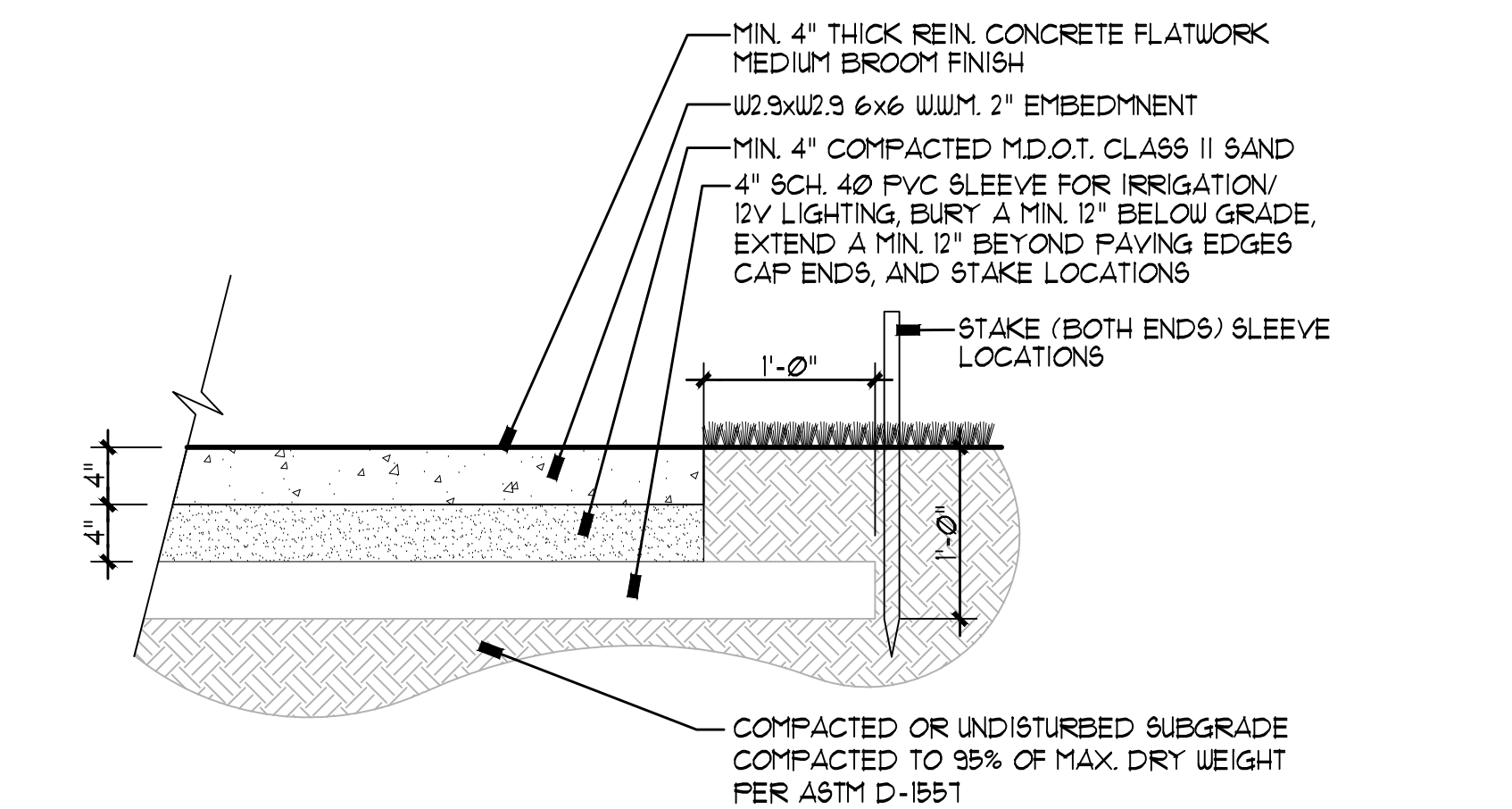
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E

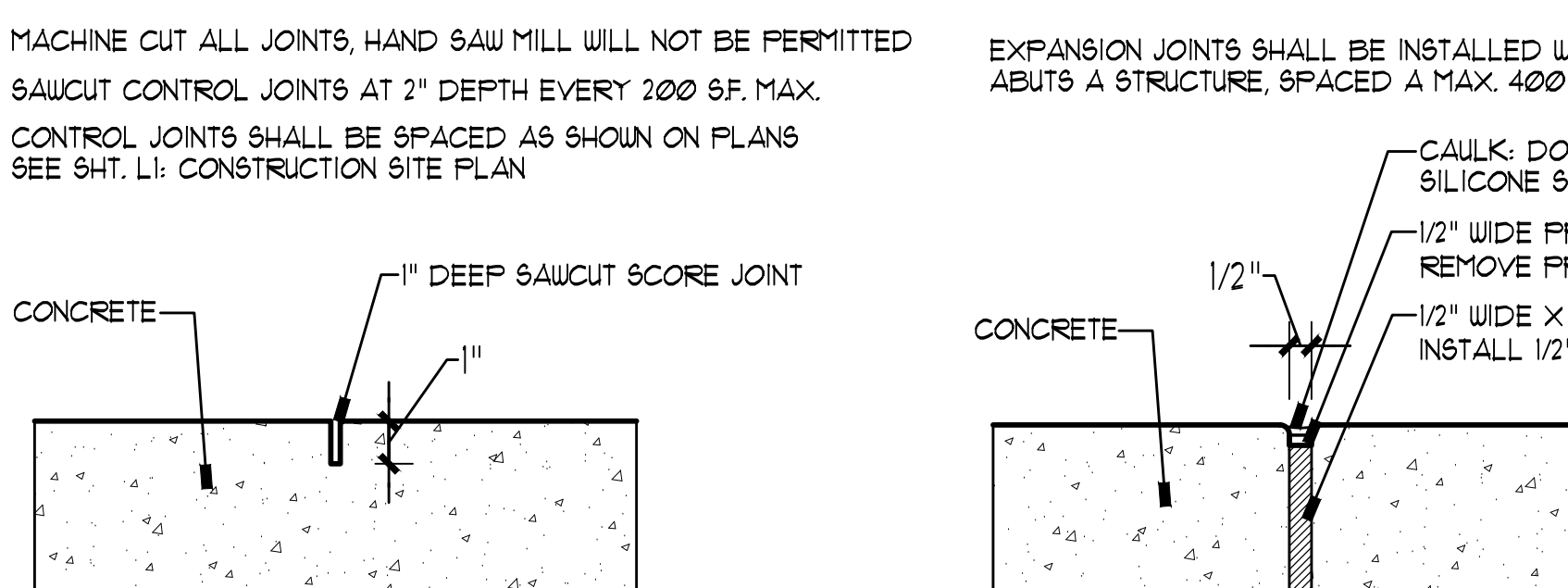
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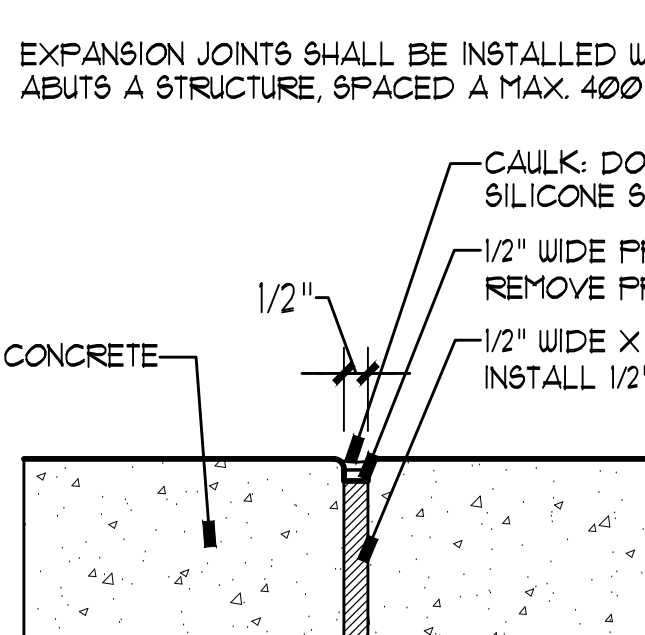
H



(A) PEDESTRIAN WALK/SLEEVE DETAIL
L3 Section
Scale: 1"=1'-0"

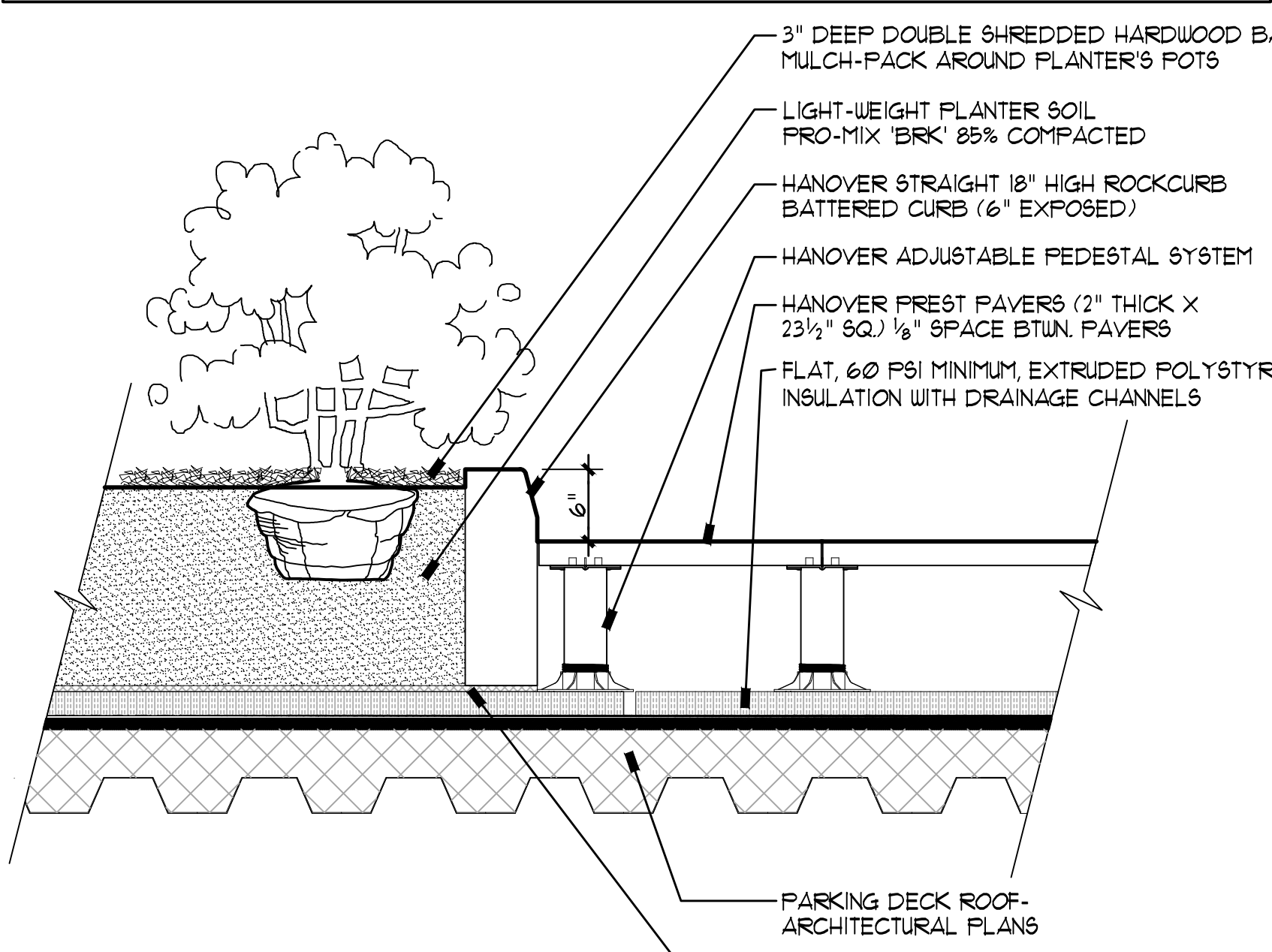


(B) CONTROL JOINT DETAIL
L3 Section
Scale: 3/8\"/>

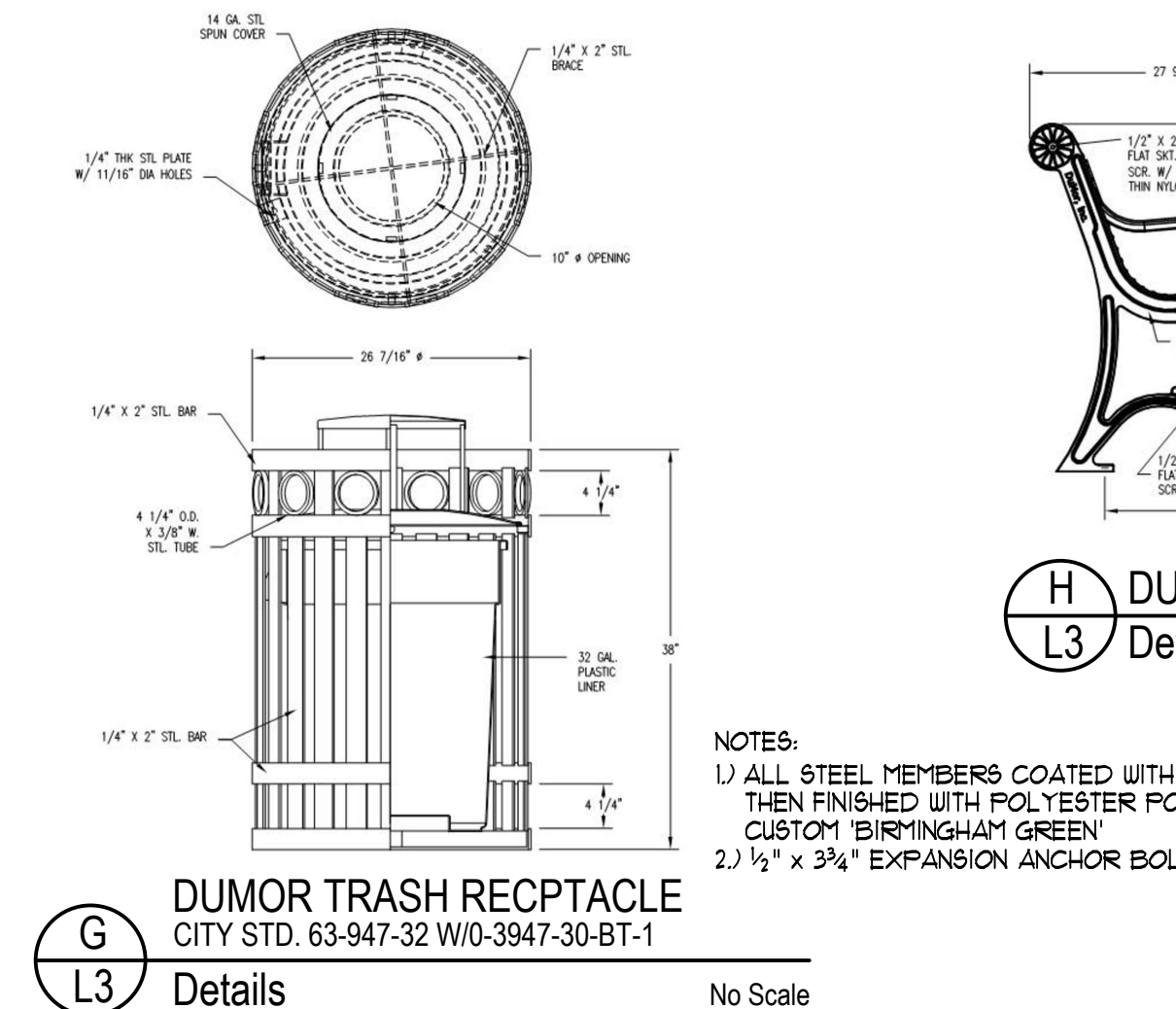


(C) EXPANSION JOINT DETAIL
L3 Section
Scale: 3/8\"/>

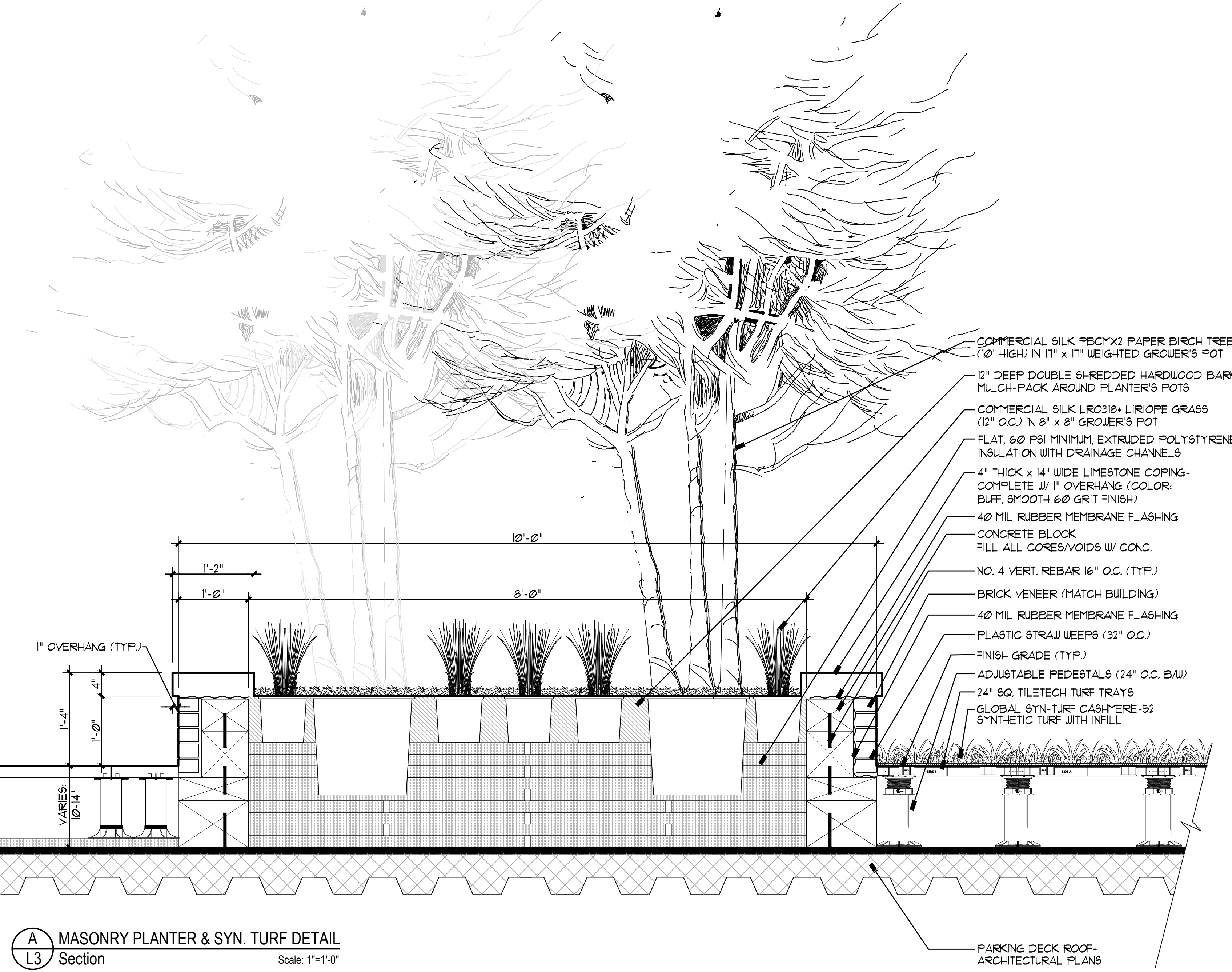
GENERAL NOTES	
GENERAL CONDITIONS:	
1) CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR PRIOR TO SUBMITTING BID PROPOSAL OR BEGINNING ANY WORK.	
2) EXCEPT AS OTHERWISE SHOWN OR STIPULATED, THIS CONTRACT SHALL INCLUDE THE DEMOLITION OF EVERY DESCRIPTION NECESSARY TO SUCCESSFULLY COMPLETE THE WORK UNDER THIS CONTRACT TO THE LINES AND GRADES SHOWN ON THESE PLANS WITHIN THE LIMIT OF WORK.	
3) THE CONTRACTOR SHALL LEGALLY DISPOSE OF ALL ITEMS TO BE REMOVED THAT ARE NOT TURNED OVER TO THE OWNER OR STOCKPILED FOR REUSE.	
4) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE LIMIT OF WORK DUE TO CONTRACT OPERATIONS.	
5) DO NOT DISTURB EXISTING UTILITIES THAT SERVE AREAS SURROUNDING LIMIT OF WORK. IF SUCH UTILITIES ARE ENCOUNTERED NOTIFY PROPER UTILITY COMPANY BEFORE PROCEEDING.	
6) THE CONTRACTOR SHALL CONTACT THE PROPER LOCAL AUTHORITIES TO CONFIRM THE LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE TO CONTACT THE PROPER AUTHORITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.	
7) THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL THE DRAWINGS AND SPECIFICATIONS FOR SPECIFIC COORDINATING CONSTRUCTION.	
8) CONTRACTOR SHALL PROVIDE UNIT PRICING FOR ALL AREAS OF WORK.	
9) PLANS ARE NOT VALID WITH APPROVAL AND PERMIT BY THE CITY OF BIRMINGHAM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS. THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS.	
MASONRY CONSTRUCTION:	
1) ALL PROPOSED AND FINISHED MASONRY ELEMENTS SHALL BE THOROUGHLY WASHED WITH AN ACID BASED CLEANER (SURE KLEAN 600) PER MANUFACTURER'S SPECIFICATIONS. NO ACID BASED CHEMICALS SHOULD CONTACT INDIANA LIMESTONE.	
2) THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED EARTHWORK AND EXCAVATIONS TO PERFORM SCHEDULED WORK. ALL EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED (OFF-SITE) INCLUDED IN THE SUBMITTED PROPOSAL & UNIT PRICES.	
3) THE CONTRACTOR SHALL INSTALL ALL PROPOSED WORK ON COMPACTED OR UNDISTURBED SUBGRADE.	
4) THE CONTRACTOR SHALL FIELD TEMPLATE AND SUBMIT SCALED SHOP DRAWINGS FOR APPROVAL PRIOR TO THE FABRICATION OF INDIANA LIMESTONE COPINGS, AND CAPS.	
5) ALL PROPOSED HANOVER POOL COPING SHALL BE SET ON A MIN. 1" THICK LATEX MODIFIED MORTAR SETTING BED, APPLY 1" LATEX MODIFIED MORTAR THIN-SET TO THE BOTTOM OF EACH STONE AND TO THE CONCRETE BASE.	
CONCRETE CONSTRUCTION:	
1) THE CONTRACTOR SHALL LAYOUT PROPOSED EXPANSION FOR THE LANDSCAPE ARCHITECT'S OR CONSTRUCTION MANAGER'S APPROVAL PRIOR TO INSTALLATION.	
2) THE LANDSCAPE ARCHITECT OR CONSTRUCTION MANAGER SHALL APPROVE FINAL CONTRACTOR FORM WORK IN THE FIELD PRIOR TO POURING CONCRETE.	
3) ALL EXPANSION JOINTS SHALL BE PREMOULDED 1/2" WIDE AND INCLUDE EXPANSION JOINT MATERIAL. INCLUDE PREFABRICATED SNAP CAP PROVIDE EXPANSION JOINTS EVERY 400 SF. MAX.	
4) EXPANSION JOINT MATERIAL: RESILIENT, NON-EXTRUDING TYPE PREMOULDED BITUMINOUS IMPREGNATED FIBERBOARD.	
5) ALL EXPANSION JOINTS SHALL BE CAULKED WITH DOW CORNING 790 SILICONE SEALANT (COLOR: LIGHT GRAY). CONTRACTOR SHALL REMOVE AND DISPOSE SNAP CAP PRIOR TO CAULKING AND PROTECT BARRICADE ALL CAULK JOINTS FROM TRAFFIC DURING CURING TIME.	
6) MEDIUM BROOM FINISH ALL BROOM-FINISH CONCRETE-FULL BROOM ACROSS FRESHLY FLOATED CONCRETE TO PRODUCE MEDIUM TEXTURE IN STRAIGHT LINES PERPENDICULAR TO MAIN LINE OF TRAFFIC. DO NOT DAMPEN BROOMS. BROOMING DIRECTION SHOULD BE MAINTAINED IN THE SAME DIRECTION FOR EACH CONCRETE POUR.	
7) ALL CONTROL JOINTS SHALL BE MACHINE SAUCUT MIN. 1" DEEP EVERY 100 SF. (NO HAND SAW PERMITTED). CONTROL JOINT LAYOUT SHALL BE EQUAL FLAG, DIVIDE LENGTH EQUALLY BETWEEN EXPANSION JOINTS-SEE DRAWINGS FOR LAYOUT.	
8) CONCRETE STRENGTH FOR ALL PROPOSED CONCRETE FLATWORK SHALL BE MIN. 4000 P.S.I. AND MIN. 3500 P.S.I. CONCRETE FOR ALL BROOM FINISH CONCRETE AT 28 DAYS, WITH A V-6% AIR ENTRAINMENT MIX DESIGN SHALL NOT HAVE LESS THAN 6.25 BAGS OF CEMENT PER CUBIC YARD.	
9) ALL PROPOSED SLEEVES SHALL BE SCHEDULE 40 P.V.C. EXTEND A MIN. 12" BEYOND PROPOSED PAVING EDGES, BURY A MIN. 12" BELOW PROPOSED FINISH GRADE, CAP ENDS, AND STAKE LOCATIONS (BOTH ENDS). CONTRACTOR SHALL SUPPLY LANDSCAPE ARCHITECT WITH AN AS-BUILT DRAWING ILLUSTRATING LOCATION OF ALL SLEEVES.	
10) ALL CONCRETE FLATWORK SHALL BE REINFORCED AS SPECIFIED MIN. 2" EMBEDMENT.	
11) THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED EARTHWORK AND EXCAVATIONS TO PERFORM SCHEDULED WORK. ALL EXCAVATED MATERIALS SHALL BE GRADED IN PLACE (ON-SITE) IN PARK AS DIRECTED BY LANDSCAPE ARCHITECT, INCLUDED IN THE SUBMITTED BID PROPOSAL.	
12) THE CONTRACTOR SHALL INSTALL ALL PROPOSED WORK ON COMPACTED OR UNDISTURBED SUBGRADE.	
13) THE CONTRACTOR SHALL FORM ALL PROPOSED CONCRETE BASE WORK AND FOOTINGS TO MINIMIZE OVERPOURS. ALL FORMS SHALL BE REMOVED AND LEGALLY DISPOSED OFF-SITE.	
14) THE CONTRACTOR SHALL PROTECT AND COVER ALL STORM CATCH BASINS WITH 8 OZ. NON-WOVEN GEOTEXTILE FILTER FABRIC PRIOR TO WASHING EXPOSED AGGREGATE CONCRETE TO INSURE CEMENT CREAM AND SAND DO NOT ENTER BASINS.	
15) ALL EXPOSED AGGREGATE CONCRETE SHALL BE POWERWASHED AFTER INITIAL CURE TO REMOVE ANY HAZE AND SEAL WITH EUCLID CHEMICAL CO. SUPER DIAMOND CLEAR 350 SEALER PER MANUFACTURER'S SPECIFICATION. CONTRACTOR SHALL PROTECT BARRICADE ALL SEALED AREAS FROM PEDESTRIAN AND VEHICULAR TRAFFIC DURING CURE TIME.	
16) CONCRETE MIX DESIGNS:	
A) BROOM FINISH CONCRETE: SAND: 105 SAND, ASTM C-33 1350 LBS COARSE AGGREGATE: 6AA LIMESTONE PRESQUE ISLE ASTM C-33 1680 LBS CEMENT: TYPE I ASTM C50 580 LBS WATER: CITY TAP WATER 315 GALS ADDMIXTURE: ASTM C660 DAREX AEA BY UIR. GRADE CO. 130Z/CU. YD.	
B) EXPOSED AGGREGATE CONCRETE: SAND: 105 SAND, ASTM C-33 1080 LBS COARSE AGGREGATE: 12A ASTM C-33 1380 LBS CEMENT: TYPE I ASTM C50 580 LBS WATER: CITY TAP WATER 315 GALS ADDMIXTURE: ASTM C660 DAREX AEA BY UIR. GRADE CO. 130Z/CU. YD.	
17) FOR ALL EXPOSED AGGREGATE CONCRETE SURFACE SHALL BE EXPOSED BY USE OF SURFACE RETARDANT "PRECO EAC-5" OR APPROVED EQUAL. CONCRETE SHALL BE PLACED, LEVELED AND FLOATED IN A NORMAL FASHION (SEEDING WILL NOT BE PERMITTED). IMMEDIATELY AFTER THE SLAB HAS BEEN SCREENED AND PARDED, THE AGGREGATE SHALL BE WASHED IN A UNIFORM MANNER UNTIL ALL AGGREGATE IS LEFT JUST ABOVE THE SURFACE, LEAVING NO HOLES OR OPENINGS IN THE SURFACE. THE SURFACE SHALL THEN BE BRUSHED AND WASHED UNTIL ALL AGGREGATE IS EXPOSED AND FREE OF CEMENT FILM. AFTER INITIAL CURING APPLY SPECIFIED SEALER.	



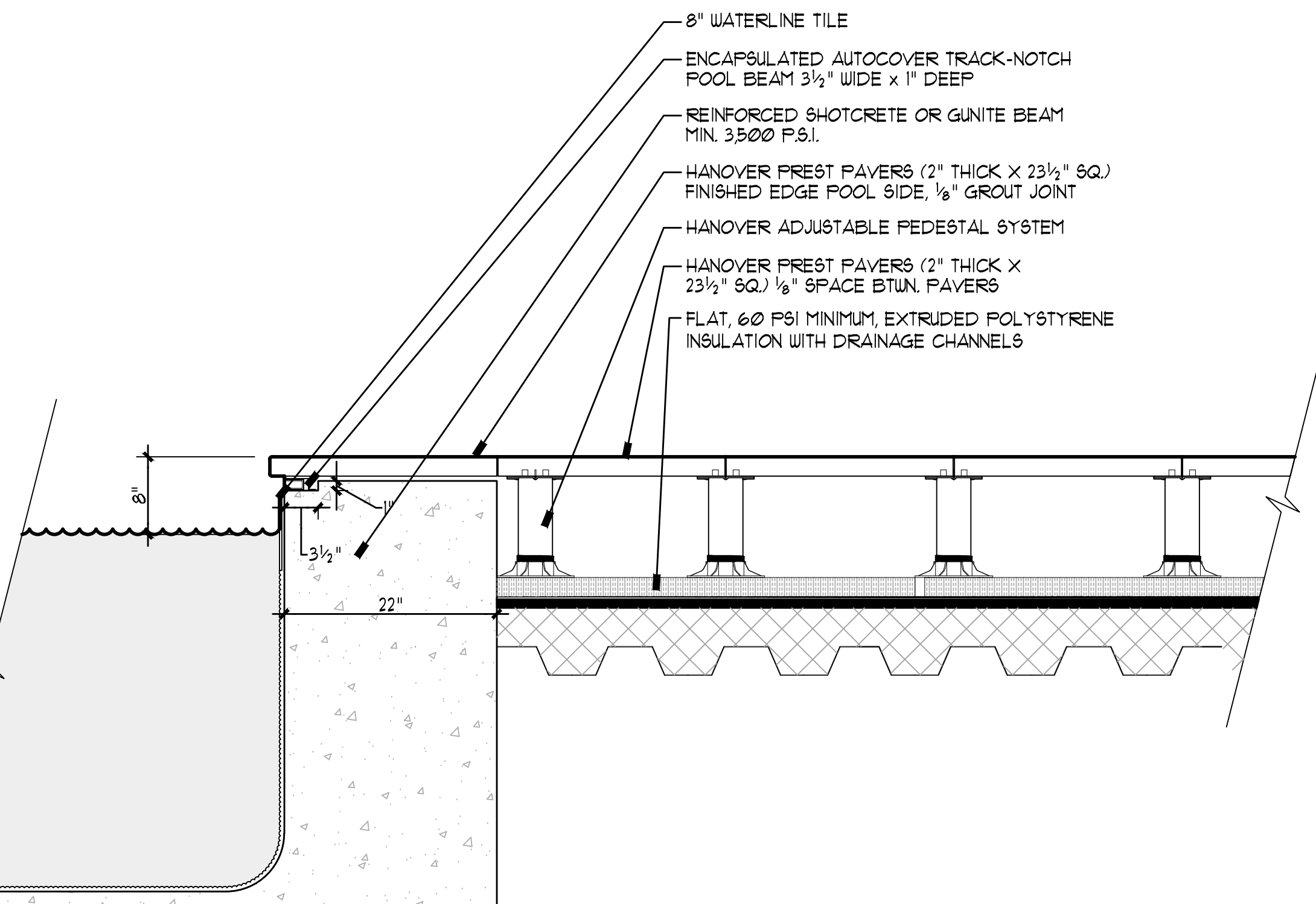
(D) HANOVER PAVER & ROCKCURB DETAIL
L3 Section
Scale: 1"=1'-0"



(E) DUMOR TRASH RECEPTACLE
L3 Details
No Scale



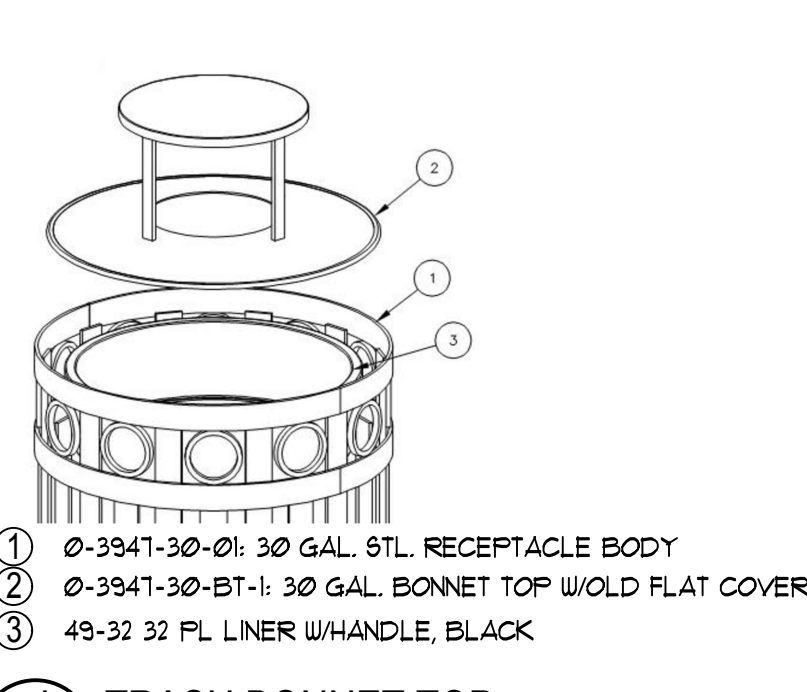
(F) MASONRY PLANTER & SYN. TURF DETAIL
L3 Section
Scale: 1"=1'-0"



(G) POOL COPING & ROOFTOP PAVER DETAIL
L3 Section
Scale: 1"=1'-0"



(H) CUSTOM BENCH LETTERING
L3 Details
No Scale



(I) TRASH BONNET TOP
L3 Details
No Scale

MACHINE CUT ALL JOINTS, HAND SAW MILL WILL NOT BE PERMITTED
SAUCUT CONTROL JOINTS AT 2" DEPTH EVERY 200 SF. MAX.
CONTROL JOINTS SHALL BE SPACED AS SHOWN ON PLANS
SEE SHT. L1: CONSTRUCTION SITE PLAN

EXPANSION JOINTS SHALL BE INSTALLED WHERE CONCRETE ABUTS A STRUCTURE, SPACED A MAX. 400 SF.

CAULK: DOW CORNING 790 SILICONE SEALANT (GRAY)
1/2" WIDE PREFABRICATED SNAP CAP REMOVE PRIOR TO APPLYING SEALANT
1/2" WIDE X FULL DEPTH EXPANSION PAPER INSTALL 1/2" BELOW TOP OF CONCRETE

NOTES:
1) ALL STEEL MEMBERS COATED WITH ZINC RICH EPOXY THEN FINISHED WITH POLYESTER POWDER COATING: CUSTOM BIRMINGHAM GREEN
2) 1/2" X 3/4" EXPANSION ANCHOR BOLTS PROVIDED

NOTES:
1) ALL STEEL MEMBERS COATED WITH ZINC RICH EPOXY THEN FINISHED WITH POLYESTER POWDER COATING: CUSTOM BIRMINGHAM GREEN
2) 1/2" X 3/4" EXPANSION ANCHOR BOLTS PROVIDED

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAKE-OFFS AND NO ADJUSTMENTS WILL BE MADE TO THE CONTRACT PRICE BASED ON ACTUAL QUANTITIES USED (SUBJECT TO CHANGES APPROVED BY THE LANDSCAPE ARCHITECT AND UNIT PRICE SCHEDULE).



A

PLANT & MATERIAL SCHEDULE

Sym.	Qty.	Botanical Name	Common Name	Size	Root	Comments
GROUND LEVEL						
Deciduous Trees						
L66	13	Liquidambar styraciflua 'Slender Silhouette'	Slender Silhouette Sweetgum	2-2½" cal.	B4B	MATCHED SPECIMENS-Full heads
GBG	3	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	3-3½" cal.	B4B	MATCHED SPECIMENS-Full heads
SR1	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2½-3" cal.	B4B	MATCHED SPECIMENS-Full heads
UF	3	Ulmus carpinifolia x parvifolia 'Frontier'	Frontier Hybrid Elm	3½-4" cal.	B4B	MATCHED SPECIMENS-Full heads
Evergreen Trees						
TOE	13	Thuja occidentalis 'Emerald'	Emerald Green Arborvitae	6-7'	B4B	Space 20" o.c., clip into hedge
Shrubs						
BGV	248	Buxus x microphylla 'Green Velvet'	Green Velvet Boxwood	15-18"	B4B	Space 12" o.c., clip into hedge
BGV	255	Buxus x microphylla 'Green Velvet'	Green Velvet Boxwood	18-24"	B4B	Space 15" o.c., maintain as clipped mass
HBB	44	Hydrangea paniculata 'BoBo'	BoBo Hydrangea	18-24"	Can	Min. 3 gal., space 36" o.c., acidify soil
Perennials/Groundcovers						
HMA	148	Hakonechloa macra 'All Gold'	All Gold Japanese Forest Grass	1 gal.	Can	Space 15" o.c.
FTG	600	Fachysandra teranilis 'Green Carpet'	Green Carpet Fachysandra	1 gal.	Can	Space 12" o.c., acidify soil
Synthetic Plants						
S-BP	16	Betula papyrifera	White Paper Birch	10' ht.	Can	Commercial Silk PECHX2, 11" weighted grower's pot
S-LM	100	Liriope muscari	Liriope Grass	3-10"	Can	Commercial Silk LRO318, 8" grower's pot
S-T	2228 sf	Global Syn-Turf Cashmere-52 Synthetic Turf on TILETECH Turf-Trays and adjustable pedestals. Include sand infill and power broom all syn. turf Materials				
Materials						
CS	10 cy	½-¾" DIA. Washed Natural Crushed Stone Mulch, 6" deep on 4 oz. non-woven filter fabric				
RE	500 lf	3/16" x 4" J.D. Russell Steel Edging (BLACK)-install per manufacturer's specifications				
SB	36 cy	Shredded hardwood bark mulch (seasoned, dark brown), 3" deep in perennial and groundcover beds, 4" depth in shrub/tree beds, 12" deep in synthetic planters-pack around grower's pots (16 cy. in these 2 planters)				
PM	44 cy	Planting mix - 3 parts well-drained screened imported topsoil, to 1 part clean sand, to 1 part Canadian sphagnum peat moss, to 1 part natural compost (weed-free), and 10% poultry manure, install 12" deep in all planting beds outside roof structure				
PP	53 cy	Planter mix - PRO-MIX 'BRK' Planter Soil Mix-install full depth in planters (ave. 24" deep in fountain planters, 16" deep in curb planters). 9.61 c.f. bags (28 c.f.) per cy. (513 bags required)				
ROOFTOP						
Deciduous Trees						
L66	1	Liquidambar styraciflua 'Slender Silhouette'	Slender Silhouette Sweetgum	2-2½" cal.	B4B	MATCHED SPECIMENS-Full heads
MS	8	Malus sargentii	Sargent Crabapple	2-2½" cal.	B4B	MATCHED SPECIMENS-Single stem
GBG	12	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2-2½" cal.	B4B	MATCHED SPECIMENS-Full heads
Perennials/Groundcovers						
SHT	3466 sf	Sporobolus heterolepis 'Tara'	Tara Dwarf Prairie Dropseed	1'x2'x6"	Module	2 grasses per module-complete with Live Roof Deep
SG	832 sf	Live Roof Sedum Giants Mix Synthetic Plants		1'x2'x3¼"	Module	Sedum kamtschaticum cuttings cover crop
S-T	1802 sf	Global Syn-Turf Cashmere-52 Synthetic Turf on TILETECH Turf-Trays and adjustable pedestals. Include sand infill and power broom all syn. turf Materials				
Materials						
CS	35 cy	½-¾" DIA. Washed Natural Crushed Stone Mulch, 6" deep on 4 oz. non-woven filter fabric				
ED	115 lf	6.5" LIVE ROOF EDGE DEEP (ANODIZED BLACK)-install per manufacturer's specifications				
SB	27 cy	Shredded hardwood bark mulch (seasoned, dark brown), 2" deep in perennial and groundcover modules				
PP	91 cy	Planter mix - PRO-MIX 'BRK' Planter Soil Mix-install full depth in planters (ave. 24" deep in fountain planters, 16" deep in curb planters). 9.61 c.f. bags (28 c.f.) per cy. (136 bags required for 12" planters and 145 bags required for 48" planters)				
Planters						
	7 ea.	48" sq. x 48" High Planters Unlimited Charcoal Fiberglass planters SKU: FI-MOD-54848				
	20 ea.	12" sq. x 36" High Planters Unlimited Charcoal Fiberglass planters SKU: FI-MOD-57248				
4th LEVEL						
TOE	16	Evergreen Trees Thuja occidentalis 'Emerald'	Emerald Green Arborvitae	6-7'	B4B	Space 20" o.c., clip into hedge
Materials						
SB	1 cy	Shredded hardwood bark mulch (seasoned, dark brown), 2" deep in perennial and groundcover modules				
PP	14 cy	Planter mix - PRO-MIX 'BRK' Planter Soil Mix-install full depth in planters (ave. 24" deep in fountain planters, 16" deep in curb planters). 9.61 c.f. bags (28 c.f.) per cy. (136 bags required for 8 planters)				
Planters						
	8 ea.	48" long x 24" wide x 24" high Planters Unlimited Charcoal Fiberglass planters SKU: FI-MOD-REC48242424				

D

E

F

G

H

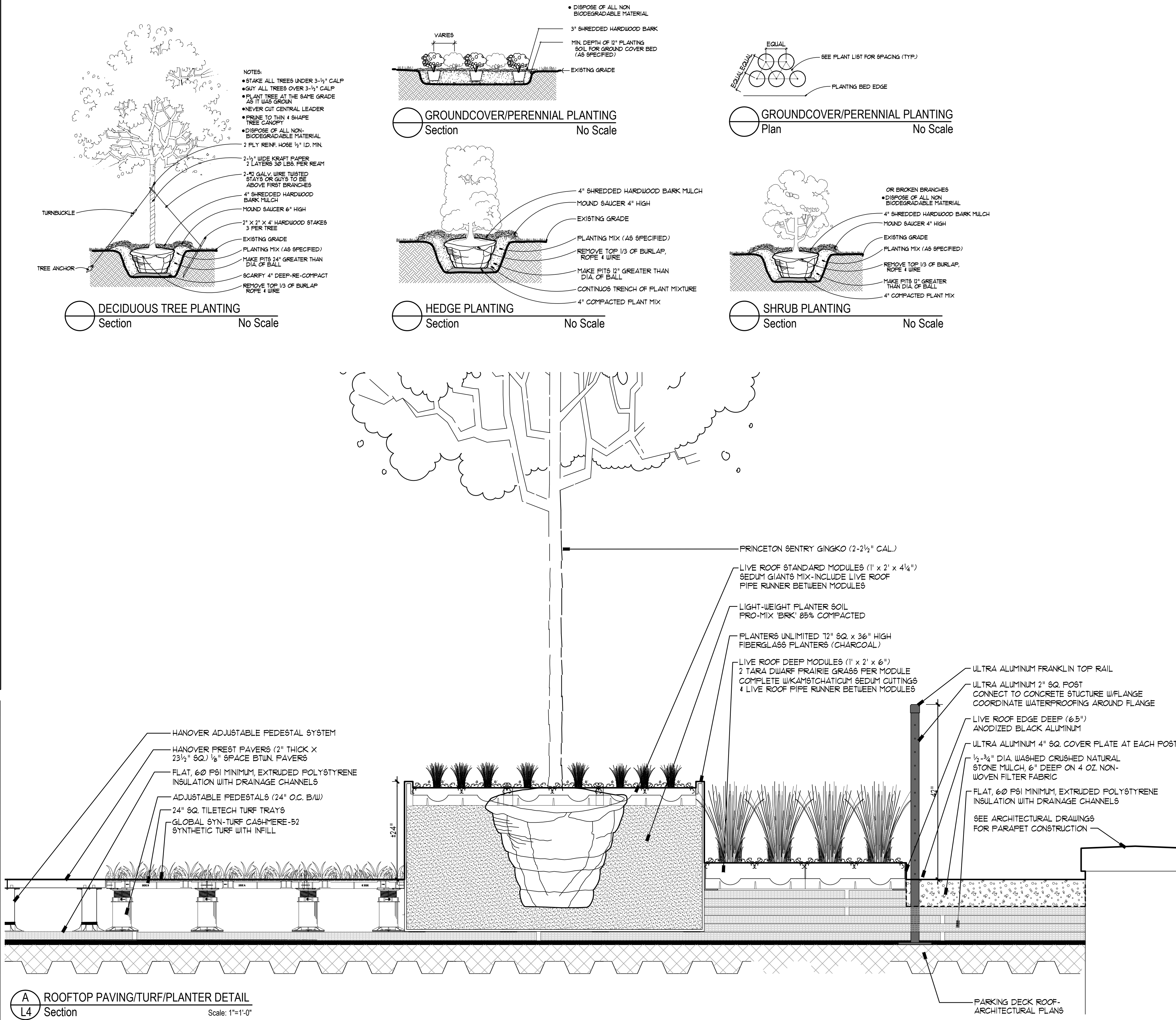
LANDSCAPE DEVELOPMENT NOTES

- 1) ALL EXISTING AND/OR PROPOSED SITE UTILITIES SHALL BE FIELD LOCATED, FLAGGED, AND VERIFIED PRIOR TO ANY LANDSCAPE OR IRRIGATION CONSTRUCTION.
- 2) ALL SPECIFIED AND INSTALLED MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH AMERICAN NURSERYMAN STANDARDS (LATEST EDITION) AND BE:
 - A) NURSERY GROWN.
 - B) STATE DEPARTMENT OF AGRICULTURE INSPECTED AND APPROVED.
 - C) NO. 1 GRADE WITH STRAIGHT, UNSCARRED TRUNKS & WELL-DEVELOPED UNIFORM CROWNS ON TREES.
 - D) WARRANTED FOR A MIN. 1 YEAR FROM DATE OF ACCEPTANCE.
- 3) SPECIFIED PLANTING SOIL MIXTURE FOR ALL SPECIFIED BEDS OUTSIDE ROOF STRUCTURE & PLANTS SHALL BE THREE (3) PARTS IMPORTED WELL-DRAINED, SCREENED ORGANIC TOPSOIL, TO ONE (1) PART IMPORTED CLEAN SAND, TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS, TO ONE (1) PART NATURAL COMPOST (WEED-FREE)-COMPLETE WITH 10% NATURAL POULTRY MANURE. INSTALL 12" MINIMUM DEPTH IN ALL PERENNIAL, GROUND COVER, ANNUAL, AND SHRUB BEDS. ALL BEDS MUST BE EXCAVATED, REMOVE AND DISPOSE (OFF-SITE) EXISTING EARTH/SOIL TO ACCEPT PROPOSED PLANT MIXTURE.
- 4) SPECIFIED PLANTING SOIL MIXTURE FOR ALL SPECIFIED BEDS INSIDE/ON ROOF STRUCTURE & PLANTERS SHALL BE PRO-MIX 'BRK'.
- 5) PROPOSED SHREDDED HARDWOOD BARK MULCH SHALL BE SEASONED FOR A MINIMUM 6 MONTHS, DARK BROWN IN COLOR, AND INSTALLED 4" DEEP UNDER ALL PROPOSED TREES (INCLUDED IN UNIT COST), 4" DEEP IN ALL SHRUB AND TREE BEDS, AND 3" DEEP IN ALL PERENNIAL AND GROUND COVER BEDS.
- 6) ALL PROPOSED SYNTHETIC LAWN AND LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATICALLY OPERATED SPRINKLER IRRIGATION SYSTEM, SEE IRRIGATION PLAN(S). SEPARATE LAWN & SHRUB ZONES. ALL VALVE BOXES SHALL BE BLACK.
- 7) ALL PROPOSED "SPECIFIC" PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND/OR DELIVERY TO THE SITE.
- 8) THE LANDSCAPE CONTRACTOR SHALL KEEP THE STREET AND DRIVE CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES, AND SHALL THOROUGHLY SWEEP AND/OR WASH THE DRIVE AT THE END OF EACH WORK DAY.
- 9) THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL PROPOSED TREES FOR THE LANDSCAPE ARCHITECT TO APPROVE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ALSO SET ON-SITE ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, VINES, AND GROUND COVERS AS PER PLAN FOR THE LANDSCAPE ARCHITECT TO APPROVE PRIOR TO PLANTING.
- 10) ALL DEAD AND UNACCEPTABLE PLANT MATERIALS SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR DURING THE WARRANTY PERIOD. THE WARRANTY PERIOD SHALL BE ONE (1) YEAR FROM THE ACCEPTANCE OF INSTALLATION ISSUED BY THE LANDSCAPE ARCHITECT.
- 11) ALL PROPOSED ROOFTOP PERENNIALS/ORNAMENTAL GRASSES/GROUND COVERS & EDGING SHALL BE SUPPLIED BY LIVE ROOF (616) 935-1980.

B ROOFTOP PAVING/TURF/PLANTING DETAIL

Section Scale: 1"=1'-0"

1 2 3 4

LANDSCAPE
ARCHITECTUREMICHAEL J. DUL
& ASSOCIATES, INC212 DAINES STREET
BIRMINGHAM
MICHIGAN 48009P 248 644 3410
F 248 644 0819SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI
48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.comProject:
Brown Street / Mixed-Use
Brown Street
Birmingham, MI 48009Date: Issued For:
11-29-2021 Architect Review
12-01-2021 Preliminary Site Plan App.
01-27-2022 Preliminary Site Plan App.
03-24-2022 Architect Review
04-08-2022 Schematic Design
04-15-2022 Final Site Approval

Sheet No.:

L4
Preliminary
Landscape Details &
Specifications

Specification Sheet

luminaire

IP68

WHITE AND STATIC COLOUR

Project Name _____

Type _____ Catalog / Part Number _____

Qty _____

Top view

Front and side views

Photometric Summary

WxH	Delivered output (lm)	Intensity (cand cd)
8'x8'	4512	59,238
10'x10'	4410	53,872
10'x20'	4386	23,296
10'x30'	3876	12,062
10'x40'	4077	6922
15'x25'	4346	19,773
15'x30'	4730	10,886
15'x40'	4035	5317
30'x35'	4612	11,616
30'x40'	3658	9084
60'x60'	3868	3368
60'x80'	4548	2192
90'x90'	4070	2192

Based on 40K 1400K output, 4811 (25mm) 2° beam angle configuration.

2° beamwidth 1° setting for WWW ops, 0° 1° setting for all other ops.

Performance is required in compliance with EN54-1A/970.

Description

The LuminaireGround is a LED luminaire designed for ground-recessed lighting applications, including asymmetric wall lighting, grating, and linear wall lighting. An innovative, plug and play design simplifies installation, protecting the system from water infiltration and ensuring long-lasting performance. Featuring second generation, LED technology, the LuminaireGround is available in four different sizes (12, 24, 36, 48 in) with a wide choice of output, color temperatures, color-mixing, angles, and controls. A unique asymmetric wall-beam distribution is also available, providing exceptional uniformity and brightness for walls and signage.

Features

Construction Walk over compliant up to 500 kg in any type of ground, over compliant up to 1000 kg in concrete

Color and Color Temperature 2200K, 2700K, 3000K, 3500K, 4000K, 4800K, 5000K, 5400K, 6000K, 6500K, 7000K, 8000K, 9000K, 10000K

Length (mm/inch) 12 in, 24 in, 36 in, 48 in

Optics Asymmetric wall-beam, 8° 18° 30° 40° 10° 30° 40° 60° 10° 30° 17° 23° 30° 35° 40° 35° 35° 30° 80° 60° 40° 80° 80° 90° 90°

III Safety (Roctary set) 0 degrees, 25 degrees, 5 degrees, 20 degrees

Optical Option Internal driver

Options Anti-aliens, CE (certification covers European Economic Area)

Power Consumption 3 Watt (meets ABMA standards for linear lighting on building facades - not available for 12 in fixture length), 0.5 Watt (R2 version), 1.525 Watt (R2 version), typically 20% higher for 12 in fixture lengths

Warranty 5-year limited warranty

Performance

Maximum Delivered Output 4730 lm (48 in fixture, 4000K, 30° 1° 1° setting, DIMMABLE)

Optics

Specification Sheet

Project Name _____

Type _____ Catalog / Part Number _____

Photometric Summary

Output	SO - Sub output	NO - Regular output
Wattage [W]	143	442
Beam Angle [°]	120	120
Beam Diameter [mm]	173	
* Beam diameter is based on a beam spread of 100m (at 100m)		

Wattage Summary

Watts type	Voltage	SO - Sub output [W]	NO - Regular output [W]
ND/DM	120V	11	26
	240V	13	25
BAI	120V	11	26

Color Temperature	Voltage	Wattage*
8000K/20K, 4000K/40K, 5000K/50K	120-240V	270

Dynamic Voltage	Voltage	Wattage*
DM120	120V/277V	13/11
DM240	240V	16
DM300	300V	18
DM360	360V	18
DM480	480V	16
DM720	720V	13
DM1440	144V	14

Front view

Description

The Beam Surface Mount is a high-performance LED wall-mounted luminaire for decorative lighting, public spaces, and access rooms. Configurable, the cylindrical luminaire provides a choice of outputs and finishes, as well as legacy or custom output models, offering you flexibility with exceptional continuity. The Beam Surface Mount is also available in RGBW, Dynamic Warm, and Dynamic White, allowing you to create a number of effects and looks, including solid colors, dynamic color colour changes, pulses, and even rainbow chases.

Electrical and control

Output (nominal lumens)

Soft output, Regular output

Voltage

120 volts, 208 volts, 240 volts, 277 volts, 347 volts
 On/Off control, 0-10V dimming, DMX dimming, DMX/RDM enabled, DM to DMX via 120V (170K to 2200K), DM to DM to Warm via single-channel DMX/RDM (2700K to 2200K)

Features

Color and Color Temperature

2200K, 2700K, 3000K, 3500K, 4000K, 5000K, Dynamic warm white (2200K to 3000K), Dynamic white (2700K to 4500K), Additive RGB + white 3000K, Additive RGB + white 4000K

Distributions

Symmetric 120

Warranty

5-year limited warranty

Performance

Color Rendering

CRi 70+ , CRi 80+

Lumen Maintenance

L70 120,000hrs (to 25°C [77°F])

Physical









Mounting Material

Aluminum

Lens Material

Moulded white and UV stabilized acrylic



Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	A	16	Lumenpulse	LOI HO-120-48-30K-60x60-TS0-XX-XX-ASL	Lumenfacade Inground	LED	3223	0.9	61.2
	B	8	Lumenpulse	ELMB20-RO-120/277-40K-CRI80-S120-O-O-NO	Element ELMB20	LED	1183	0.9	21.21
	C	16	LumenWerx	V2SEALPD-EPDO-80-500-30-4FT	"LW20181203-02B-VIA2"	LED	2000	0.9	21.3
	D	6	Lumenpulse	ELMM30-RO-120/277-40K-CRI80-S120-O-O-NO	Element ELMM30	LED	642	0.9	20.86
	E	12	Lithonia Lighting	CNY LED P1 40K MVOLT	CNY LED Canopy P1=4,500lm	LED	4476	0.9	35.36
	F	10	Lithonia Lighting	LDN6 40/10 L06AR LSS	6IN LDN, 4000K, 1000LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRI80	LED	952	0.9	10.44
	G	8	Lithonia Lighting	LDN6 40/05 L06AR LSS	6IN LDN, 4000K, 500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRI80		529	1	5.83
	H	1	Hydrel	4415 LED WHT41K WFL	2-5/16"L X 49"W X 2-1/16" H. LINEAR FLOOD LUMINAIRE 24 COOL WHITE LEDS WITH WIDE FLOOD DISTRIBUTION CLEAR ACRYLIC LENS	Rebel WHT41 K WFL	705	0	13.63

Statistics						
Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
GARDEN COURTYARD	+	3.9 fc	22.2 fc	0.0 fc	N/A	N/A
Parking Ramp	+	2.6 fc	10.2 fc	0.0 fc	N/A	N/A
Property Line	+	0.9 fc	28.5 fc	0.0 fc	N/A	N/A
Brown Street Property Line	+	0.2 fc	1.2 fc	0.0 fc	N/A	N/A
Daines Street Property Line	+	0.1 fc	1.0 fc	0.0 fc	N/A	N/A

General Note

1. SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 6' - 0"
3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

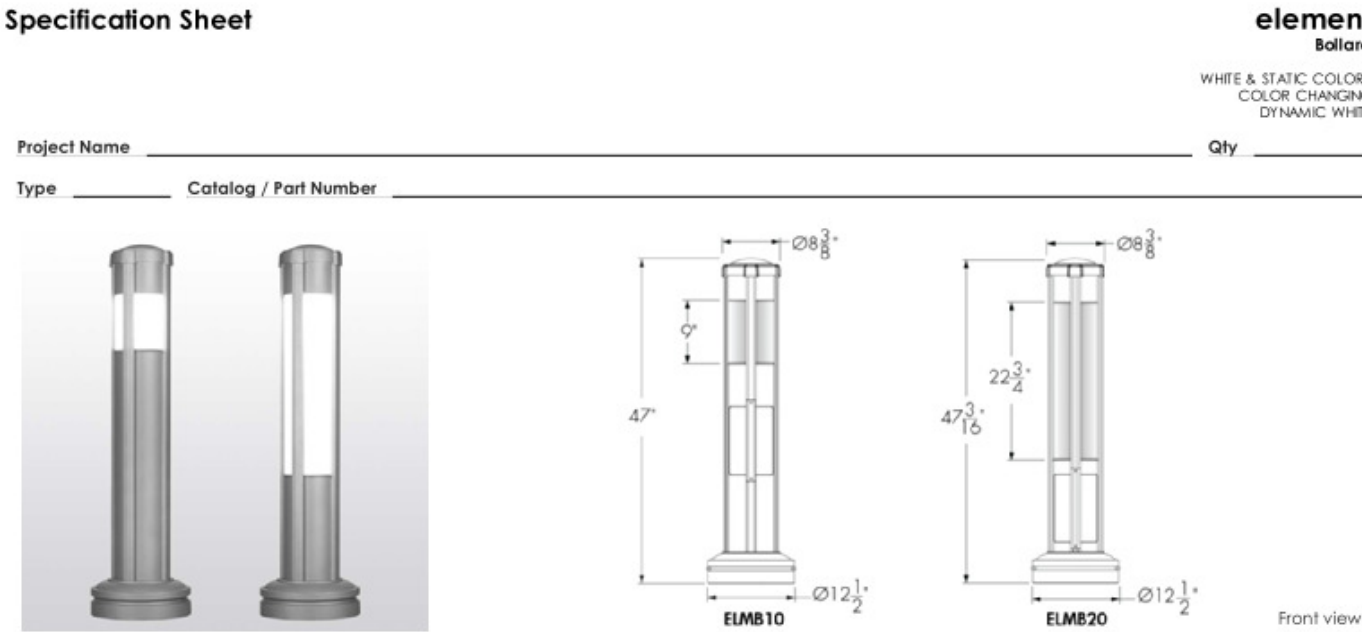
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

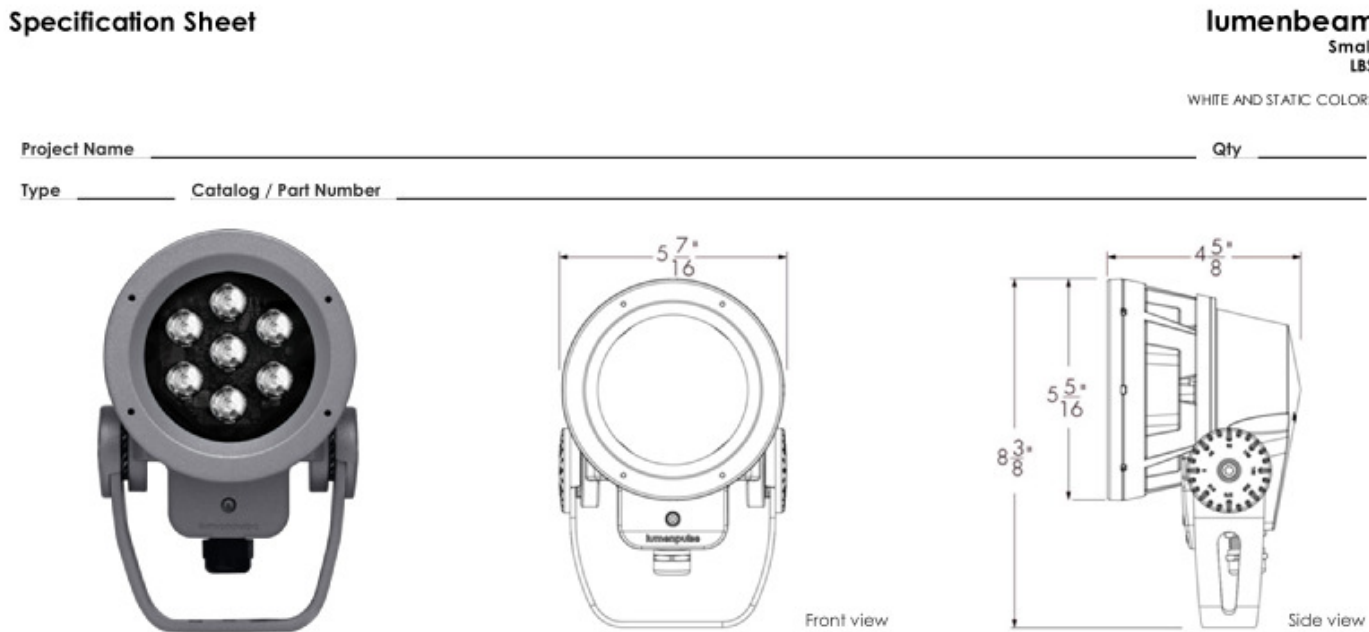
Specification Sheet



lumenpulse 1220 Marie-Victoria Blvd., Longueville, QC J4G 2H9 CA T United States 417.307.570 | Canada 1.877.937.3003 | 514.937.3003 F 514.937.4289
info@lumenpulse.com www.lumenpulse.com www.lumenpulse.com/products/2195

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info@lumenpulse.com www.lumenpulse.com www.lumenpulse.com/products/228

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DN - 827

Statistics						
Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
Rooftop	+	0.4 fc	1.7 fc	0.0 fc	N/A	N/A

General Note

- SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
- LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

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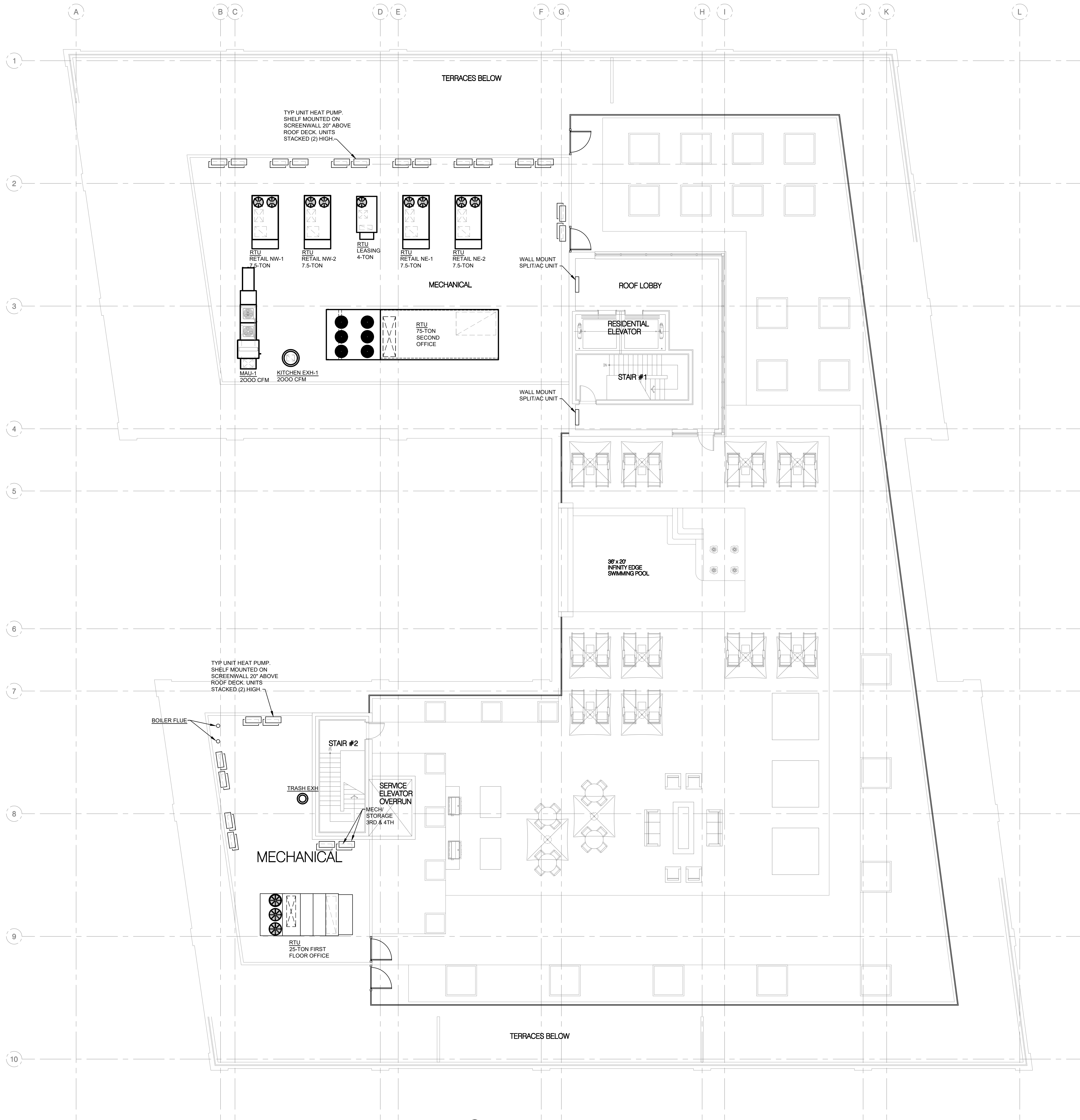
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
B	B	8	Lumenpulse	ELMB20-RO-120/277-40K-CRI80-S120-O-NO	Element ELMB20	LED	1183	0.9	21.21
F	F	32	Lumenpulse	LBS-120-40K-FL-XX-XX	Lumenbeam Small	LED	1053	0.9	15

BROWN STREET MIXED-USE ROOFTOP
PHOTOMETRIC PLAN
PREPARED FOR: SAROKI ARCHITECTURE
GASSER BUSH ARCHITECTS
WWW.GASSERBUSH.COM

Designer
DS
Date
02/03/2022
Scale
Not to Scale
Drawing No.
#22-70789 V1
1 of 1



ROOF - PLUMBING & MECHANICAL PLAN
SCALE: 1/8"=1'-0"

NOT FOR
CONSTRUCTION

Copyright © 2022
This document and the subject matter contained herein is proprietary and is not to be used or reproduced without the written permission of mechanical electrical engineering consultants pc.
This drawing is diagrammatic and should be used to determine the design intent. The contractor shall field verify all work and shall notify the architect immediately of any discrepancies in the documents before proceeding. Failure to do so will result in the contractor taking full responsibility and liability for said discrepancies.

project
**Brown Street /
Mixed Use**
Brown Street
Birmingham, MI 48009

client
**Saroki
Architecture**
430 N. Old Woodward
Birmingham, MI 48009

sheet title
**Roof - Plumbing &
Mechanical Plan**

drawn by
K.H.
checked by
J.K.

issued for/date
Schematic Design 2022-04-08

mec job no.
22-0006

sheet no.
PM105



Final Site Plan & Design Review Application Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

2. Property Owner

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

3. Applicant's Attorney/Contact Person

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

4. Project Designer/Developer

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
 - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
 - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
 - iii. A certified Land Survey;
 - iv. Interior floor plans;
 - v. A Landscape Plan;
 - vi. A Photometric Plan;
 - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

6. Project Information

Address/Location of the property: _____

Name of development: _____
Sidwell #: _____
Current Use: _____
Proposed Use: _____
Area of Site in Acres: _____
Current zoning: _____
Is the property located in the floodplain? _____
Name of Historic District Site is Located in: _____
Date of Historic District Commission Approval: _____

Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Application for Revised Final Site Plan: _____
Date of Revised Final Site Plan Approval: _____
Date of Design Review Board Approval: _____
Will proposed project require the division of platted lots? _____

Will proposed project require the combination of platted lots? _____

7. Details of the Proposed Development (attach separate sheet if necessary)

8. Buildings and Structures

Number of Buildings on Site: _____
Height of Buildings & # of Stories: _____

Use of Buildings: _____
Height of Rooftop Mechanical Equipment: _____

9. Floor Use and Area (in Square Feet)

Proposed Commercial Structures:

Total basement floor area: _____
Number of square feet per upper floor: _____
Total floor area: _____
Floor area ratio (total floor area ÷ total land area): _____
Open space: _____
Percent of open space: _____

Office Space: _____
Retail Space: _____
Industrial Space: _____
Assembly Space: _____
Seating Capacity: _____
Maximum Occupancy Load: _____

Proposed Residential Structures:

Total number of units: _____
Number of one bedroom units: _____
Number of two bedroom units: _____
Number of three bedroom units: _____
Open space: _____
Percent of open space: _____

Rental units or condominiums? _____
Size of one bedroom units: _____
Size of two bedroom units: _____
Size of three bedroom units: _____
Seating Capacity: _____
Maximum Occupancy Load: _____

Proposed Additions:

Total basement floor area, if any, of addition: _____
Number of floors to be added: _____
Square footage added per floor: _____
Total building floor area (including addition): _____
Floor area ratio (total floor area ÷ total land area): _____
Open Space: _____
Percent of open space: _____

Use of addition: _____
Height of addition: _____
Office space in addition: _____
Retail space in addition: _____
Industrial space in addition: _____
Assembly space in addition: _____
Maximum building occupancy load (including addition): _____

10. Required and Proposed Setbacks

Required front setback: _____
Required rear setback: _____
Required total side setback: _____
Side setback: _____

Proposed front setback: _____
Proposed rear setback: _____
Proposed total side setback: _____
Second side setback: _____

11. Required and Proposed Parking

Required number of parking spaces: _____
Typical angle of parking spaces: _____
Typical width of maneuvering lanes: _____
Location of parking on site: _____
Location of parking off site: _____
Number of light standards in parking area: _____
Screenwall material: _____

Proposed number of parking spaces: _____
Typical size of parking spaces: _____
Number of spaces <180 sq. ft.: _____
Number of handicap spaces: _____
Shared parking agreement? _____
Height of light standards in parking area: _____
Height of screenwall: _____

12. Landscaping

Location of landscape areas: _____

Proposed landscape material: _____

13. Streetscape

Sidewalk width: _____
Number of benches: _____
Number of planters: _____
Number of existing street trees: _____
Number of proposed street trees: _____
Streetscape Plan submitted? _____

Description of benches or planters: _____

Species of existing trees: _____

Species of proposed trees: _____

14. Loading

Required number of loading spaces: _____
Typical angle of loading spaces: _____
Screenwall material: _____
Location of loading spaces on site: _____

Proposed number of loading spaces: _____
Typical size of loading spaces: _____
Height of screenwall: _____
Typical time loading spaces are used: _____

15. Exterior Waste Receptacles

Required number of waste receptacles: _____
Location of waste receptacles: _____
Screenwall material: _____

Proposed number of waste receptacles: _____
Size of waste receptacles: _____
Height of screenwall: _____

16. Mechanical Equipment

Utilities and Transformers:

Number of ground mounted transformers: _____
Size of transformers (L•W•H): _____
Number of utility easements: _____
Screenwall material: _____

Location of all utilities & easements: _____

Height of screenwall: _____

Ground Mounted Mechanical Equipment:

Number of ground mounted units: _____
Size of ground mounted units (L•W•H): _____
Screenwall material: _____

Location of all ground mounted units: _____

Height of screenwall: _____

Rooftop Mechanical Equipment:

Number of rooftop units: _____
Type of rooftop units: _____

Screenwall material: _____
Location of screenwall: _____

Location of all rooftop units: _____
Size of rooftop units (L•W•H): _____
Percentage of rooftop covered by mechanical units: _____
Height of screenwall: _____
Distance from rooftop units to all screenwalls: _____

17. Accessory Buildings

Number of accessory buildings: _____
Location of accessory buildings: _____

Size of accessory buildings: _____
Height of accessory buildings: _____

18. Building Lighting

Number of light standards on building: _____
Size of light fixtures (L•W•H): _____

Type of light standards on building: _____

Height from grade: _____

Maximum wattage per fixture: _____
Light level at each property line: _____

Proposed wattage per fixture: _____

19. Site Lighting

Number of light fixtures: _____
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light fixtures: _____
Height from grade: _____
Proposed wattage per fixture: _____
Holiday tree lighting receptacles: _____

20. Adjacent Properties

Number of properties within 200 ft.: _____

Property #1

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #2

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #3

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #4

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #5

Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

North, south, east or west of property? _____

Property #6


Number of buildings on site: _____
Zoning district: _____
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: _____

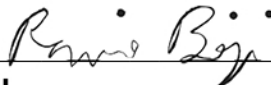
North, south, east or west of property? _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner:  Date: 3/28/2022

Print Name: TROTT PROPERTIES 294, LLC

Signature of Applicant:  Date: 3/28/2022

Print Name: RON BOJI

Signature of Architect:  Date: 3/28/2022

Print Name: VICTOR SAROKI

Office Use Only

Application #: _____ Date Received: _____ Fee: _____

Date of Approval: _____ Date of Denial: _____ Accepted by: _____



FINAL SITE PLAN & DESIGN REVIEW APPLICATION CHECKLIST - PLANNING DIVISION

Applicant: _____ Case #: _____ Date: _____

Address: _____ Project: _____

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

Final Site Plan

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ___ 1. Name and address of applicant and proof of ownership;
- ___ 2. Name of Development (if applicable);
- ___ 3. Address of site and legal description of the real estate;
- ___ 4. Name and address of the land surveyor;
- ___ 5. Legend and notes, including a graphic scale, north point, and date;
- ___ 6. A separate location map;
- ___ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ___ 8. Aerial photographs of the subject site and surrounding properties;
- ___ 9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
- ___ 10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
- ___ 11. Interior floor plans;
- ___ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");

- ___ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ___ 14. Existing and proposed utilities and easements and their purpose;
- ___ 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- ___ 16. General description, location, and types of structures on site;
- ___ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- ___ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- ___ 19. Elevation drawings showing proposed design;
- ___ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- ___ 21. Location of all exterior lighting fixtures;
- ___ 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- ___ 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- ___ 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

Elevation Drawings

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ___ 25. Color elevation drawings showing the proposed design for each façade of the building;
- ___ 26. List of all materials to be used for the building, marked on the elevation drawings;
- ___ 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- ___ 28. Details of existing or proposed lighting, signage and other pertinent development features;
- ___ 29. A list of any requested design changes;
- ___ 30. Itemized list and specification sheets of all materials, light fixtures, and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- ___ 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- ___ 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.




CONSENT OF PROPERTY OWNER

I, TROTT PROPERTIES 294, LLC, OF THE STATE OF MICHIGAN AND
(Name of Property Owner)
COUNTY OF OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 294 E BROWN STREET;
(Address of Affected Property)
2. That I have read and examined the Application for Final Site Plan & Design Review made to the City of
Birmingham by: Boji Group;
(Name of Applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of
Birmingham.

Name of Owner (Printed): TROTT PROPERTIES 294, LLC

Signature of Owner:  Date: 3/28/2022

OAKLAND COUNTY TREASURERS CERTIFICATE
THEREBY CERTIFY that there are no TAX LIENS or TITLES
held by the state or any individual against the within description
and all TAXES on same are paid for five years previous to the
date of this instrument as appears by the records in the office
except as stated.

JAN 12 2010

ANDREW E. MEISNER, County Treasurer
Sec. 135, Act 206, 1893 as amended

1.00

000525

LIBER 41771 PG 326

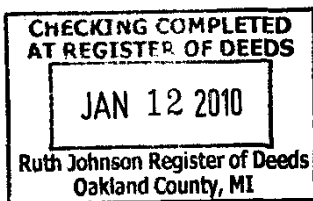
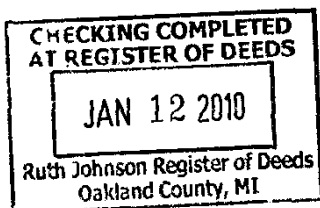
7760
LIBER 41771 PAGE 326
\$19.00 DEED - COMBINED
\$4.00 REMONUMENTATION
01/15/2010 08:17:17 A.M. RECEIPT# 3767

PAID RECORDED - OAKLAND COUNTY
RUTH JOHNSON, CLERK/REGISTER OF DEEDS

WARRANTY DEED

The Grantor, **DDJ - BIRMINGHAM, LLC**, a Delaware limited liability company
("Grantor"),
whose address is 1148 Alpine Road, Walnut Creek, CA 94596,
Conveys and Warrants to **TROTT PROPERTIES 294, LLC**, a Michigan limited liability company
("Grantee"),
whose address is 31440 Northwestern Highway, Farmington Hills, MI 48334,
the premises situated in the City of Birmingham, County of Oakland, State of Michigan, described in
Exhibit A attached hereto and incorporated herein by reference, together with all and singular tenements,
hereditaments, improvements, appurtenances and easements benefiting the said premises, for the sum of
Ten Dollars (\$10.00) and other good and valuable consideration (see Real Estate Transfer Tax Valuation
Affidavit), the receipt and sufficiency of which are hereby acknowledged, subject only to those matters
described in Exhibit B attached hereto and incorporated herein by reference.
Grantor grants Grantee the right to make all permitted divisions under Section 108 of the Land Divisions
Act, Act No. 288 of the Public Acts of 1967.

Dated as of December 30, 2009.



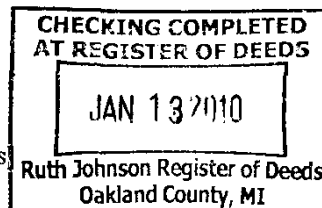
GRANTOR:

DDJ - BIRMINGHAM, LLC,
a Delaware limited liability company

By:


Robert Dailey, Managing Member

[Notary Page Follows]



RECEIVED
OAKLAND COUNTY
REGISTER OF DEEDS
2010 JAN 12 PM 12:34

4P
ST

382325 sr

23+1

O.K. - A.N.

1840717

REVERSE TO BE AFFIXED AFTER RECORDING

JAN - 7 2010

4/23

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California

County of Contra Costa }On 12/29/09 before me, Christine M. Johnson Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Robert Dailey
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Place Notary Seal Above

Signature

Signature of Notary Public

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached DocumentTitle or Type of Document: Warranty DeedDocument Date: -Number of Pages: -Signer(s) Other Than Named Above: -**Capacity(ies) Claimed by Signer(s)**Signer's Name: Robert Dailey

- ☐ Individual
☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General
☐ Attorney in Fact
☐ Trustee
☐ Guardian or Conservator

☒ Other: managing member

Signer Is Representing: _____

RIGHT THUMBPRINT
OF SIGNER

Top of thumb here



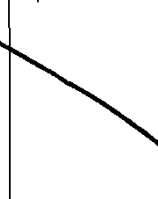
Signer's Name: _____

- ☐ Individual
☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General
☐ Attorney in Fact
☐ Trustee
☐ Guardian or Conservator
☐ Other: _____

Signer Is Representing: _____

RIGHT THUMBPRINT
OF SIGNER

Top of thumb here



LIBER 41771 PG 328

EXHIBIT A
Legal Description

The land referred to in this document is described as follows:

Land in the City of Birmingham, County of Oakland, State of Michigan, to-wit:

City of Birmingham

Tax Rolls Description:

The Northeasterly 1/2 of Lot 11 and the Southwesterly 1/2 of Lot 12, Brown's Addition, as recorded in Liber 3, Page 8 of Plats, Oakland County Records, also Lot 15 and the Northeasterly 1/2 of Lot 16 of Brown's Addition No. 1, as recorded in Liber 3, Page 8, Oakland County Records, also all of vacated Ann Street adjacent to the same.

Record Description:

Parcel 1:

The East 1/2 of Lot 11, Brown's Addition to the City of Birmingham and the East 1/2 of Lot 16 of Brown's Addition No. 1, in the City of Birmingham, Oakland County, Michigan, as recorded in Liber 3 of Plats, Page 8, Oakland County Records, including the vacated West 20 feet of Ann Street adjoining Lot 11 and the vacated West 19 feet of Ann Street adjoining Lot 16.

Parcel II:

The West 1/2 of Lot 12 of Brown's Addition to the Village (now City) of Birmingham, of part of the West 1/2 of the Northeast 1/4 of Section 36, Town 2 North, Range 10 East, Township of Bloomfield (now City of Birmingham), Oakland County, Michigan, as recorded in Liber 3, Page 8 of Plats, Oakland County Records; also Lot 15, Addition to William Brown's Addition No. 1, being a part of the West 1/2 of the Northeast 1/4 of Section 36, Town 2 North, Range 10 East, according to the plat thereof as recorded in Liber 3, Page 8 of Plats, Oakland County Records, including vacated 20 feet of Ann Street, adjoining the Westerly side of Lot 12 and vacated 21 feet of Ann Street adjoining the Westerly side of Lot 15.

More commonly known as: 294 East Brown Street, Birmingham, MI

Tax Item No. 19-36-204-021

LIBER 41771 PG 29

EXHIBIT B

Permitted Exceptions

1. Liens for real estate taxes which are not yet due and payable.
2. Terms of the Resolution of the Birmingham City Commission recorded in Liber 21398, Page 287, Oakland County Records, vacating the remaining 10 foot portion of Ann Street and the 40 foot wide easement between Brown and Daines Streets.

Return to:
Trott Properties 294, LLC.
31440 Northwestern Highway
Farmington Hills, MI 48334



Aerial Photograph



Aerial Photograph - E. Brown Street & S. Old Woodward Avenue



Aerial Photograph - Daines Street & S. Old Woodward Avenue



Aerial Photograph - Daines Street & S. Old Woodward Avenue



COMMERCIAL SILK

PRODUCT DATA SHEET

LIRIOPE GRASS



R E  C O N N E C T

SPECIFICATIONS

PRODUCT ID#	LRO+T22P
SIZE	22"
FOLIAGE	Plastic
RESISTANCE	 Weather-resistant PermaLeaf® materials available.
COLORS	Green, Purple

Copyright© Plantscape Commercial Silk. This document is the property of Plantscape Commercial Silk and is intended for the exclusive viewing of the named recipient. Any disclosure, copying, distribution, or use of the contents is strictly prohibited. These materials are for illustration purposes only and the actual product may vary in size and/or color.


PRODUCT DATA SHEET

PAPER BIRCH TREE

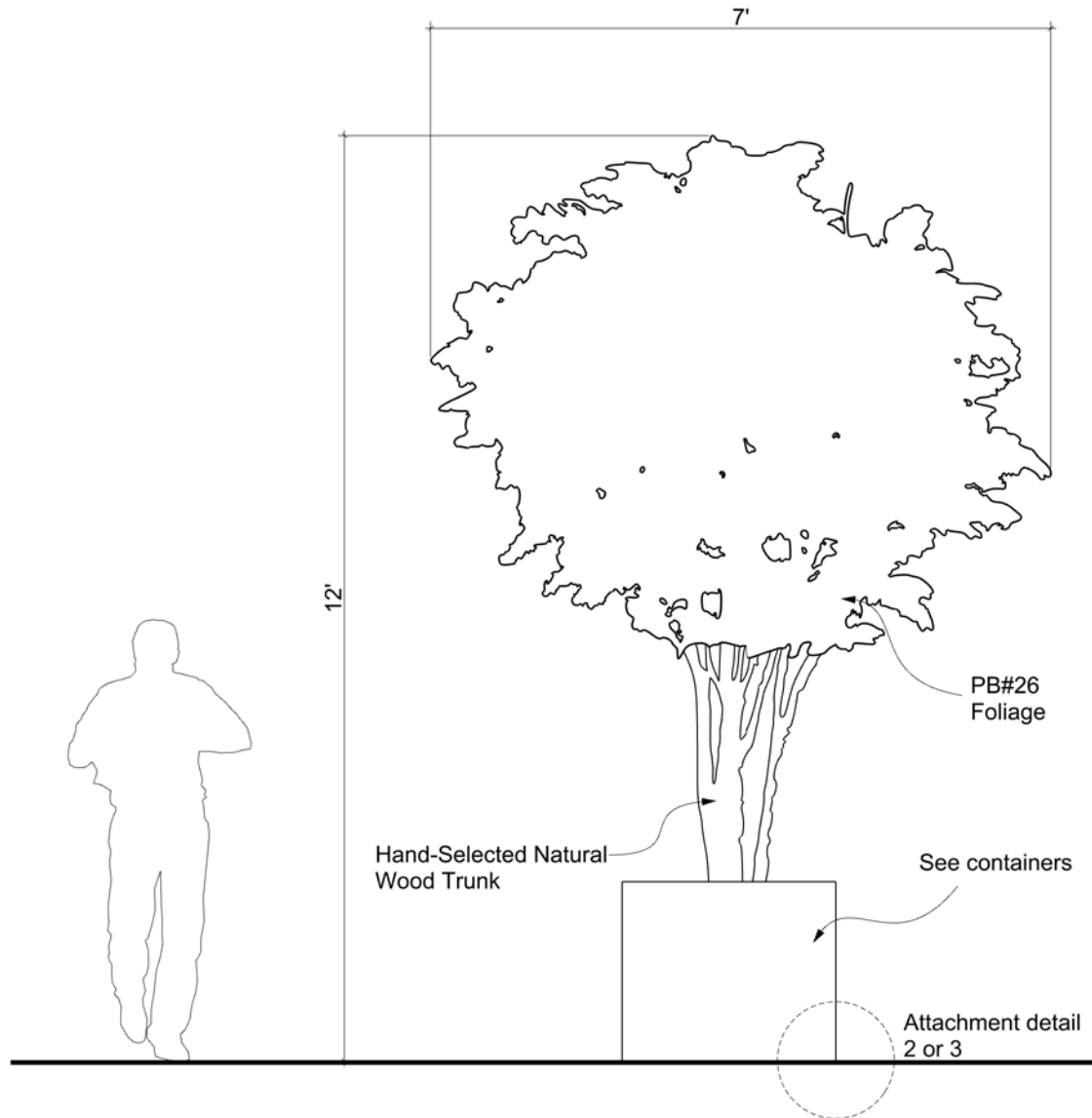


R E  C O N N E C T

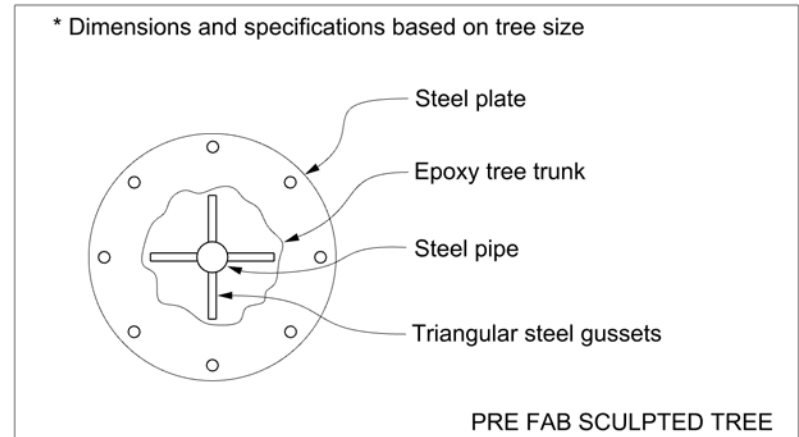
SPECIFICATIONS

PRODUCT ID#	PBCMX2
SIZE	4'-26'
TRUNK	Wood
FOLIAGE	Polyester
RESISTANCE	 Fire-retardant ThermoLeaf® materials available.
COLORS	Green

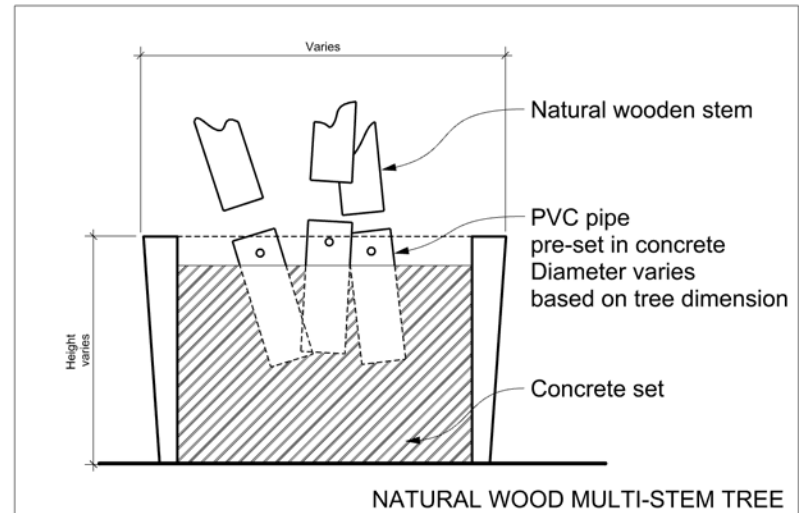
SITE CONDITIONS TREE ATTACHMENT OPTIONS



1 FRONT VIEW



2 STEEL BOLTED TO CONCRETE DECK
PRE-FAB SCULPTED TREE



3 FREE STANDING CONCRETE FILLED CONTAINER

CUSTOM SIZING AND THICKNESS AVAILABLE
CUSTOM COLORS AND DESIGNS AVAILABLE
MULTIPLE ATTACHMENT SYSTEM OPPORTUNITIES



PROJECT: PAPER BIRCH TREE

SCALED AS NOTED

ALL DIMENSIONS + / - $\frac{1}{16}$

DATE: 06/19/2021
JOB#: PBCMX2

SHEET
1.1
OF 1.1



Plantscape Paper Birch Tree
Installation Photos



Product Specification Sheet

Cashmere-52

USES:

Lawns
Playgrounds
Pet Areas
Commercial or Residential
Light-Medium Traffic
Sports

SPECIFICATIONS:

Pile Height: 2"
Turf Gauge: 3/8"
Face Weight: 52 oz./yd²
Backing Weight: 21 oz./yd²
Total Weight: 73 oz./yd²
Stitch Rate: 14/10cm
Stitches/m²: 14,700
Material/Dtex: PE 7000 + PP 4000
Color: Field Green and Olive Green
Type of Fiber: PE Monofilament and PP
Curled Thatch



TECHNICAL

GLASS GUIDE

30

ENGINEERING THE FUTURE OF GLASS

CARDINAL 
Glass Industries

Energy Terminology

Center of Glass

Values that do not take into account the effects of the window frame or sash. Center of Glass values are the properties of the glass or insulating glass unit only.

Condensation Resistance

(CR) measures how well a window resists the formation of condensation on the inside surface. CR is expressed as a number between 1 and 100. The rating value is based on interior surface temperatures at 30%, 50% and 70% indoor relative humidity for a given outside air temperature of 0 ° Fahrenheit under 15 mph wind conditions. The higher the number, the better a product is able to resist condensation. CR is meant to compare products and their potential for condensation formation.

ISO-CIE Function

A method for calculating damage-weighted transmittance developed by the International Standards Organization (ISO), which uses a weighting function recommended by the International Commission on Illumination (CIE). This method assigns a specific damage weighted transmittance to each wavelength of UV and visible light according to its contribution to the fading of materials and fabrics. Its spectral range is from 300 to about 700 nm.

Outdoor Visible Light Reflectance

In the visible spectrum, the percentage of light that is reflected from the glass surface(s) relative to the CIE Standard Observer.

Relative-Heat Gain (RHG)

The total amount of heat gain through a glazing system at NFRC (National Fenestration Rating Council) and ASHRAE (American Society of Heating, Refrigerating and Air-Conditioning Engineers) specified summer conditions, incorporating the U-Factor and the solar heat gain coefficient (SHGC). The conditions are 230 BTU/hr/ft² (726 W/m²) outdoor temperature of 89 °F (32 °C), indoor temperature of 75 °F (24 °C) and 6.2 mph (2.8 m/s) wind ($RHG = U_{summer} \times (89 - 75) + SHGC \times (230)$). Expressed in terms of BTU/hr/ft².

R-Value

The thermal resistance of a glazing system expressed in hr•ft²•°F/BTU. R-Value is the reciprocal of U-Factor, $R=1/U$. The higher the R-Value, the less heat is transmitted through the glazing material. R-Values are not listed in this document.

Sightline

The area of the IGU that is not transparent due to the presence of the spacer and sealants.

Glass Surfaces

The industry convention is to label the outermost, outdoors-facing surface as #1 and then work sequentially toward the final indoors-facing surface.

Solar Radiation Reflected

In the solar spectrum (300 to 2,500 nm), the percentage of solar energy that is reflected from the glass surface(s).

Solar Radiation Transmitted

In the solar spectrum (300 to 2500 nm), the percentage of ultraviolet, visible and near infrared energy that is transmitted through the glass.

Solar Heat Gain Coefficient (SHGC)

The fraction of incident solar radiation that enters a building as heat. It is based on the sum of the solar energy transmittance, plus the inwardly flowing fraction of absorbed solar energy on all lites of the glazing.

Dimensionless and varying between 0 and 1, the smaller the number, the better the glazing is at preventing solar gain.

U-Factor

The heat flow rate through a given construction, expressed in BTU/hr/ft²/°F (W/m²/°C). The lower the U-Factor, the less heat is transmitted through the glazing material. Values given for summer day-time are calculated for outside air temperature at 89 °F (32 °C), outside air velocity at 6.2 mph (2.8 m/s), and inside air temperature of 75 °F (24 °C), and a solar intensity of 248 BTU/hr/ft² (783 W/m²). Winter nighttime U-Factors are calculated for outside air temperature at 0 °F (-18 °C), outside air velocity at 12.3 mph (5.5 m/s) and a solar intensity of 0 BTU/hr/ft² (0 W/m²). Unless otherwise noted, all U-factors provided use winter nighttime conditions.

Ultraviolet Light

In a portion of the solar spectrum (300 to 380 nm), the energy that accounts for the majority of fading of materials and furnishings.

Visible Indoor Reflectance

The percentage of visible light that is reflected from the glass surface(s) to the inside of the building. It is better to have a low visible indoor reflectance to enhance visibility when viewing objects outdoors in overcast or nighttime sky conditions.

Visible Light Transmittance

In the visible spectrum (380 to 780 nm), the percentage of light that is transmitted through the glass relative to the CIE Standard Observer.

U.S. CUSTOMARY TO METRIC CONVERSION TABLE		
To Convert U.S. Customary Units	To Metric	Multiply By
Inches (in)	Millimeters (mm)	25.4
Feet (ft)	Meters (m)	0.305
Square inches (in²)	Square millimeters (mm²)	645
Square feet (ft²)	Square meters (m²)	0.093
Pounds (lb)	Kilograms (kg)	0.453
Pounds force (lbf)	Newtons (N)	4.45
Pounds force/in (lbf/in)	Newtons/meter (N/m)	175
Pounds force/inch² (lbf/in²)	Kilopascals (kPa)	6.89
Pounds force/feet² (lbf/ft²)	Kilopascals (kPa)	0.048
BTU/hr	Watts (W)	0.293
BTU/hr-ft²-°F	W/m²-°C	5.678
BTU/hr-ft²	W/m²	3.15

Figure 2-1

Optical Properties of IG Units

The Optical Properties data shown below can be used to compare performance data on the insulating glass constructions listed.

The visible data given below indicate the amount of visible light transmitted and reflected by the insulating glass construction relative to the CIE Standard Observer.

Solar heat gain coefficient (SHGC) data points indicate the amount of solar gain obtained with the insulating glass construction. The lower the SHGC value,

the better the product is at reducing solar gain, resulting in greater summer comfort and reduced cooling costs.

OPTICAL PROPERTIES OF INSULATING GLASS UNITS - DOUBLE PANE								
IG Configuration Outboard Lite / Inboard Lite	Glass Thickness		Visible Light			Fading		SHGC
	inches	mm	Trans. (%)	Refl. Out (%)	Refl. In (%)	UV Trans. (300 to 380 nm)	ISO-CIE Trans. (300 to 700 nm)	
Clear / Clear	1/8	3.0	82	15	15	58%	75%	0.78
	1/4	5.7	80	15	15	48%	70%	0.72
Clear / LoE-180®	1/8	3.0	79	15	15	29%	63%	0.69
	1/4	5.7	77	14	15	24%	60%	0.64
Clear / LoE-180 ESC™	1/8	3.0	79	15	15	25%	61%	0.71
	1/4	5.7	77	14	15	21%	59%	0.62
Clear / LoE-Di89™ (#3 & #4)	1/8	3.0	79	14	14	53%	70%	0.71
	1/4	5.7	76	14	13	44%	66%	0.66
LoE²-272® / Clear	1/8	3.0	72	11	12	16%	55%	0.41
	1/4	5.7	70	10	11	14%	53%	0.40
LoE²-270® / Clear	1/8	3.0	70	12	13	14%	52%	0.37
	1/4	5.7	68	12	12	13%	50%	0.36
LoE³-366® / Clear	1/8	3.0	65	11	12	5%	43%	0.27
	1/4	5.7	63	11	12	4%	41%	0.27
Quad LoE-452+™ / Clear	1/8	3.0	52	10	15	1%	33%	0.22
	1/4	5.7	51	9	15	1%	32%	0.22
LoE³-340® / Clear	1/8	3.0	39	11	13	2%	27%	0.18
	1/4	5.7	38	11	13	2%	26%	0.18
LoE²-240® / Clear	1/8	3.0	40	14	11	16%	35%	0.25
	1/4	5.7	37	13	10	13%	32%	0.24
LoE-180® / LoE-i89® (#4)	1/8	3.0	77	15	14	27%	61%	0.62
	1/4	5.7	75	15	13	23%	58%	0.58
LoE²-272® / LoE-i89® (#4)	1/8	3.0	70	11	11	16%	53%	0.41
	1/4	5.7	68	10	11	14%	51%	0.39
LoE²-270® / LoE-i89® (#4)	1/8	3.0	68	12	13	14%	50%	0.36
	1/4	5.7	66	12	12	12%	48%	0.35
LoE³-366® / LoE-i89® (#4)	1/8	3.0	63	11	12	5%	42%	0.27
	1/4	5.7	61	11	11	4%	40%	0.26
Quad LoE-452+™ / LoE-i89® (#4)	1/8	3.0	51	10	14	1%	32%	0.21
	1/4	5.7	50	9	14	1%	31%	0.21
LoE³-340® / LoE-i89® (#4)	1/8	3.0	38	11	12	2%	26%	0.17
	1/4	5.7	37	11	12	2%	25%	0.17
LoE²-240® / LoE-i89® (#4)	1/8	3.0	39	14	10	15%	34%	0.24
	1/4	5.7	37	13	9	13%	31%	0.23

1. Calculated values using LBNL Window computer program per NFRC environmental conditions.

2. Double-pane IG construction: 1/2" (13.0 mm) airspace, 90% argon filled for LoE products, otherwise air-filled cavity. Coatings on surfaces #2, #3 and/or #4.

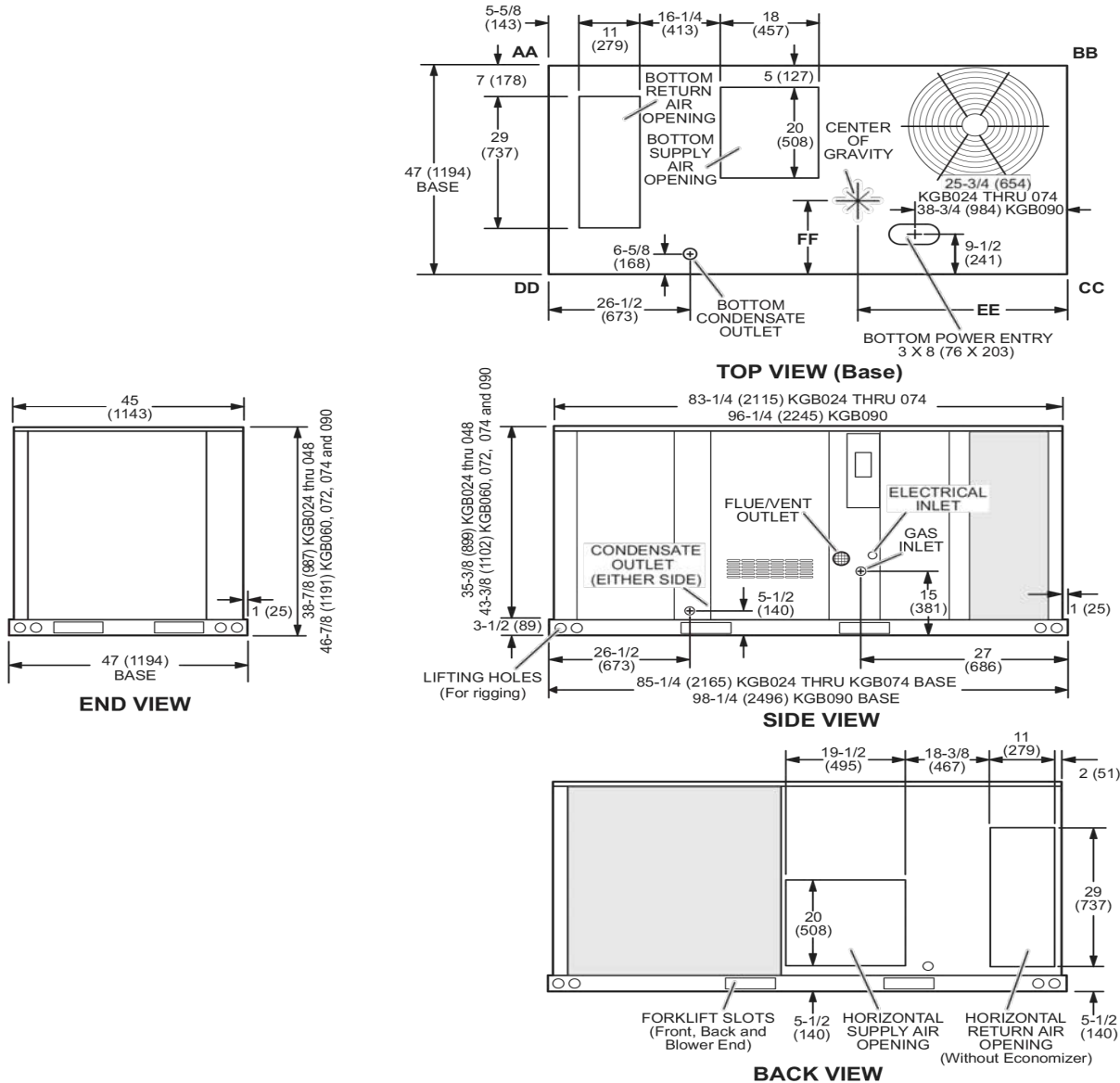
Figure 2-2



LOBBY RTU 4-TON

Project Submittal

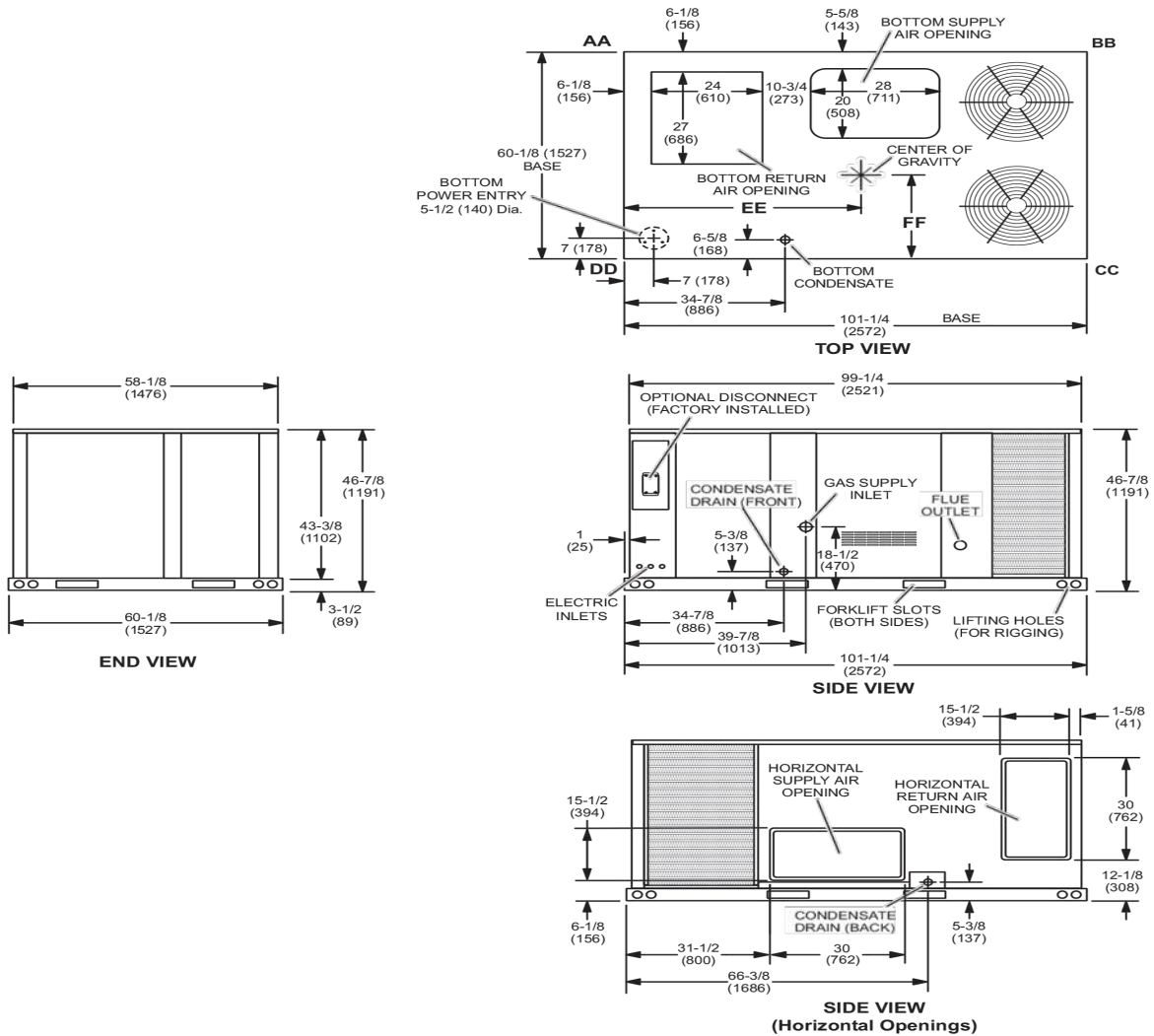
Corner Weights (lb)								Center of Gravity (in.)			
AA		BB		CC		DD		EE		FF	
Base	Max	Base	Max	Base	Max	Base	Max	Base	Max	Base	Max
112	145	130	144	168	194	145	233	39.50	45.00	20.50	20.00





Project Submittal

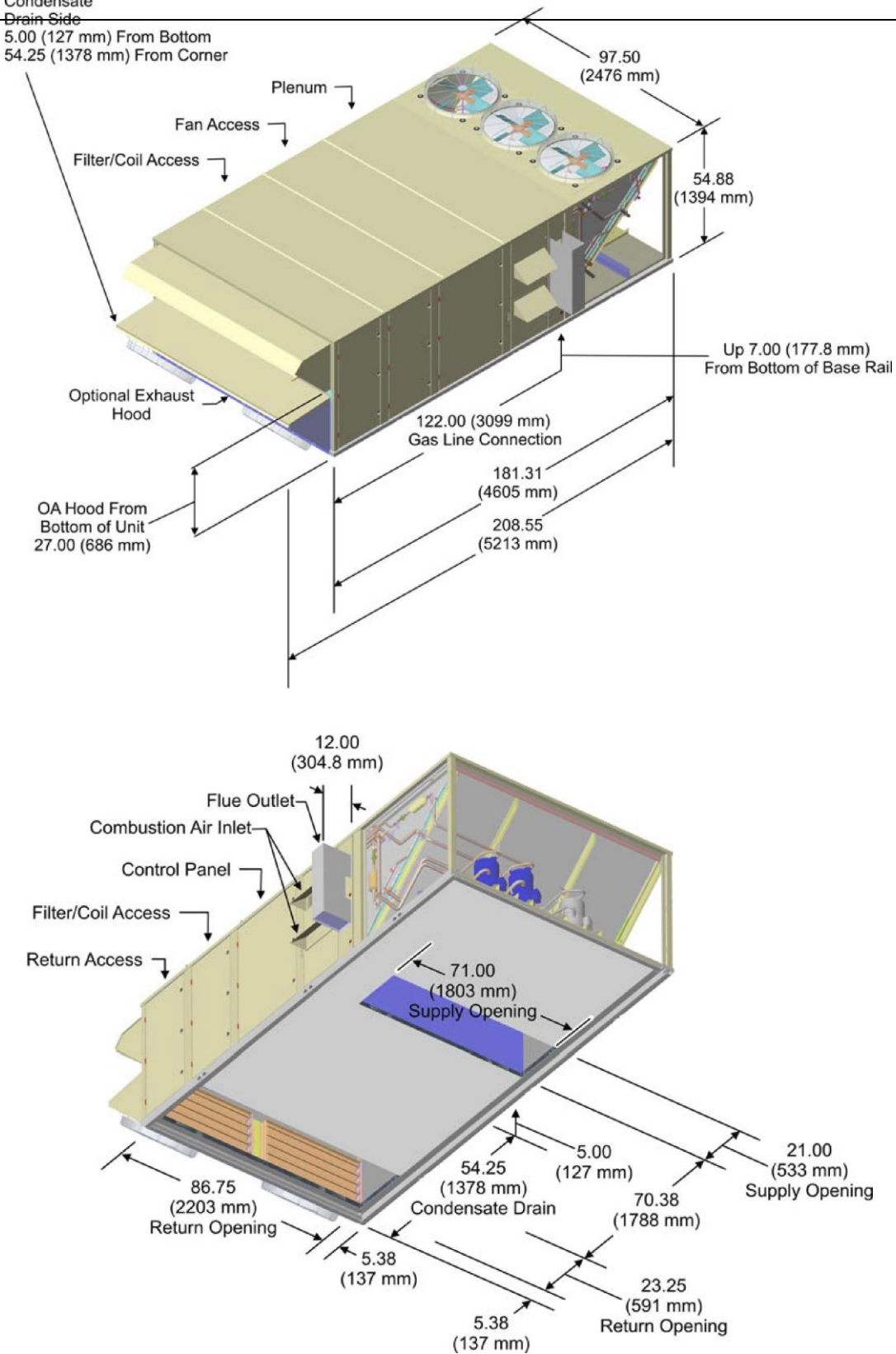
Corner Weights (lb)								Center of Gravity (in.)			
AA		BB		CC		DD		EE		FF	
Base	Max	Base	Max	Base	Max	Base	Max	Base	Max	Base	Max
236	325	201	264	218	278	264	353	44.50	43.50	24.50	25.50



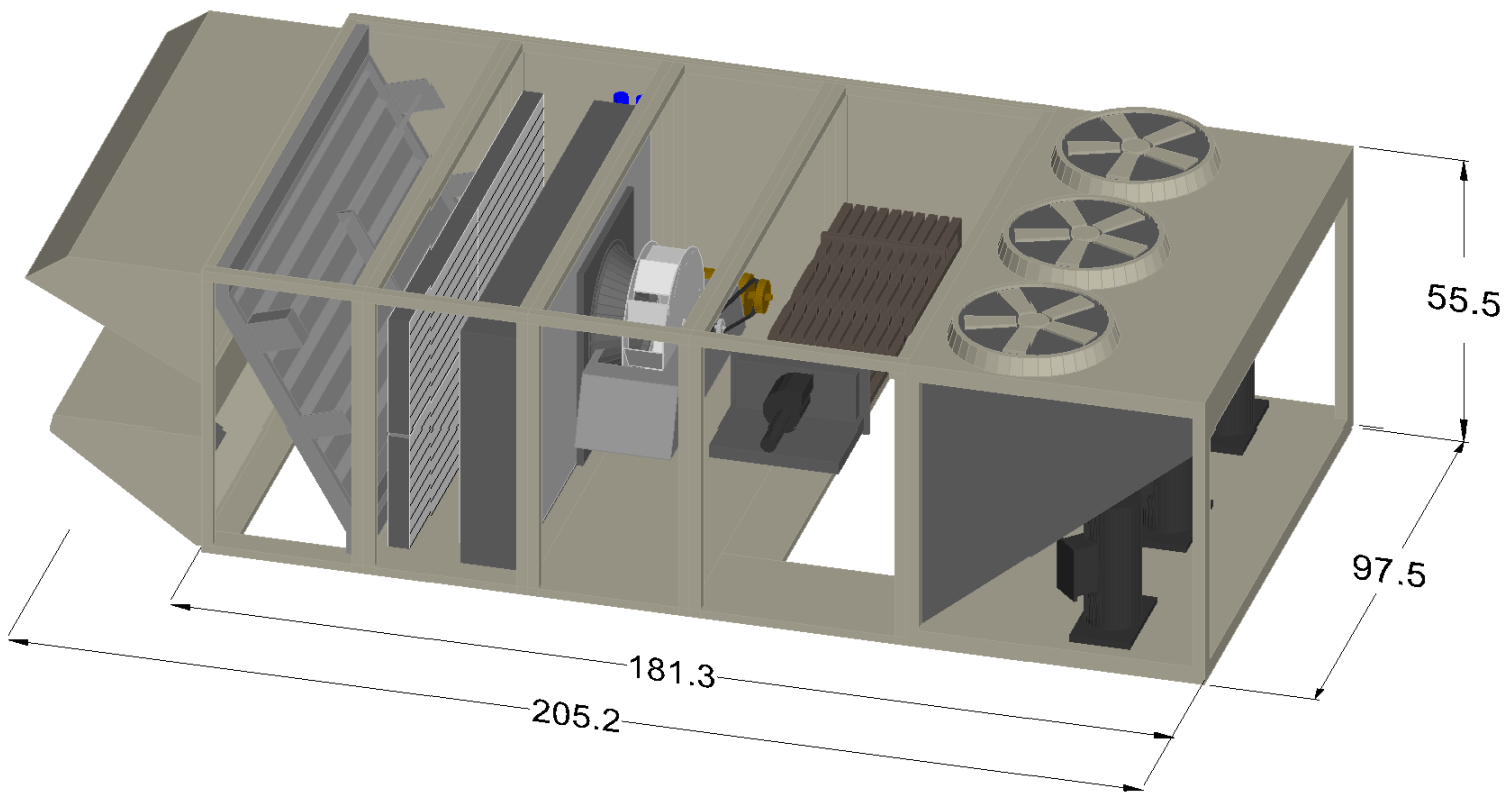
FIRST FLOOR OFFICE 25-TON RTU

MPS030-035A Gas heat_Drawing for 25 Ton RTU

No change to this drawing may be made unless approved in writing by Daikin Applied. Purchaser must determine that the equipment is fit and sufficient for the job specifications.



No change to this drawing may be made unless approved in writing by Daikin Applied. Purchaser must determine that the equipment is fit and sufficient for the job specifications.



Job Number:

V077D11

Job Name: Birmingham Mixed Use

Date:

1/1/2022

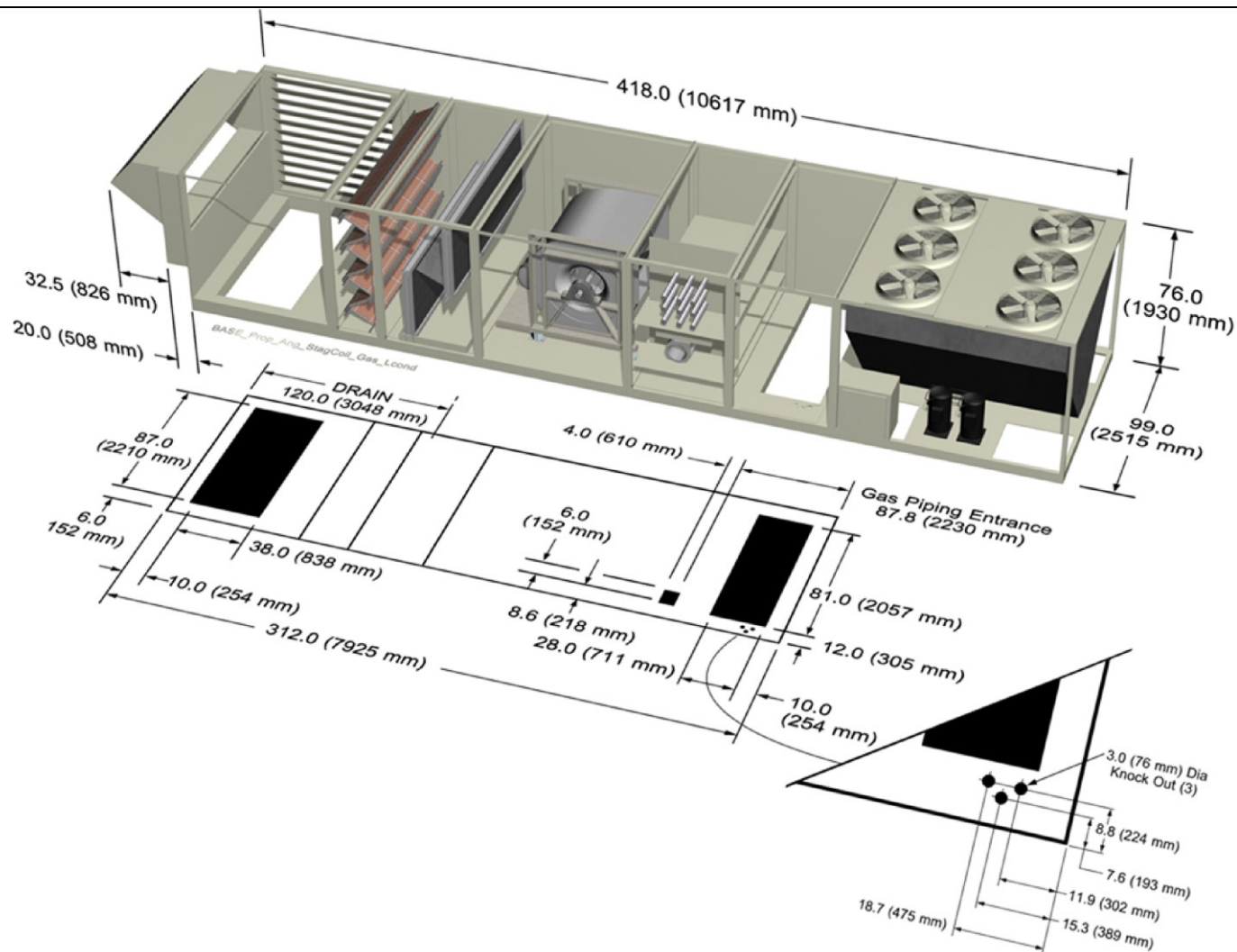
Prepared Date:

1/12/2022

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SECOND FLOOR OFFICE 70-TON RTU

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MPS-62-075E Prop Ang StagCoil Gas Lcond_Drawing for 70 Ton RTU

Job Number:

V077D11

Job Name:

Birmingham Mixed Use

Date:

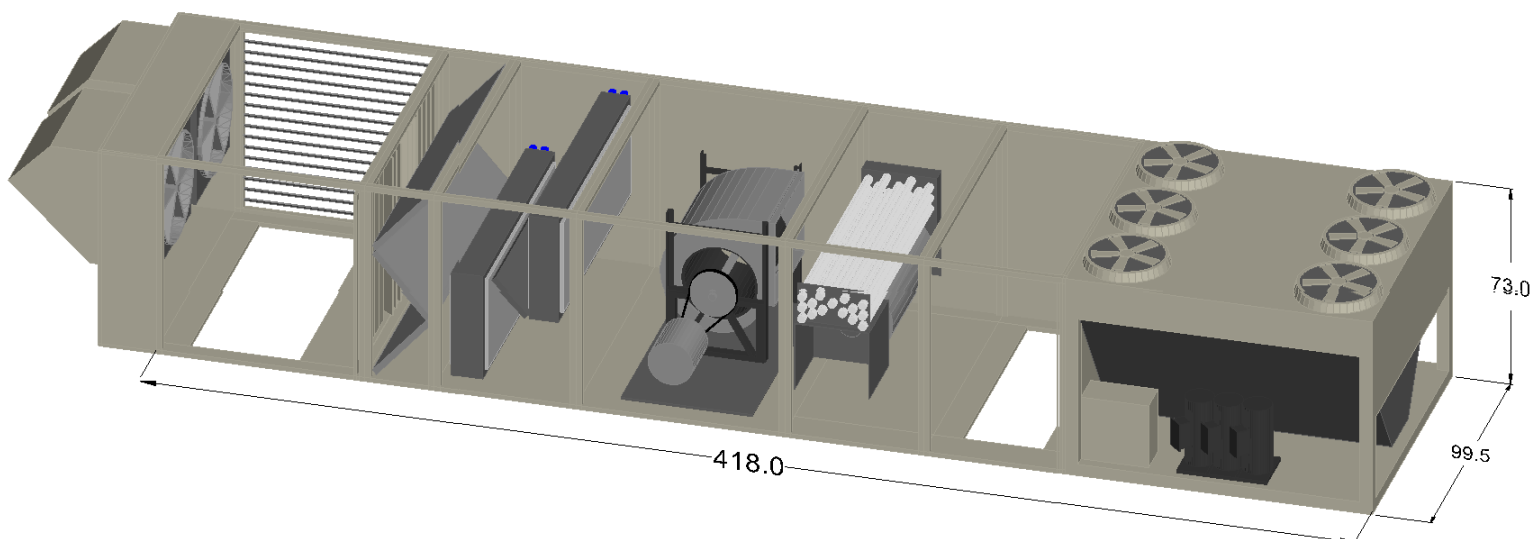
11 of 61

Prepared Date:

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1/12/2022

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Job Number:

V077D11

Birmingham Mivod 11ca

Date:

16 of 61

Prepared Date:

1/12/2022
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Inverter Driven Heat Pump

24,000 BTU Multi Position AHU

Job Name _____
 Location _____
 Engineer _____
 Submitted To _____
 Submitted By _____
 Reference _____

Date _____
 Approval _____
 Construction _____
 Unit No _____
 Drawing No _____

PRODUCT FEATURES

- Up to 1.0" WC
- 2-Wire Wired Remote Controls
- All Aluminum Coil
- Heating operation rated down to -5°F outdoor temperature.
- Long Lineset Lengths (up to 164')
- Integral Electric Heat Kit (Optional)



MODEL NUMBERS

Indoor Unit	AMUG24LMAS
Outdoor Unit	AOU24RGLX
System	24RGLXM

EFFICIENCIES

SEER	19.0
EER	12.0
HSPF	10.7
COP	3.20
	10.9

OUTDOOR TEMPERATURE OPERATION RANGE

Cooling	*F(°C)	-5 - 115 (-20 - 46)
Heating		-5 - 75 (-20 - 24)

CAPACITIES

Cooling	Rated	BTU/hW	24,000
	Min.—Max.		5,400 - 29,000
Heating	Rated		27,000
	Min.—Max.		5,400 - 32,400

LINESET REQUIREMENTS

Connection Method			Flare
Liquid	in (mm)		3/8
Gas			5/8
Pre-Charge Length	ft (m)		66 (20)
Minimum Length			16 (5)
Maximum Length			164 (50)
Max. Height Diff.			98 (30)

INDOOR DIMENSIONS & WEIGHT

Net (H x W x D)	in	42 8/16 x 21 x 21 11/16
	mm	1080 x 533 x 551
Gross (H x W x D)	in	42 12/16 x 24 x 25 5/16
	mm	1086 x 610 x 643
Net Weight	lb (kg)	104 (47)
Gross Weight		116 (52.5)

OUTDOOR DIMENSIONS & WEIGHT

Net (H x W x D)	in	32 11/16 x 35 7/16 x 13
	mm	830 x 900 x 330
Gross (H x W x D)	in	39 3/8 x 41 5/16 x 17 1/2
	mm	1000 x 1050 x 445
Net Weight	lb (kg)	134 (61)
Gross Weight		152 (69)

Warranty Information



7 Year Compressor, 5 Year Parts out-of-the-box Warranty



10 Year Compressor, 10 Year Parts Warranty when registered within 60 days of installation in a residence



12 Year Compressor, 12 Year Parts Warranty when registered within 60 days of installation in a residence, and installed by a Fujitsu Elite contractor

ACCESSORIES

UTY-RNRUZ4	Wired Remote Control
UTY-RSRY	Simple Remote Control
UTY-LBTUM	IR receiver kit with wireless remote controller
UTY-TTRX	Third Party Thermostat Adapter
UTY-TFSXZ2	WiFi Module
UTY-XCSX	External Input and Output PCB
UTY-XSZX	Remote Sensor

Due to continuous product improvements, specifications are subject to change without notice. Please log in to the Fujitsu Portal for the most up-to-date documentation
<https://portal.fujitsugeneral.com>

Effective Date: 7/9/2020

Version 24RGLXM -2020A

Fujitsu General America, Inc. • 340 Changebridge Rd, Pine Brook, NJ 07058 • Toll Free: (888) 888-3424 • www.fujitsugeneral.com

Inverter Driven Heat Pump
24,000 BTU Multi Position AHU

FAN DATA					ELECTRICAL SPECIFICATIONS						
Indoor Unit Airflow Rate	Cooling	High	CFM (m3/h)	800	Voltage/Frequency/Phase			208-230V/60Hz/1			
		Medium		670	Voltage Range			187—253 V			
		Low		590	Current	Cooling	Rated	A	8.8		
		Quiet		310		Heating	Rated		10.9		
	Heating	High		800	Maximum Operating Current		Cooling		15.6		
		Medium		670			Heating		16.1		
		Low		590	Starting Current				9.6		
		Quiet		310	MCA				20.8		
Outdoor Unit Airflow Rate	Cooling		2,119 (3,600)	Maximum Circuit Breaker					30		
	Heating		2,119 (3,600)								
SOUND PRESSURE											
Indoor Unit	Cooling	High	dB (A)	40	Input Power	Cooling	Rated	kW			
		Medium		34			Min.—Max.		0.55 - 2.22		
		Low		32		Heating	Rated		2.48		
		Quiet		26			Min.—Max.		0.55 - 3.47		
	Heating	High		37	Power Factor	Cooling		%	98.8		
		Medium		33		Heating			98.9		
		Low		31	OTHER						
		Quiet		25	Moisture Removal		pints/h (L/h)	4.6 (2.2)			
Outdoor Unit	Cooling		53	Energy Star					No		
	Heating		55								
REFRIGERANT											
Type				410A	Drain hose	Material	PVC				
Charge	lb oz	4lb 10oz				Size	in (mm) Ø 3/4 (19) [O.D.]				
	g	2,100			Operation Range	Cooling	°F (°C)	64 to 90 (18 to 32)			
Oil Type	POE (RB68)			Static Pressure Range			%RH	80 or less			
					Heating	°F (°C)	60 to 86 (16 to 30)				
					in. WG	0-1.0					
					Pa	20-250					

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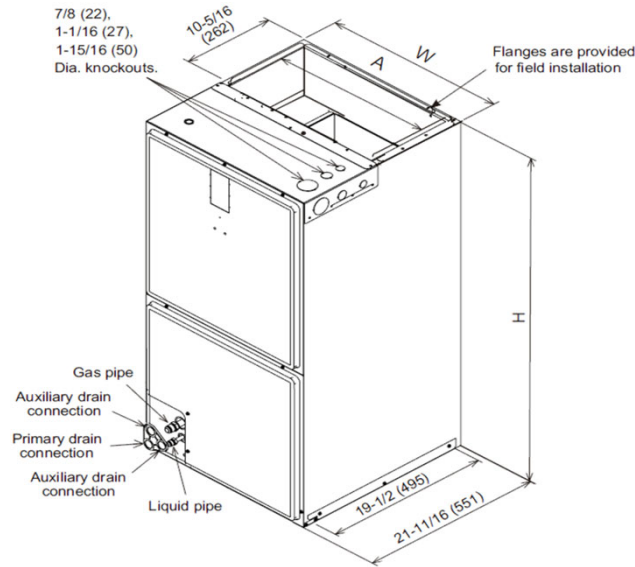
Note: Specifications are based on the following conditions:
Cooling: Indoor temperature of 80°F (26.7°C) DB/67°F (19.4°C) WB, and outdoor temperature of 95°F (35°C) DB/75°F (23.9°C) WB. Heating: Indoor temperature of 70°F (21.1°C) DB/60°F (15.6°C) WB, and outdoor temperature of 47°F (8.3°C) DB/43°F (6.1°C) WB. Pipe length: 25ft. (7.5m), Height difference: 0ft. (0m) (Outdoor unit – indoor unit).

Inverter Driven Heat Pump

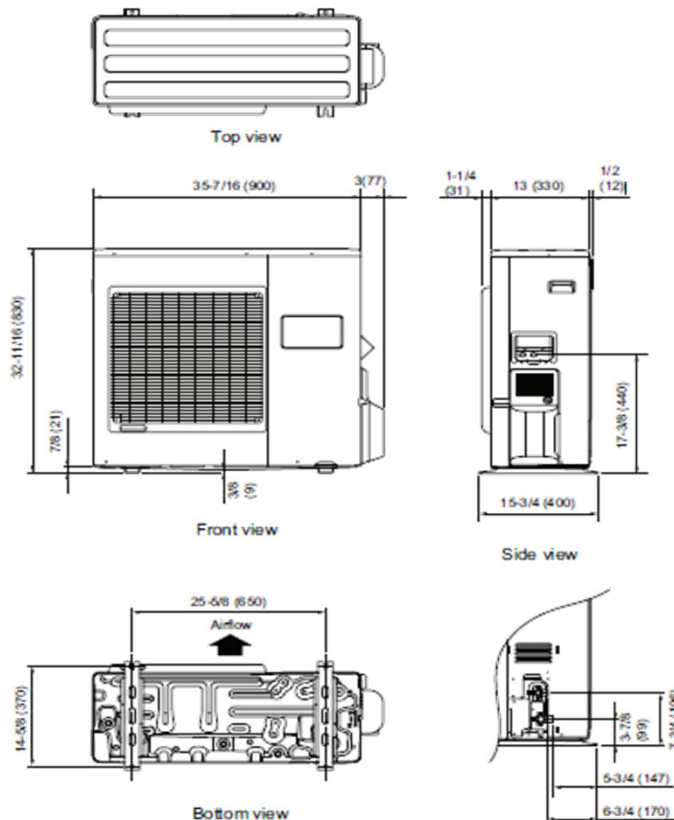
24,000 BTU Multi Position AHU

DIMENSIONS

Unit: in (mm)



Model	A (Supply duct)	W (Unit width)	H (Unit height)
AMUG24LMAS	19-1/2 (495)	21 (533)	42-1/2 (1,080)



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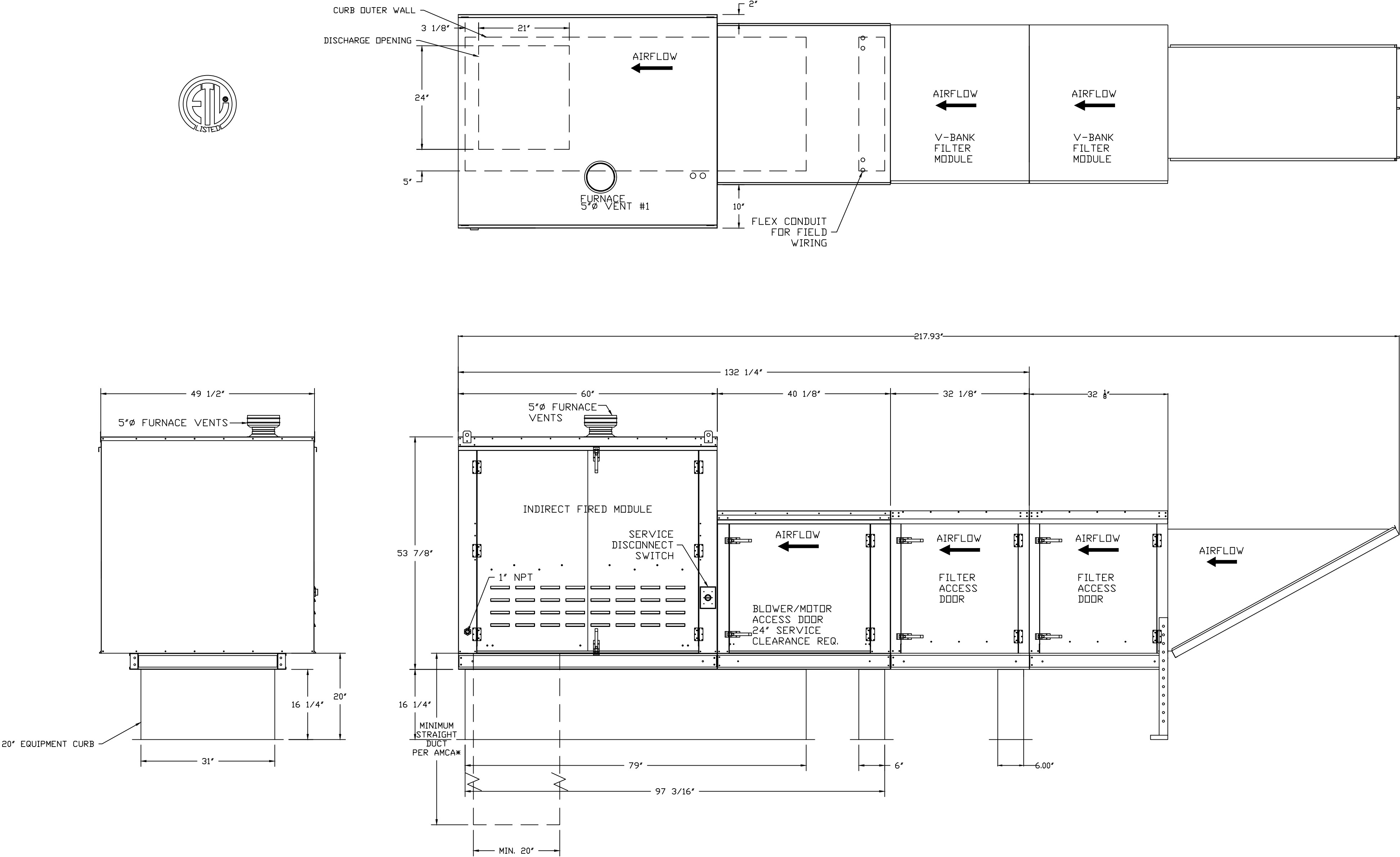
Note: Specifications are based on the following conditions:
Cooling: Indoor temperature of 80°F (26.7°C) DB/67°F (19.4°C) WB, and outdoor temperature of 95°F (35°C) DB/75°F (23.9°C) WB. Heating: Indoor temperature of 70°F (21.1°C) DB/60°F (15.6°C) WB, and outdoor temperature of 47°F (8.3°C) DB/43°F (6.1°C) WB. Pipe length: 25ft. (7.5m), Height difference: 0ft. (0m) (Outdoor unit – indoor unit).

- FAN #1 A2-IBT-300-200 - HEATER
1. INDIRECT BENT TUBE GAS FIRED HEATER WITH 20" DIRECT DRIVE FAN, 1 FURNACE, ELECTRONIC FULL MODULATION, CONSTANT 80% EFFICIENCY, AND 6:1 MAX TURNDOWN FOR NG, (5:1 MAX TURNDOWN FOR LP). STAINLESS STEEL BURNER AND HEAT EXCHANGER.
 2. V-BANK 1A-13 FILTERS W/INTAKE HOOD WITH EZ FILTERS - OUTDOOR
 3. DOWN DISCHARGE - AIR FLOW RIGHT -> LEFT
 4. MOTORIZED BACK DRAFT DAMPER 22.75" X 24" FOR SIZE 2 STANDARD & MODULAR HEATER UNITS W/EXTENDED SHAFT, STANDARD GALVANIZED CONSTRUCTION, 3/4" REAR FLANGE, LOW LEAKAGE, LF120S ACTUATOR INCLUDED
 5. GAS PRESSURE GAUGE, 0-35", 2.5" DIAMETER, 1/4" THREAD SIZE
 6. GAS PRESSURE GAUGE, 0 TO +10 INCHES WC, 2.5" DIAMETER, 1/8" THREAD SIZE, REAR THREAD
 7. FACTORY ASSEMBLED IBT CONDENSATION DRAIN KIT FOR 1 FURNACE UNITS. REQUIRED FOR WINTER DESIGN TEMP OF 0 DEGREES F AND LOWER.
 8. KIT INCLUDES DRAIN ASSEMBLY, MOUNTING SCREWS, ZIP TIES, AND HEAT TAPE FOR SINGLE FURNACE UNIT. FIELD PIPING FROM UNIT BY OTHERS.
 9. FIELD WIRED EXHAUST CONTACTOR BEFORE AIRFLOW SWITCH. RATED 23 AMPS. STARTS UP TO (2) SINGLE PHASE MOTORS. 2HP MAX. 115V, 3HP MAX. 240V. STARTS ONE THREE PHASE MOTOR. SHP MAX. 208V, 7.5HP MAX 230V, 15HP MAX. 460V. OVERLOAD NOT INCLUDED
 10. CLOGGED FILTER SWITCH WITH NOTIFICATION ON HMI
 11. SINGLE ELECTRICAL CABINET LED LIGHTS USED ON MODULAR MUA UNITS
 12. CURB DUCT HANGER - 1-1/4" ANGLE IRON FRAME WELDED TO CURB TO SUPPORT STANDARD SIZE DUCTWORK. PRICED PER CURB. ONLY AVAILABLE WHEN CURB ASSEMBLY IS ORDERED.
 13. INSULATED BLOWER HOUSING SIZES 1-2 COMMERCIAL MODULAR
 14. FREEZESTAT FACTORY SET AT 35°F AND 10 MINUTES.
 15. VAV (VARIABLE-AIR-VOLUME) WIRING PACKAGE FOR COMMERCIAL FANS.
 16. 0-10VDC SPEED CONTROL VARIABLE FREQUENCY DRIVE INCLUDED
 17. MOUNT LOAD REACTOR IN FAN.
 18. VFD FACTORY MOUNTED AND WIRED IN UNIT CONTROL VESTIBULE.
 19. SINGLE POINT ELECTRICAL CONNECTION FOR ALL IBT HEATERS WITH 1 MODULE. QNTY 1 750VA TRANSFORMER USED. IF A NON-DCV PREWIRE IS USED ON THE IBT HEATER, THE #28, #47, "MA", OR "E2" OPTION PREWIRE MUST BE SELECTED. DO NOT PROVIDE SUPPLY STARTER IN PREWIRE.
 20. IBT - US Patent 877119 B2

*NOTE: SUPPLY DUCT MUST BE INSTALLED TO MEET SMACNA STANDARDS. A MINIMUM STRAIGHT DUCT LENGTH MUST BE MAINTAINED DOWNSTREAM OF UNIT DISCHARGE AS OUTLINED IN AMCA PUBLICATION 201. DO NOT RELY ON UNIT TO SUPPORT DUCT IN ANY WAY. FAILURE TO PROPERLY SIZE DUCTWORK MAY CAUSE SYSTEM EFFECTS AND REDUCE PERFORMANCE OF THE EQUIPMENT. SUGGESTED STRAIGHT DUCT SIZE IS 20" x 20"

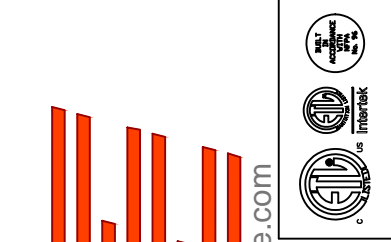
SUPPLY SIDE HEATER INFORMATION:

WINTER TEMPERATURE = 9°F. TEMP. RISE = 70°F.
BTUS CALCULATED OFF ACTUAL AIR DENSITY
OUTPUT BTUS AT ALTITUDE OF 0.0 ft. = 196225
INPUT BTUS AT ALTITUDE OF 0.0 ft. = 245281
OUTPUT BTUS AT ALTITUDE OF 648 ft. = 191673
INPUT BTUS AT ALTITUDE OF 648 ft. = 239592



FUTURE KITCHEN
MAKE UP AIR UNIT

REVISIONS	
DESCRIPTION	DATE:
△	
△	
△	
△	



QPS - MA
ROYAL OAK, MI, 48067

DATE: 8/23/2019
DWG.#:
3956342
DRAWN
BY: Josh.hilem
SCALE:
3/4" = 1'-0"
MASTER DRAWING

SHEET NO.
2

03-65-22

F. Rezoning Applications

None.

03-66-22

G. Community Impact Studies

1. 294 E. Brown St. – Request for new 4-story mixed-use building

Chair Clein recused himself from Items G1 and I1 at 7:38 p.m., citing a business relationship with one of the applicants. Items G1 and I1 were discussed together.

At the Chair's request, Mr. Boyle assumed facilitation of the meeting at 7:38 p.m.

PD Dupuis reviewed the updates to the community impact study (CIS) and the preliminary site plan and design review.

In reply to Mr. Share, PD Dupuis confirmed that the City's traffic consultant was advising improvements to the pedestrian crossings on Brown Street. Those improvements would include rebuilt crosswalks and ramps, restriped crosswalks, and a signalized crossing with flashing beacons on Brown. He stated the applicant was willing to implement those improvements. He said he would consider that a CIS condition as opposed to a site plan condition.

Victor Saroki, architect, and Michael Dul, landscape architect, spoke on behalf of the project.

Mr. Saroki confirmed that the applicant team was willing to make the aforementioned pedestrian improvements to Brown. He continued that the project was planned to complement the RH project. He explained why synthetic plantings were being proposed for one area of the site and what the project might do if the synthetic plantings were not approved. He offered to bring synthetic plantings for the Board's review at final site plan should the Board be interested.

Mr. Dul described the synthetic plantings being proposed as white birch with a limited amount of ground cover.

In reply to Mr. Koseck, PD Dupuis stated that Article 4, Section 4.20 would allow the Board to provide a waiver for 'innovative landscaping'.

Mr. Boyle asked the applicant to bring images and samples of the proposed synthetic plantings for review at final site plan.

Mr. Share also asked the applicant to let the Board know if there were any examples of the birch-type synthetic plantings in use somewhere nearby.

Mr. Dul said he would let the Board know if he could think of an example. He said he hoped it would not start a trend in Birmingham 'with front lawns and such'.

In reply to Mr. Share, Mr. Saroki confirmed that while windows were considered for the west elevation in order to break up the view of brick on the first floor, they were decided against because they would only provide a view of the garage ramp and utility spaces. He stated that plantings would be used to enliven the area instead.

PD Dupuis recommended that a mural be considered for the west elevation as part of the City's new wall art program. He said the applicant had previously expressed interest in that as well.

Public Comment

David Bloom expressed general approval of the project, while raising concerns about its impact on parking in the downtown area. He recommended the project consider having the upper three floors be entirely residential and that the City consider a private-public partnership with the developer to add more on-site parking partially for public use.

Mr. Boyle raised concerns about increasing office vacancy rates nationally and asked if the second floor could be retrofitted for a use other than office if necessary.

Mr. Saroki stated that the second floor will be identical to the residential floors in terms of height, windows, and footprint, so changing the use would be feasible if desired at some point in the future. He added that the office real estate market in Birmingham is currently strong and that a number of prospective office tenants have already expressed interest in renting out the second floor.

Mr. Koseck praised the project and spoke in favor of the inclusion of an office use within the project.

Motion by Mr. Share

Seconded by Ms. Whipple-Boyce to accept the Community Impact Study as provided by the applicant for the proposed development at 294 E. Brown with the following conditions:

- 1. The Planning Division suggests that the applicant review any and all opportunities on site to provide stormwater detention in the form of green infrastructure;**
- 2. The applicant comply with the requests of the City's traffic consultant and submit a final transportation impact study;**
- 3. The applicant must comply with the requests of all City departments; and,**
- 4. That the applicant improve the pedestrian crosswalk on Brown, slightly to the west of 294 E. Brown, by installing signage, updating the ADA ramps, and restriping the crosswalk.**

Motion carried, 4-0.

ROLL CALL VOTE

Yeas: Share, Boyle, Whipple-Boyce, Koseck

Nays: None

03-67-22

Motion carried, 5-0.

VOICE VOTE

Yeas: Share, Boyle, Whipple-Boyce, Koseck, Clein

Nays: None

03-68-22

I. Site Plan & Design Reviews

1. 294 E. Brown St. – Request for new 4-story mixed-use building

Discussed during Item G1.

Motion by Mr. Koseck

Seconded by Mr. Share to approve the Preliminary Site Plan for 294 E. Brown with the following conditions:

- 1. The applicant must remove the synthetic planting material (turf, groundcover, birch trees, etc.) as currently proposed, or at final site plan review provide alternative definitions and how it might be considered in reference to Article 4, Section 4.20;**
- 2. The applicant must submit revised plans showing a loading space that meets the requirements of Article 4, Section 4.24 (C) of the Zoning Ordinance;**
- 3. The applicant must submit material specifications, samples and all other required information for the proposed building to complete the Design Review at Final Site Plan; and**
- 4. The applicant must comply with the requests of all City Departments.**

Motion carried, 4-0.

ROLL CALL VOTE

Yeas: Share, Boyle, Whipple-Boyce, Koseck

Nays: None

2. 2225 E. 14 Mile – Our Shepherd – Final Site Plan and Design Review request for parking lot/circulation improvements and minor exterior façade changes.

Discussed during Item H1.

Motion by Mr. Boyle

Seconded by Ms. Whipple-Boyce to recommend approval to the City Commission the Final Site Plan and Design Review for 2225 E. 14 Mile – Our Shepherd – subject to the following conditions:

- 1. The applicant must submit revised site plans with parking lot screening that meets the requirements of Section 4.54, or obtain a variance from the Board of Zoning Appeals;**

Mr. Boyle noted that he made the majority of his points at the beginning of the item. He said he would like to see the applicant propose a way of at least somewhat increasing the interaction between the Adams frontage and the adjacent neighborhood.

Motion by Mr. Boyle

Seconded by Mr. Share to hold a special meeting on Thursday, March 31, 2022 at 7:30 p.m. in the City Commission Room, and to postpone the community impact study and preliminary site plan review for 770 S. Adams to March 31, 2022.

Motion carried, 5-0.

ROLL CALL VOTE

Yeas: Share, Jeffares, Williams, Whipple-Boyce, Boyle

Nays: None

2. 294 E. Brown St. – Request for new 4-story mixed-use building

Vice-Chair Williams called for a brief recess at 8:56 p.m.

At 9:01 p.m., the meeting reconvened and Messrs. Koseck and Emerine rejoined the meeting.

PD Dupuis presented the item. He noted that contrary to what was written in his report, the applicant did indicate how they would control noise, dust, and the like in point #20 in the community impact study (CIS). He said he would consider it no longer an issue.

Vice-Chair Williams directed PD Dupuis to ensure that the City's traffic engineer review the traffic report submitted by Rowe Engineering, with particular focus on the traffic likely to be generated by the RH development.

In reply to Mr. Jeffares, PD Dupuis said he would ask the Police Department whether there was an issue with construction workers parking in the neighborhoods during the Daxton's construction.

Victor Saroki, architect, spoke on behalf of the project. He explained:

- The development would be open to any sort of permitted retail use that would be appropriate and attractive;
- Recycling chutes would be provided on each floor next to the trash chutes;
- The building will incorporate green practices;
- The applicant team will work with its general contractor to prevent construction parking in the neighborhoods;
- The applicant team will design a route for deliveries to the retail spaces if necessary;

In reply to Mr. Share, Mr. Saroki stated that the two borings selected on this site were selected because of the previous furrier location. He stated that contaminants were only found on the RH site.

Mr. Share said that at the next review of this project he would like to know whether the Michigan Department of Environment, Great Lakes, and Energy had any response to the project's submitted environmental assessment.

Vice-Chair Williams said that any action on the CIS would be handled once discussion of the preliminary site plan was complete.

02-43-22

H. Special Land Use Permits

None.

02-44-22

I. Site Plan & Design Reviews

1. 770 S. Adams – Request for a new 4-6 story mixed use building

Discussed during Item G1.

2. 294 E. Brown St. – Request for new 4-story mixed-use building

PD Dupuis reviewed the item.

In reply to Mr. Share, PD Dupuis said he would look into what the Board's options might be to address the distance to the trash rooms in the building if the Board found it necessary. He said he would also check with City departments to determine whether there are any possible issues with the location of this building's loading docks on Daines and the RH loading docks, which may also be on Daines.

Mr. Saroki spoke on behalf of the project and introduced his team.

Victor Saroki, architect, stated that the view from the RH restaurant would be enhanced, rather than blocked, by the proposed building at 294 E. Brown. He said the rooftop of 294 E. Brown would be in view of the RH building.

In reply to Mr. Boyle, Mr. Saroki said the courtyard on the ground floor would be accessible to the public.

Mr. Saroki said the project was considering synthetic materials for two planters where plants would be unlikely to otherwise grow due to the lighting conditions. He acknowledged that the ordinance may not allow synthetic materials at this time, and said if that is the case that the Board should consider an exception in its review of the ordinance for cases when the conditions prohibit live plantings.

Mr. Emerine said he personally had no objection to synthetic materials as long as they are well-designed and executed.

Messrs. Share and Emerine said they would like the applicant to submit more information regarding truck movements on Daines, including truck-turning movements, how much of Daines would be blocked regularly, and for how long.

Mr. Emerine and Ms. Whipple-Boyce said they had no concerns with the proposed location of, or distance to, the trash room.

Ms. Whipple-Boyce and Mr. Koseck both said this is an exemplary project.

In reply to Mr. Boyle, Mr. Saroki described where additional storage for the apartments might be located on each floor. He also said there would be trees between the east side of this building and RH.

Ms. Whipple-Boyce and Messrs. Jeffares, Emerine, Boyle and Koseck all were enthused that the courtyard on the ground floor would be accessible to the public.

Vice-Chair Williams stated that the traffic report submitted by the applicant team was very thorough and said it would be reviewed along with the City traffic engineer's findings once those become available.

Public Comment

Kenny Koza, owner of Adachi, spoke in favor of this and the RH project.

Todd Sachse, co-owner of Broder & Sachse Real Estate and owner of Sachse Construction, spoke in favor of the project.

A real estate consultant who regularly does business in Birmingham, **Sam Munaco**, stated that the amount of contiguous office space offered in the project would make this project particularly desirable to office users.

Motion by Ms. Whipple-Boyce

Seconded by Mr. Boyle to postpone the community impact study and preliminary site plan review for 294 E. Brown to Wednesday, March 23, 2022.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Share, Jeffares, Williams, Whipple-Boyce, Boyle, Emerine, Koseck

Nays: None

3. 525 E. Brown – Birmingham Roast – Request for changes to outdoor dining patio (Postponed from September 9, 2021)

PD Dupuis summarized the item.

AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY MAY 11, 2022
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI *
*******7:30 pm*******

Michigan and Oakland County are at a substantial rate of COVID-19 community transmission. Per Occupational Safety and Health Administration (OSHA) mask guidance for areas of high or substantial community transmission levels, and to continue to protect essential government operations and functions, the city requires masks in City Hall for all employees, and for board and commission members. Masks are recommended for members of the public who attend city meetings. The city continues to provide KN-95 respirators for all in-person meeting attendees.

- A. Roll Call
- B. Review and Approval of the Minutes of the Regular Meeting of **April 27, 2022**
- C. Chairpersons' Comments
- D. Review of the Agenda
- E. Unfinished Business
- F. Rezoning Applications
- G. Community Impact Studies
- H. Special Land Use Permits
- I. Study Session
 - 1. **Outdoor Dining Standards – Public Hearing**
 - 2. **Front Yard Setbacks – Public Hearing**
 - 3. **Accessible Ramps – Public Hearing**
 - 4. **Window Standards – Study Session**
- J. Site Plan & Design Reviews
 - 1. **770 S. Adams – Perennial – Request for new 5 & 6 story mixed-use building.**
- K. Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - 2. Communications
 - 3. Administrative Approval Correspondence
 - 4. Draft Agenda – **May 25, 2022**
 - 5. Action List - 2022
 - 6. Other Business
- L. Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
- M. Adjournment

* Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/111656967>
Telephone Meeting Access: 877-853-5247 US Toll-Free
Meeting ID Code: 111656967

NOTICE: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY MAY 25, 2022
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI *
*******7:30 pm*******

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- A. Roll Call
- B. Review and Approval of the Minutes of the Regular Meeting of **May 11, 2022**
- C. Chairpersons' Comments
- D. Review of the Agenda
- E. Unfinished Business
- F. Rezoning Applications
- G. Community Impact Studies
 - 1. **320 Martin St. – Request for new 5-story mixed-use building**
- H. Special Land Use Permits
 - 1. **185 N. Old Woodward – Bell Bistro – Request for interior/exterior renovations to existing Mad Hatter Bistro and new outdoor dining plan**
 - 2. **310 E. Maple – Pernoi – Request for eisnglass enclosure at existing outdoor dining patio**
- I. Site Plan & Design Reviews
 - 1. **320 Martin St. – Request for new 5-story mixed-use building**
 - 2. **185 N. Old Woodward – Bell Bistro – Request for interior/exterior renovations to existing Mad Hatter Bistro and new outdoor dining plan**
 - 3. **310 E. Maple – Pernoi – Request for eisnglass enclosure at existing outdoor dining patio**
- J. Study Session
- K. Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - 2. Communications
 - 3. Administrative Approval Correspondence
 - 4. Draft Agenda – **June 8, 2022**
 - 5. Action List - 2022
 - 6. Other Business
- L. Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
- M. Adjournment

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Planning Board Action List – 2022 (Approved)

Topic	General Goals	City Commission Directive?	Quarter	Status	
				In Progress	Complete
2040 Master Plan	Adopt a new comprehensive master plan.	<input checked="" type="checkbox"/>	Ongoing	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Outdoor Dining	Study the Outdoor Dining Ordinance re: enclosures, expansions, etc.	<input checked="" type="checkbox"/>	1 st (January-March)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Window Standards (Glazing)	Update window standards to help support building renovation and the Energy Code requirements.	<input type="checkbox"/>	1 st (January-March)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Barrier-Free Ramps	Reduce unintentional restrictions on handicap ramps in the front setbacks.	<input type="checkbox"/>	2 nd (April-June)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Side Yard A/C	Update the ordinance to address issues with side yard a/c units.	<input type="checkbox"/>	2 nd (April-June)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Front Setback Rules	Consider revisions to the setback ordinances in R1-R3 to address 200 ft. calculations rule.	<input type="checkbox"/>	3 rd (July-September)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lighting Standards	Remove conflicting regulations regarding photometric plans.	<input type="checkbox"/>	3 rd (July-September)	<input type="checkbox"/>	<input type="checkbox"/>
Impervious Surface Definition	Clarify definition to promote the infiltration of storm water.	<input type="checkbox"/>	4 th (October-December)	<input type="checkbox"/>	<input type="checkbox"/>
Health Club/Studio Use	Consider allowing health/fitness type activities in more areas of the City.	<input type="checkbox"/>	4 th (October-December)	<input type="checkbox"/>	<input type="checkbox"/>

Next Up...

Topic	General Goals	City Commission Directive?	Quarter	Status	
				In Progress	Complete
Dumpster Enclosures	Expand the materials permitted/not permitted in dumpster enclosures.	<input type="checkbox"/>	-	<input type="checkbox"/>	<input type="checkbox"/>
Balcony/Terrace Enclosures	Clarify and add regulations for the enclosure of outdoor living space.	<input type="checkbox"/>	-	<input type="checkbox"/>	<input type="checkbox"/>
Lot Combination Process	Review the process for lot combinations to add clarity to approval standards.	<input type="checkbox"/>	-	<input type="checkbox"/>	<input type="checkbox"/>
Mixed Use Requirements	Consider changing the requirements for the stacking of mixed uses.	<input type="checkbox"/>	-	<input type="checkbox"/>	<input type="checkbox"/>
Review Processes for Public Projects	Clarify review process for projects on public property.	<input type="checkbox"/>	-	<input type="checkbox"/>	<input type="checkbox"/>
SLUP Application Process	Clarify the SLUP process in terms of the order of board/commission review.	<input type="checkbox"/>	-	<input type="checkbox"/>	<input type="checkbox"/>
Retail Definition	Revisit the retail definition to address any concerns about first floor uses.	<input type="checkbox"/>	-	<input type="checkbox"/>	<input type="checkbox"/>
Medical Marijuana & CBD	Update the Zoning Ordinance to help regulate Medical Marijuana and CBD through ordinance language.	<input type="checkbox"/>	-	<input type="checkbox"/>	<input type="checkbox"/>
Sustainability Initiatives	Prepare a sustainability agenda to increase Birmingham's resilience.	<input type="checkbox"/>	-	<input type="checkbox"/>	<input type="checkbox"/>
Lighting Standards	Review lighting standards for residential districts to reduce light pollution and nuisance.	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Landscaping Standards	Consider amendments to permit synthetic planting materials.	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Social Districts	Study the state regulations and the City to help draw district boundaries.	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Food Trucks	Study the application of food trucks in the City in terms of locations, restrictions, etc.	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>