

#### **AGENDA**

#### REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD

**WEDNESDAY JUNE 8, 2022 – 7:30 PM** 

#### 151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI\*

Per the CDC, Oakland County has a COVID-19 Community level and transmission level of HIGH. The City continues to highly recommend the public wear masks while attending City meetings per CDC guidelines. These precautions are due to COVID-19 transmission levels remaining high in Oakland County that have led to an increase in infections of City employees and board members. All City employees, commissioners, and board members must wear a mask while indoors when 6-feet of social distancing cannot be maintained. This is to ensure the continuity of government is not affected by an exposure to COVID19 that can be prevented by wearing a mask. The City continues to provide KN-95 respirators and triple-layered masks for all in-person meeting attendees.

- A. Roll Call
- B. Review and Approval of the Minutes of the Regular Meeting of May 25, 2022
- C. Chairpersons' Comments
- D. Review of the Agenda
- E. Unfinished Business
- F. Rezoning Applications
- G. Community Impact Studies
- H. Special Land Use Permits
  - 1. 1160 Grant St. Ortiz Educare Request for childcare center in B1 zoning district.
  - 36877 Woodward Gasow Request for new 2-story commercial building and associated site improvements.
- I. Site Plan & Design Reviews
  - 1. 1160 Grant St. Ortiz Educare Request for childcare center in B1 zoning district.
  - 36877 Woodward Gasow Request for new 2-story commercial building and associated site improvements.
- J. Study Session
  - 1. Side Yard A/C Units
- K. Miscellaneous Business and Communications:
  - 1. Pre-Application Discussions
    - i. Elm/Bowers Property
  - 2. Communications
  - 3. Administrative Approval Correspondence
  - 4. Draft Agenda June 22, 2022
  - 5. Action List 2022
  - 6. Other Business
- L. Planning Division Action Items
  - 1. Staff Report on Previous Requests
  - 2. Additional Items from Tonight's Meeting
- M. Adjournment

Link to Access Virtual Meeting: <a href="https://zoom.us/j/111656967">https://zoom.us/j/111656967</a>

Telephone Meeting Access: 877-853-5247 US Toll-Free

Meeting ID Code: 111656967

NOTICE: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un dia antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

<sup>\*</sup>Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

#### City Of Birmingham Regular Meeting Of The Planning Board Wednesday, May 25, 2022

City Commission Room 151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on May 25, 2022. Vice-Chair Bryan Williams convened the meeting at 7:30 p.m.

#### A. Roll Call

**Present:** Vice-Chair Bryan Williams; Board Members Robin Boyle, Stuart Jeffares, Daniel

Share, Janelle Whipple-Boyce; Alternate Board Member Nasseem Ramin; Student

Representative Andrew Fuller

**Absent:** Chair Scott Clein; Board Member Bert Koseck; Alternate Board Member Jason

Emerine; Student Representative MacKinzie Clein

#### Administration:

Nick Dupuis, Planning Director Brooks Cowan, Senior Planner Leah Blizinski, City Planner

Laura Eichenhorn, City Transcriptionist

#### B. Approval Of The Minutes Of The Regular Planning Board Meeting of May 11, 2022

Mr. Jeffares said the first bullet point on page two should say his concern was that establishments could store their outdoor elements on private property if their outdoor dining was on private property, but could not store their outdoor elements on private property if their outdoor dining was on public property. For the third bullet point on the same page, he recommended 'had designed the guidelines' be replaced with 'was concerned that both the Board and the public, including restaurants, had operated'. In the same line of the same bullet point, he recommended that 'immediately' be added after 'to'.

On page three, Mr. Jeffares recommended that 'direct communication with' be removed from the first full paragraph, that 'and the Board having a clear understanding of the impact. It should be noted that many' be added before 'the establishments', and that 'who may' should be removed from the paragraph.

Mr. Boyle recommended that the second sentence of the second bullet on page two be changed to read 'He found umbrellas to obscure sightlines more than awnings'.

Mr. Jeffares added that the second bullet on page nine should replace 'on Adams' with 'downtown'.

Mr. Share asked it be noted that no public comments were made during the public hearings of Items I2 and I3.

#### 05-117-22

#### Motion by Mr. Jeffares

Seconded by Mr. Share to approve the minutes of the Regular Planning Board meeting of May 11, 2022 as amended.

#### Motion carried, 6-0

VOICE VOTE

Yeas: Share, Ramin, Jeffares, Boyle, Whipple-Boyce, Williams

Nays: None

#### C. Chair's Comments

Vice-Chair Williams welcomed everyone to the meeting and reviewed the meeting's procedures.

#### D. Review Of The Agenda

#### E. Unfinished Business

#### F. Rezoning Applications

#### G. Community Impact Study (CIS) and Preliminary Site Plan Review

1. 320 Martin St. – Request for new 5-story mixed-use building addition.

PD Dupuis presented the CIS.

In reply to Board inquiry, PD Dupuis stated:

- He would verify with the Engineering Department whether additional facilities for stormwater retention not already shown on the site plan will be required; and,
- He was unsure if the Phase 1 ESA needed to be updated, but wanted the Board to consider it since it has been approximately ten years since the ESA was conducted.

Kevin Biddison, architect, Shawn Adams, of Dasher Lawless, and Sam Surnow, owner, spoke on behalf of the project.

In reply to Board inquiry, Mr. Biddison stated:

- He did not believe the Phase 1 ESA needed to be updated since it was conducted after the last changes to the site in 2010;
- Consistent efforts will be made to contain dust from construction;
- The applicant will work with the City's Building and Engineering Departments to accommodate pedestrian traffic around the site;
- The stormwater retention on-site would likely be a square underground vault measuring about 12-15 feet with a four-to-five foot depth, and gravity flow that would tie into the 21-inch sewer on Bates. This proposal would not result in any changes to the building as proposed; and,
- The thread park between the buildings will be open to the public.

Messrs. Biddison and Adams described the proposed parking system.

In response to Board inquiry, Mr. Adams stated:

- When dropping off a vehicle, it takes a user about thirty seconds. The actual parking the vehicle takes approximately another three minutes, but the user is gone for that part of the process;
- Retrieving a vehicle from this system takes approximately three minutes, whereas leaving a regular parking structure takes about eight to 12.5 minutes;
- If a vehicle in this system is retrieved but not taken from the load bay within three minutes, the system will re-park the vehicle. If, however, someone else is waiting to either park or retrieve their vehicle using that load bay, the system will only wait 30 seconds before reparking the first vehicle;
- A system in California can accommodate 287 vehicles and they have a queue depth of five. 320 Martin's proposed system would accommodate 50 vehicles and has a queue depth of three. He believes 320 Martin is more than adequately equipped to avoid queuing issues;
- There is emergency lighting in the lower levels but no regular lighting, which is more sustainable;
- Dasher Lawless has been in operation since 2008; and,
- The loading bay detects a vehicle via lasers.

Mr. Boyle stated that the 2010 Phase 1 ESA ended with 'this assessment [...] revealed no evidence of recognized environmental conditions in connection with this property.' He said that in light of Mr. Biddison's comments there did not seem to be a need to perform a revised Phase 1 ESA.

Mr. Share partially disagreed, saying it would be appropriate to have a professional do an updated visual inspection of the site to make sure there is nothing open and obvious that would constitute an environmental condition. He said he would also like an updated public record search to show whether there are any underground leaking storage tanks or other issues since 2013. He said he doubted there were any issues but thought the Board would be failing in its diligence to not check. He said neither request would be prohibitive to the applicant.

#### 05-118-22

#### Motion by Mr. Share

Seconded by Ms. Whipple-Boyce to accept the Community Impact Study as provided by the applicant for the proposed development at 320 Martin with the following conditions:

- 1. The applicant submit an updated the Phase 1 ESA limited to an updated records review for changes since 2013 and an updated visual inspection. The applicant does not need to do a full ESA on Phase 1;
- 2. The applicant must submit a soils investigation;
- 3. The applicant must submit details as to how they plan to mitigate noise, dust, debris, and other nuisances during the construction process; and,
- 4. The applicant must clarify the location of the trash rooms and how trash will be handled across floors.

#### Motion carried, 6-0

\_\_\_\_\_

**ROLL CALL VOTE** 

Yeas: Share, Ramin, Jeffares, Boyle, Whipple-Boyce, Williams

Nays: None

PD Dupuis then presented the preliminary site plan and design review.

Mr. Biddison described how office and residential users would gain access to the interior of the building from the parking area. He also reviewed the documentation submitted by the applicant after the evening's agenda packet went out clarifying how the applicant would address sample motion language conditions one through five. He noted that information would be included with the item moving forward so it would be available for the Board's reference during the final site plan review as well.

In reply to Board inquiry, Mr. Biddison stated:

- Fobs would ensure that only office users could access the office floors and only residential users could access the residential floors; and,
- A generator was under consideration in order to keep the parking accessible even during a loss of power.

Vice-Chair Williams noted that larger units in Birmingham have gone unsold in the past and had to be converted into smaller units. He asked Mr. Surnow to explain why he was proposing six larger units as opposed to more moderately-sized units. He noted that the building's parking would also allow for smaller units than currently proposed.

Mr. Surnow said he would considering adjusting the unit size during construction in order to accommodate market conditions. He explained that the currently-proposed residential unit size allows for a more premium experience in terms of the parking amenity and views of the area.

Mr. Boyle said he had a similar question to Vice-Chair Williams' and was not 'terribly happy' with the answer from Mr. Surnow. He echoed Vice-Chair Williams' comment that the building's parking would permit smaller units and more parking. While acknowledging those reservations, he continued that the City's three adaptive reuses done by Mr. Surnow are some of the best buildings in the City. He said he expects this building to be built to the same standard.

In reply to Mr. Jeffares, Mr. Surnow said that while the office floors could likely be converted to residential if necessary, he was confident that the building would be able to attract and retain office tenants.

Vice-Chair Williams commended the applicant team on a plan that would not add strain to the City's parking system.

Ms. Whipple-Boyce commended the applicant team on the quality materials and design. She also thanked the applicant for adding retail where it was not required.

05-119-22

Motion by Mr. Boyle

Seconded by Mr. Jeffares to approve the Preliminary Site Plan for 320 Martin – Birmingham Post Office – with the following conditions:

- 1. The applicant must submit revised plans demonstrating the correct locations of the trash rooms in the interior floor plans;
- 2. The applicant will be required to provide a clear dimension of the proposed screen wall to ensure the requirements of Section 4.54 are met;
- 3. The applicant must provide 11 street trees and all additional recommended streetscape elements in accordance with Article 4, Section 4.20 of the Zoning Ordinance and comply with the direction of the Department of Public Services and the Planning Department;
- 4. The applicant must ensure that there is appropriate street lighting on Bates;
- 5. The applicant must submit revised site plans demonstrating a minimum of 9 off-street parking spaces at 180 sq. ft. minimum, or obtain a variance from the Board of Zoning Appeals;
- 6. The applicant must submit revised plans showing a loading space that meets the requirements of Article 4, Section 4.24 (C) of the Zoning Ordinance;
- 7. The applicant must submit material specifications, samples and all other required information for the proposed building to complete the Design Review at Final Site Plan; and,
- 8. The applicant must comply with the requests of all City Departments.

#### Motion carried, 6-0

ROLL CALL VOTE

Yeas: Share, Ramin, Jeffares, Boyle, Whipple-Boyce, Williams

Nays: None

#### H. Special Land Use Permits (SLUPs) and Site Plan and Design Reviews

1. 185 N. Old Woodward – Bell Bistro – Request for interior/exterior renovations to existing Mad Hatter Bistro and new outdoor dining plan.

CP Blizinski presented the item.

The Vice-Chair noted that the Board was not in receipt of a number of items for this project, per the Staff report. He asked about the Planning Department recommending that the Board approve the item. He noted that the missing items could be subject to administrative approval once submitted.

PD Dupuis said he was comfortable recommending Board approval even with the omissions since the item would also be reviewed by the Historic District Commission and the City Commission.

In reply to an inquiry from Vice-Chair Williams, PD Dupuis clarified that the City Commission has purview over both the SLUP and the final site plan and design review.

In reply to Ms. Whipple-Boyce, CP Blizinski said she only recommended a photometric plan due to her lack of familiarity with the different styles of lighting proposed. She confirmed that the Board could choose to waive the need for a photometric plan. She also stated that a trash receptacle is required by ordinance in the outdoor dining area.

In reply to Board inquiry, CP Blizinski clarified that the only request before the Board presently was the four seats in front of the establishment.

Kelly Allen, attorney, John Gardner, architect, and Randy Dickow, owner, spoke on behalf of the project.

Ms. Allen noted that the applicant would likely be back in the future to request an expansion of their outdoor dining that was lost due to the streetscape project.

Vice-Chair Williams said that the City's Old Woodward projects do adversely affect businesses in some cases.

Mr. Gardner reviewed the proposed lighting and sign dimensions. He said a photometric plan would be submitted once completed and that he could provide a section to clarify the proposed signage.

Following clarification from Mr. Dickow, the Board noted the plans should be updated to reflect the fact that the establishment uses a compactor and that there would be no dumpster or dumpster enclosure.

#### 05-120-22

Motion by Mr. Share

Seconded by Mr. Jeffares to recommend approval to the City Commission of the Special Land Use Permit for 185 N. Old Woodward. – Bell Bistro – subject to the following conditions:

- 1. The applicant must receive Historic District Commission approval for all exterior changes proposed within the Central Business Historic District;
- 2. The applicant must provide revised plans that show usage of a compactor and not the dumpster shown on the submitted plans;
- 3. The applicant must submit a photometric plan that includes all existing and proposed exterior lighting;
- 4. The applicant must submit detailed sign plans that include the projection details for all signage;
- 5. The applicant must provide detailed dimensions for the height and projection into the right of way of the Sunbrella awning; and,
- 6. The applicant must comply with the requests of all City Departments.

Mr. Boyle asked about approving recommending the SLUP for approval without the need for a photometric plan.

It was noted that since the photometric plan was already in the process of being generated, and might be helpful to the City Commission, it was fine to leave in the submission requirement.

Motion carried, 6-0

**ROLL CALL VOTE** 

Yeas: Share, Ramin, Jeffares, Boyle, Whipple-Boyce, Williams

Nays: None

05-121-22

#### Motion by Mr. Share

Seconded by Mr. Jeffares to recommend approval to the City Commission of the Final Site Plan and Design Review of 185 N. Old Woodward. – Bell Bistro – subject to the six conditions in the Special Land Use Permit approval.

#### Motion carried, 6-0

**ROLL CALL VOTE** 

Yeas: Share, Ramin, Jeffares, Boyle, Whipple-Boyce, Williams

Nays: None

## 2. 310 E. Maple – Pernoi – Request for eisenglass enclosure at existing outdoor dining patio.

SP Cowan reviewed the item and noted that the new outdoor dining plans were available on the meeting room's projection screen.

Kelly Allen, attorney, and Luciano Delsignore, owner, spoke on behalf of the project.

In reply to Mr. Share, Mr. Delsignore said the establishment would use plywood planters with boxwoods to demarcate the five foot clear path through the via.

Mr. Jeffares spoke highly of the ambience created by Cafe Pernoi's operations in the via, and said he was highly supportive of allowing the ten new tables with 38 additional seats in the via.

Vice-Chair Williams and Ms. Whipple-Boyce concurred.

Ms. Whipple-Boyce said lowering the eisenglass results in the establishment having 91 indoor seats. She noted a bistro is only supposed to have 65 indoor seats. She said she would struggle with endorsing the use of the eisenglass for that reason.

Mr. Share stated that this establishment has an usual historical situation with the way the building was constructed. He said he could not say whether that amounted to a practical difficulty or an undue hardship. He agreed with Ms. Whipple-Boyce that the ordinance clearly does not allow 91 full-time indoor seats for a bistro. Mr. Share asked Mr. Delsignore to make sure that the boxwood planters maintained the five foot clear path.

In reply to PD Dupuis, Mr. Share said that in light of the building's construction he thought it would be reasonable for the applicant to be permitted the use of eisenglass in the winter months, with no additional tables or chairs in the vestibule, in order to maintain the indoor temperatures and to allow the restaurant to operate.

Vice-Chair Williams said that would be up to the applicant to pursue or not at a future date.

05-122-22

#### Motion by Ms. Whipple-Boyce

Seconded by Mr. Jeffares to recommend approval to the City Commission of the Special Land Use Permit for 310 E. Maple – Casa Pernoi – with the following conditions:

- 1. The applicant remove all eisenglass and other enclosure systems from the outdoor dining area, or obtain a dimensional variance of 767.25 square feet from the Board of Zoning Appeals;
- 2. The applicant submitted updated drawings dated May 25, 2022 for the outdoor dining plans showing a total of 64 seats and indicating the locations of all elements within the outdoor dining patio area;
- 3. The Building Department and Fire Department inspect the canopy to determine that all life safety requirements remain in place and have not been altered;
- 4. The Planning Board approves the tables and chairs consisting of woven plastic as a material of comparable quality to wood and metal as per the outdoor dining standards requirement of Article 4, Section 4.44(A)(5);
- 5. The applicant meet all applicable fire codes regarding the locations of the proposed heaters and propane tanks; and,
- 6. That the May 25, 2022 outdoor dining plans clearly identify the pedestrian clear path through the outdoor dining area.

#### Motion carried, 6-0

ROLL CALL VOTE

Yeas: Share, Ramin, Jeffares, Boyle, Whipple-Boyce, Williams

Nays: None

05-123-22

#### Motion by Ms. Whipple-Boyce

Seconded by Mr. Jeffares to recommend approval to the City Commission of the Final Site Plan and Design Review for 310 E. Maple – Casa Pernoi – subject to the six conditions in the Special Land Use Permit approval.

#### Motion carried, 6-0

**ROLL CALL VOTE** 

Yeas: Share, Ramin, Jeffares, Boyle, Whipple-Boyce, Williams

Nays: None

#### J. Study Session

#### **K. Miscellaneous Business and Communications**

- 1. Pre-Application Discussions
- 2. Communications

#### 3. Administrative Approval Correspondence

The Board approved a request for an administrative approval from 460 N. Old Woodward to remove three windows from the rear of the establishment which would have otherwise shown back-of-house items.

- 4. Draft Agenda
- 5. Other Business
  - i. Action List 2022
- M. Planning Division Action Items
  - a. Staff Report on Previous Requests
  - b. Additional Items from tonight's meeting

Mr. Jeffares noted that the ordinance does not address the kind of parking system proposed as part of the 320 Martin St. project and said the Board should add the topic to its action list.

Ms. Whipple-Boyce concurred.

After brief discussion, the Board recommended that a discussion of the City's parking standards be considered for the June 2022 joint City Commission-Planning Board agenda.

#### N. Adjournment

No further business being evident, the Chair adjourned the meeting at 10:34 p.m.

Nick Dupuis Planning Director

Laura Eichenhorn City Transcriptionist



#### **MEMORANDUM**

Planning Division

**DATE:** June 2<sup>nd</sup>, 2022

TO: Planning Board Members

FROM: Brooks Cowan, Senior Planner

**APPROVED: Nicholas Dupuis, Planning Director** 

SUBJECT: 1160 Grant Street – Ortiz Educare – SLUP and Final Site Plan Review

The applicant is proposing a child care center at 1160 Grant Street. Child care centers in the B1 – Neighborhood Business zone require a Special Land Use Permit. Article 9, Section 9.02 of the Zoning Ordinance defines child care centers as the following:

A facility, other than a private residence, where child care is provided for periods of fewer than 24 hours a day, for more than 2 consecutive weeks per year, for 1 or more children whose parents/guardians are not immediately available. Child care centers include public or private preschools, nursery schools, parent cooperative preschools, full-day child care centers and drop in centers and must be licensed by the state.

The subject property contains a single story brick commercial building with three tenant spaces. There are currently two tenants in the building, a laundromat and a dry cleaners. The applicant is applying to occupy the northernmost tenant space which is 1900 square feet to be used a child care center. Only minor changes to the subject site are being proposed which include lighting and landscaping. The applicant will be able to obtain a child care center license from the state after approval from the City Commission.

#### 1.0 Land Use & Zoning

- 1.1 **Existing Land Use** The existing land use is a single story commercial building.
- 1.2 **Zoning** The property is zoned B1- Neighborhood Business

1.3 **Summary of Adjacent Land Use & Zoning** – The following chart summarizes existing land use and zoning classifications of the adjacent and/or nearby

properties:

	North	South	East	West
Existing Land Use	Salon	Park	Residential	Multi-Family
Existing Zoning District	B1 – Neighborhood Business	PP – Public Property	R3 – Single Family Residential	01 - Office
Overlay Zoning District	N/A	N/A	N/A	N/A

#### 2.0 **Setback, Height, & Placement Requirements**

No changes to the building are proposed. The building appears to satisfy all setback, height and placement requirements.

#### 3.0 **Screening & Landscaping**

- 3.1 Dumpster Screening – No changes proposed. The dumpster in the rear of the property is screened by a masonry wall with wooden gates.
- 3.2 Parking Lot Screening – The property owner is proposing to remove the existing brick screen wall in the middle of the property along Grant Street and replace it with evergreen landscaping. The brick wall has been hit by cars and the owner has stated he would rather not worry about repairs. The brick screen walls on the northern and southern portion of the property along Grant Street are proposed to remain.
  - Article 4, Section 4.53(C)(3) requires screening along the front or side of any parking facility that abuts a street, alley, passage or mixed passage.
  - Article 4, Section 4.54(C)(3)(d) of the Zoning Ordinance enables the Planning Board to approve an evergreen screen in lieu of a masonry screen wall. The applicant is proposing to screen the parking lot with 25 Hick Yews 36". The Planning Division recommends that the Planning Board approve of the Hick Yews in lieu of a masonry screen wall.
- 3.3 Mechanical Equipment Screening – The existing ground transformer on the back corner of the property is screened by Arborvitae.
- 3.4 Landscaping – 25 new Hick Yews 36" in height are proposed for screening in lieu of a masonry screen wall for the parking spaces in the middle of the parking lot.

Two new European horn beam trees are proposed along the southern boundary of the parking lot amongst the existing shrubs. The existing day lilies in front of the screenwalls are also proposed to remain.

3.5 <u>Streetscape Elements</u> – No changes proposed – DPS commented that the area between the sidewalk and street is too narrow for new trees and they are not requiring new plantings in that space. New trees were not planted by the City with Grant Street was recently repaved.

The property is not in an Overlay District and therefore does not have a requirement to provide street lights.

#### 4.0 Parking, Loading & Circulation

4.1 <u>Parking</u> – There are 29 parking spaces on site and below are the following parking requirements of the proposed uses:

Laundromat	1 per 3 washing machines	23 machines	8 spaces
Cleaners	1 per 550 SF	4,272 SF	8 spaces
Day Care	1 per 550 SF	1,900 SF	4 spaces
-		Total	20 spaces

The subject site has an excess of 9 parking spaces, therefore satisfying the on-site parking requirements.

- 4.2 <u>Loading</u> Building is less than 10,000 square feet, therefore no off-street loading space is required.
- 4.3 <u>Vehicle Circulation & Access</u> The front parking lot can be accessed from Grant Street. The site has two curb cuts 24 feet wide which provide ingress and egress for vehicular traffic.

The rear parking lot is accessed via the property to the north at 1148 Grant Street. The owner of the subject property has an easement agreement with 1148 Grant Street which is included in the attachments.

4.4 <u>Pedestrian Circulation & Access</u> — The subject property has a public sidewalk along Grant Street. The commercial space also has a sidewalk connecting to all four stores.

#### 5.0 Lighting

The applicant is proposing to install four new cut-off lights on the front of the building to replace the existing non-conforming lights. The lights are proposed to be WPX2 LED Wall Mount lights.

The applicant is required to submit a Photometric Plan. Circulation areas of parking lots are required to have a minimum of 0.2 foot candles and a maximum ratio of 20:1.

#### **6.0** Departmental Reports

- 6.1 **Engineering Department –** The Engineering Department has no concerns at this time.
- 6.2 **Department of Public Services** The requirement of street trees is waived due to the lack of sufficient space in the ROW.
- 6.3 **Fire Department –** Comments will be provided for the June 8<sup>th</sup>, 2022 meeting.
- 6.4 **Police Department –** The Police Department has no concerns at this time.
- 6.5 **Building Department** Please see the attached Building Division comments dated June 2<sup>nd</sup>, 2022.
- 6.6 **Parking Manager** The Parking Manager has no concerns at this time.

#### 7.0 Design Review

#### Façade Materials

No changes are proposed to the exterior, the applicant will be maintaining the brick exterior.

#### Glazing

No Changes to the window glazing are proposed.

#### Signage

The applicant has indicated they would like to install a sign above their tenant space, however they have yet to submit signage details. **The applicant must provide details relating to the size and materials of their proposed sign.** 

#### 8.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan			$\boxtimes$
Detailed and Scaled Site Plan	$\boxtimes$		
Certified Land Survey	$\boxtimes$		
Interior Floor Plans	$\boxtimes$		
Landscape Plan	$\boxtimes$		
Photometric Plan		$\boxtimes$	
Colored Elevations			$\boxtimes$
Material Specification Sheets	$\boxtimes$		$\boxtimes$

Material Samples		
Site & Aerial Photographs	$\boxtimes$	

#### 9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

In addition, Article 7, Section 7.26 requires applications for a Special Land Use Permit to meet the following criteria:

- (1) The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.
- (2) The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.
- (3) The use is consistent with the public health, safety and welfare of the city.
- (4) The use is in compliance with all other requirements of this Zoning Ordinance.

- (5) The use will not be injurious to the surrounding neighborhood.
- (6) The use is in compliance with state and federal statutes.

#### 10.0 Recommendation

Based on a review of the site plans submitted and the requirements outlined in Article 7, Section 7.27 of the Zoning Ordinance, the Planning Division recommends that the Planning Board recommend **APPROVAL** of the SLUP and Final Site Plan for 1160 Grant Street, Ortiz Educare, with the following conditions:

- 1. The Planning Board allow evergreen screening in lieu of a masonry screenwall;
- 2. The applicant submit a Photometric Plan indication all lighting requirements for the parking lot circulation area have been met.
- 3. The applicant provide details relating to the size and materials of the sign to be administratively approved by staff.

#### 11.0 Sample Motion Language for the Special Land Use Permit (SLUP)

Motion to recommend **APPROVAL** of the SLUP for 1160 Grant St, Ortiz Educare, with the following conditions:

- 1. The Planning Board allow evergreen screening in lieu of a masonry screenwall;
- 2. The applicant submit a Photometric Plan indication all lighting requirements for the parking lot circulation area have been met.
- 3. The applicant provide details relating to the size and materials of the sign to be administratively approved by staff.

OR

Motion	to PO	SIPONE	tne	SLUP	and	Finai	Site	Plan	tor	1160	Grant	St,	Ortiz	Educa	re,
pendin	g receip	ot of the f	follov	wing:											

5		
1.		
2. 3.		-
٥.		
	OR	
to D	FNV the SLLID and Final Site Plan for 1160 Grant St. Ortiz Educare, fo	r th

Motion to **DENY** the SLUP and Final Site Plan for 1160 Grant St, Ortiz Educare, for the following reasons:

1.	
2.	
3.	

#### 12.0 Sample Motion Language for the Final Site Plan

Motion to recommend **APPROVAL** of the Final Site Plan for 1160 Grant St, Ortiz Educare, with the following conditions:

- 1. The Planning Board allow evergreen screening in lieu of a masonry screenwall;
- 2. The applicant submit a Photometric Plan indication all lighting requirements for the parking lot circulation area have been met.
- 3. The applicant provide details relating to the size and materials of the sign to be administratively approved by staff.

	OR
Motion to <b>POS</b> of the following	<b>TPONE</b> the Final Site Plan for 1160 Grant St, Ortiz Educare, pending receipt g:
4. 5.	
6.	
	OR
Motion to <b>DEN</b> reasons:	IY the Final Site Plan for 1160 Grant St, Ortiz Educare, for the following
4.	
5.	
6.	

#### **CITY OF BIRMINGHAM**

#### Community Development – Building Department 151 Martin Street, Birmingham, MI 48009

June 2, 2022

RE: Final Site Plan Review Comments 1160 Grant, Ortiz EduCare, LLC

As requested, the Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:

#### **Applicable Building Codes:**

- **2015 Michigan Building Code.** Applies to all buildings other than those regulated by the *Michigan Residential Code.*
- 2015 Michigan Mechanical Code. (Residential requirements for mechanical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- 2018 Michigan Plumbing Code. (Residential requirements for plumbing construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)
- 2017 National Electrical Code along with the Michigan Part 8 Rules. (Residential requirements for electrical construction in all detached one and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with a separate means of egress and their accessory structures are contained in the Michigan Residential Code)

#### **Review Comments:**

- 1. The referenced codes listed on the plan need to be updated to reflect the 2017 National Electrical Code and the 2018 Michigan Plumbing Code.
- 2. The plan indicates an occupant load of 54 which appears high. The actual number needs to be determined by calculating the net area of the education and office areas separately, then applying the allowances per Table 1004.1.2 of the building code. The correct occupant load will be in the area of 23 including employees.
- 3. Both toilet rooms will need to meet all accessibility requirements of the building code. The room labeled Uni. 2 does not appear to comply.



## CITY OF BIRMINGHAM FIRE DEPARTMENT

572 SOUTH ADAMS • BIRMINGHAM, MICHIGAN 48009 • 248.530.1900 Fax 248.530.1950

June 2, 2022

#### 1160 Grant

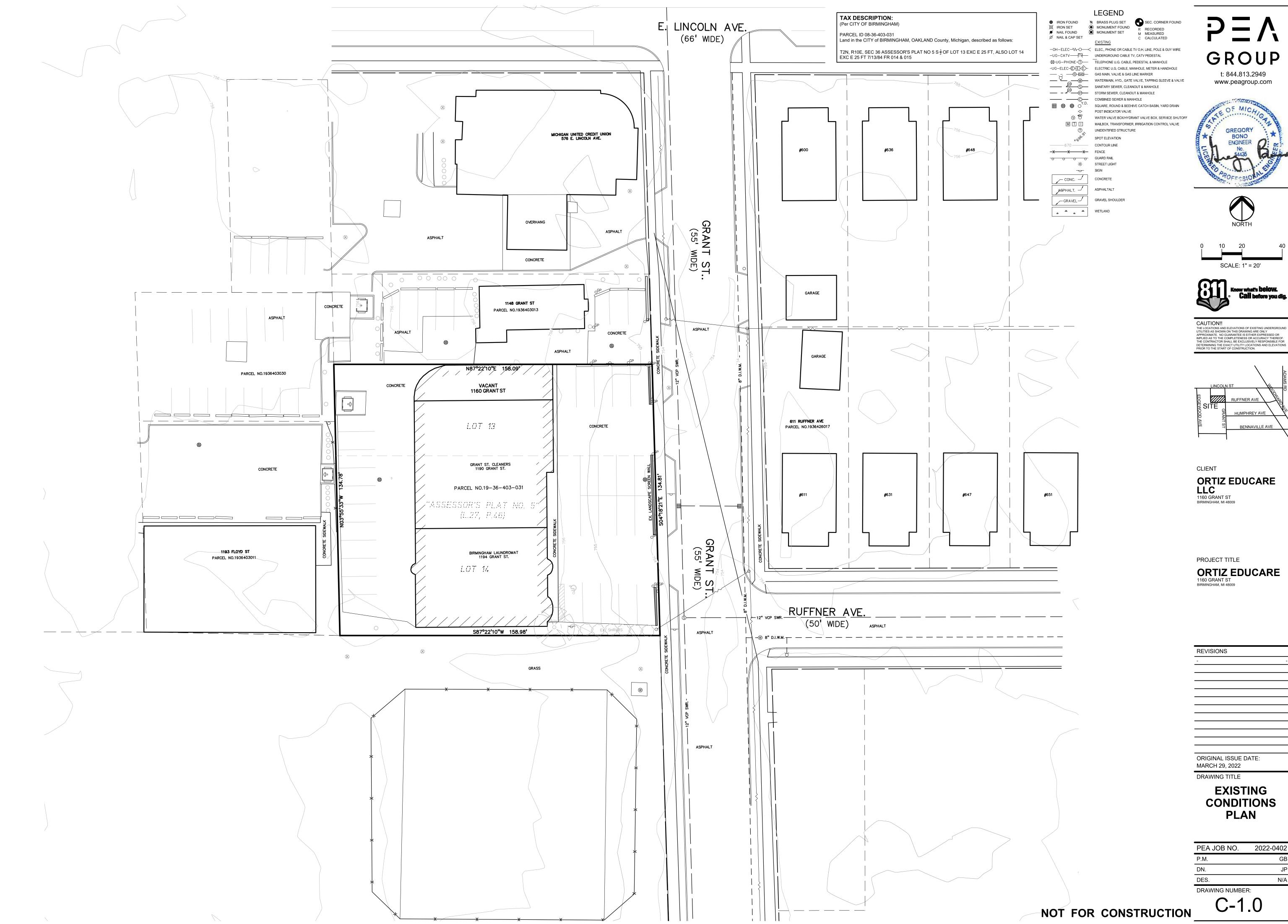
#### **Review Comments**

- 1. Follow and reference on plans the International Fire Code 2015 ed.
- 2. Provide 3A rated ABC fire extinguishers where specified by Fire Marshal.
- 3. Provide egress lighting per International Fire Code 2015 ed. language.
- 4. Egress doors to be compliant with proper door hardware (lever handle, panic bar, paddle ect.)

Please contact my office if there are any questions.

Jack D. Pesha

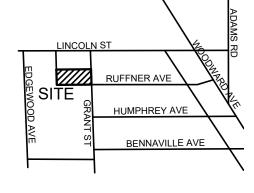
Fire Marshal







THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.





(Per CITY OF BIRMINGHAM) PARCEL ID 08-36-403-031

TAX DESCRIPTION:

Land in the CITY of BIRMINGHAM, OAKLAND County, Michigan, described as follows:

T2N, R10E, SEC 36 ASSESSOR'S PLAT NO 5 S  $\frac{1}{2}$  OF LOT 13 EXC E 25 FT, ALSO LOT 14 EXC E 25 FT 7/13/84 FR 014 & 015

CONC. - CONCRETE All All WETLAND

■ IRON FOUND

■ IRON SET

■ MONUMENT FOUND

■ NAIL FOUND

■ MONUMENT SET

■ MONUMENT SET

MONUMENT SET

■ MEASURED Ø NAIL & CAP SET

-OH-ELEC-W-O- ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -UG-CATV-----TV- UNDERGROUND CABLE TV, CATV PEDESTAL -UG-ELEC-E-E-E- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE — \_ G-GAS MAIN, VALVE & GAS LINE MARKER

C CALCULATED

WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
S SANITARY SEWER, CLEANOUT & MANHOLE
STORM SEWER, CLEANOUT & MANHOLE COMBINED SEWER & MANHOLE

Y.D. SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN

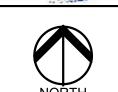
POST INDICATOR VALVE M T MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE UNIDENTIFIED STRUCTURE SPOT ELEVATION

☆ STREET LIGHT

ASPHALT. / ASPHALTALT GRAVEL GRAVEL SHOULDER



www.peagroup.com

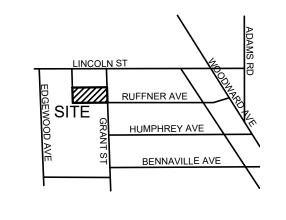






CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT

ORTIZ EDUCARE LLC 1160 GRANT ST BIRMINGHAM, MI 48009

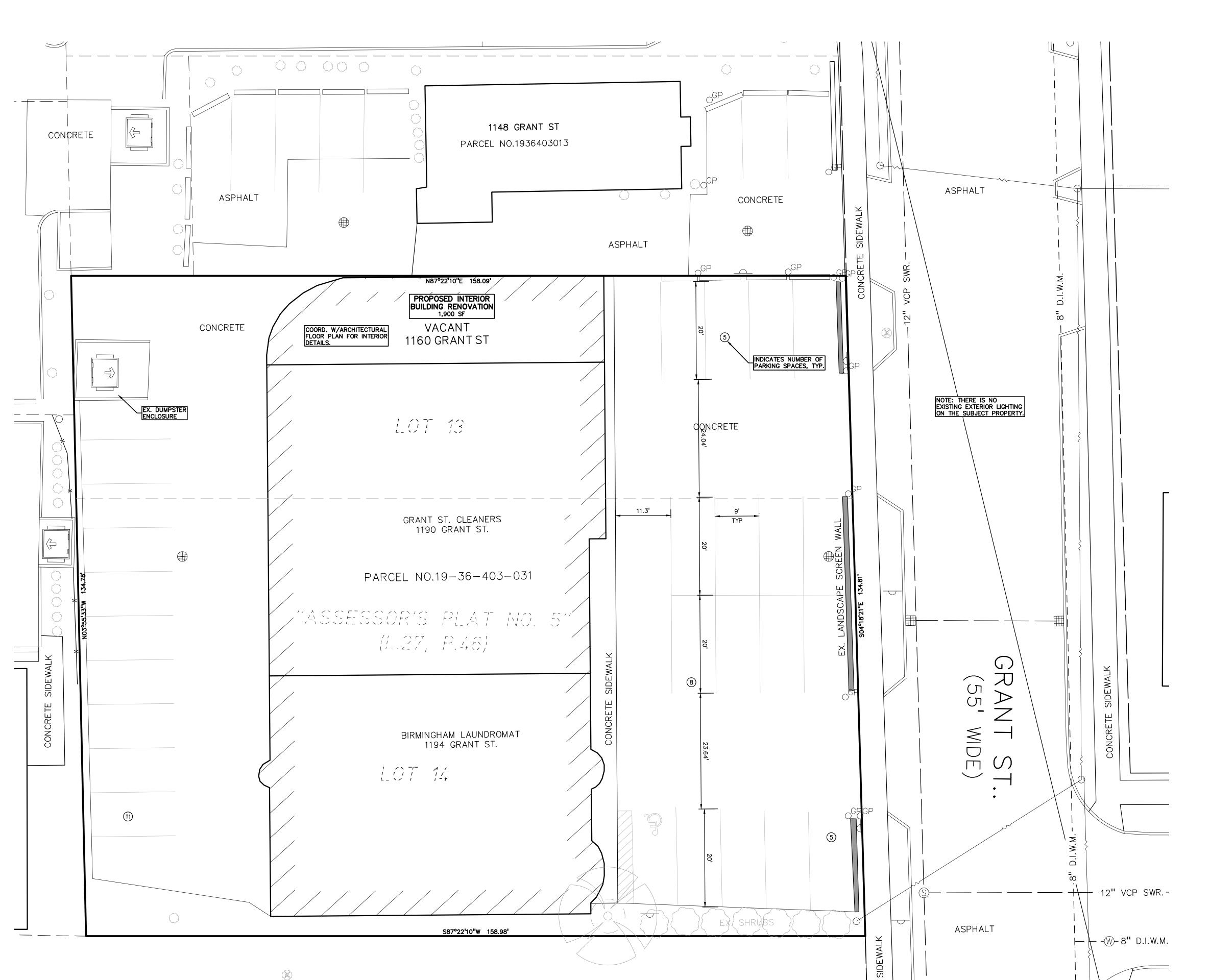
PROJECT TITLE

ORTIZ EDUCARE
1160 GRANT ST
BIRMINGHAM, MI 48009

ORIGINAL ISSUE DATE: MARCH 29, 2022

AERIAL IMAGERY PLAN

C-1.1



SITE DATA TABLE:

SITE AREA: 0.489 ACRES (21,301 SF) NET

ZONING: B1 (NEIGHBORHOOD BUSINESS)

BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 30 FT.(2 STORIES)

BUILDING FOOTPRINT AREA = 8,405 SF.

BUILDING LOT COVERAGE = 39.4%

SETBACK REQUIREMENTS: FRONT (EAST) SIDE (NORTH) SIDE (SOUTH)

REAR (WEST) PARKING REQUIRED: RETAIL = 1 SPACE PER 300 S.F. = 28 SPACES

PARKING PROVIDED: 29 (INCLUDING 1 ACCESSIBLE)

**TAX DESCRIPTION:** 

(Per CITY OF BIRMINGHAM) PARCEL ID 08-36-403-031

Land in the CITY of BIRMINGHAM, OAKLAND County, Michigan, described as follows:

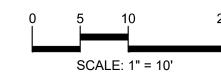
T2N, R10E, SEC 36 ASSESSOR'S PLAT NO 5 S  $\frac{1}{2}$  OF LOT 13 EXC E 25 FT, ALSO LOT 14 EXC E 25 FT 7/13/84 FR 014 & 015

GROUP t: 844.813.2949

www.peagroup.com

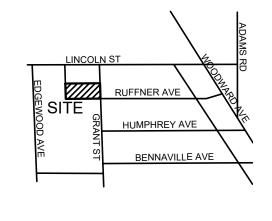












CLIENT ORTIZ EDUCARE LLC 1160 GRANT ST BIRMINGHAM, MI 48009

PROJECT TITLE	
ORTIZ EDUCARE	

REVISIONS
ODICINAL ICCLIE DATE.

ORIGINAL ISSUE DATE
MARCH 29, 2022
DRAWING TITLE

SITE PLAN

	PEA JOB NO.	2022-0402
·	P.M.	GB
	DN.	JP
	DES.	N/A
·	DRAWING NUMBER:	

# Proposed Interior Alterations for:

# Ortiz Educare LLC

1160 Grant Street

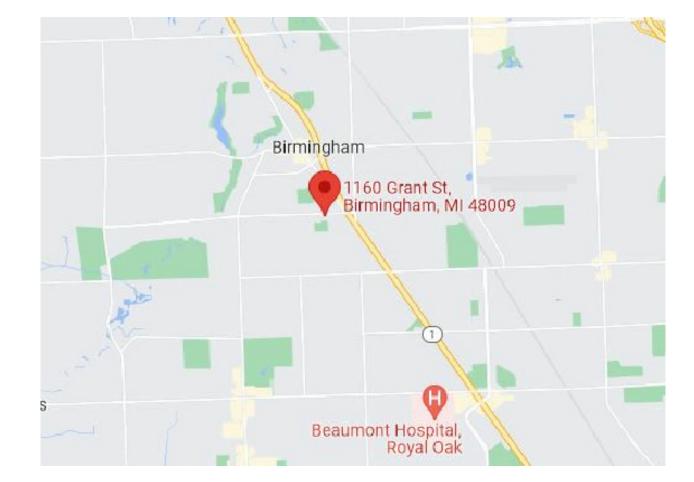
Birmingham, MI 48009

## Client:

# Ortiz Educare LLC

1160 Grant St.
Birmingham, MI 48009
(248) 709-4510
amy.ortiz17@comcast.net

## Location Map:





## Designer:

# CELLAR WERKS LLC

8265 Messmore Rd. Shelby Twp., MI 48317 (586) 484-1499 noochaj@hotmail.com

Job #:

C22-107

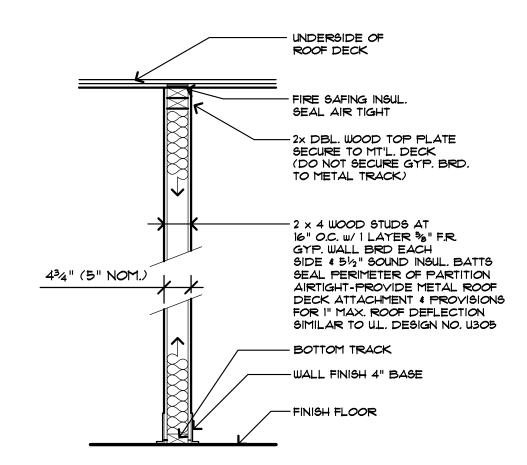
Issue Date:

March 23, 2022

# Project Index:

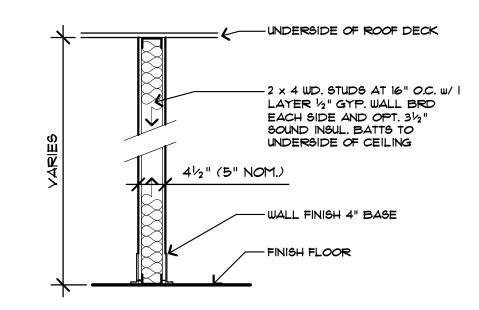
A-1	Proposed Floor Plan
A-2	Reflected Ceiling Plan
A-3	Barrier Free Details
M-1	Sanitary Plan
M-2	Mechanical Plan
E-1	Electrical Plan







B Partition Type



N.T.S.

## Emergency Lighting Notes:

INSTALL ILLUMINATED EXIT SIGNS OVER EXIT DOORS. DIRECTIONAL EXIT SIGNS MAY ALSO BE REQUIRED TO PROPERLY IDENTIFY THE PATHWAY LEADING TO THE EXIT ITSELF. ELECTRICAL CONTRACTOR SHOULD CONTACT THE FIRE MARSHAL FOR PROPER PLACEMENT OF

PROVIDE EMERGENCY LIGHTING AS DESIGNATED BY THE FIRE MARSHAL TO ILLUMINATE THE EXIT ACCESS IN CASES OF A COMMERCIAL POWER OUTAGE. ELECTRICAL CONTRACTOR SHOULD CONTACT THE FIRE MARSHAL FOR PROPER PLACEMENT OF EMERGENCY LIGHTING UNITS. ADDITIONAL UNITS MAY BE NEEDED IN

PROVIDE LOCK OPEN DEVICES ON ALL CIRCUIT BREAKERS PROTECTING EMERGENCY LIGHT AND EXIT LIGHT CIRCUITS. ALL DOORS TO HAVE A MAX. THRESHOLD OF 1/2" IN HT.

## Exit Notes:

ALL EXIT DOORS MUST BE OPERABLE FROM INSIDE WHEN LOCKED IN ONE MOTION WITHOUT A KEY REQUIRED.

PROVIDE 5'-0" x 6'-0" CLEAR AREA W/ MAX 1/4" PER FOOT SLOPE AWAY FROM BUILDING (TYP AT ALL EGRESS DOORS)

MAXIMUM SLOPE ON SIDEWALK RAMP IS 1:20 AND MINIMUM WIDTH IS 5'-O"

FRONT APPROACHES TO PUSH SIDE OF SWINGING DOORS, EQUIPPED WITH A CLOSURE AND A LATCH, SHALL HAVE MANEUVERING SPACE THAT EXTENDS 12" x

48" BEYOND THE LATCH SIDE OF THE DOOR.

ALL TILE WITHIN MEANS OF EGRESS TO BE SLIP-RESISTANT

## Fire Extinguisher Note:

TYPE
APPROVED ABC DRY CHEMICAL OR EQUIVALENT WITH MINIMUM 2A
RATING EXTINGUISHERS TO BE COMPATIBLE WITH THE HAZARD

AMOUNT LIGHT HAZARD: AN ADEQUATE NUMBER TO PROVIDE A MAXIMUM NORMAL TRAVEL DISTANCE OF 15 FEET BETWEEN OR TO EXTINGUISHERS. ORDINARY HAZARD: A MINIMUM OF TWO REQUIRED TO PROVIDE A MAXIMUM NORMAL TRAVEL DISTANCE OF 15 FEET BETWEEN

MOUNTING
EXTINGUISHERS SHALL BE INSTALLED ON HANGERS OR IN THE
BRACKETS SUPPLIED, OR IN APPROVED TYPE EXTINGUISHER CABINETS
UNLESS THE EXTINGUISHERS ARE OF WHEELED TYPE.

EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. THEY SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL, INCLUDING EXITS FROM AN AREA.

EXTINGUISHERS SHALL BE INSTALLED SO THAT THE TOP OF THE EXTINGUISHER IS NOT MORE THAN FIVE FEET ABOVE THE FLOOR.

## Address Note:

OWNER TO PROVIDE ADDRESS IN NUMERICAL BLOCK FORM FOR EACH TENANT SPACE AND BE DISPLAYED AT THE FRONT AND REAR OF THE BUILDING. ALL NUMBERS SHALL BE VISIBLE TO OCCUPANTS OF VEHICLES ON THOROUGHFARES AND THE COLORS SHALL BE IN CONTRAST WITH THE BACKGROUND ON WHICH THEY ARE MOUNTED.

## Gypsum Board Note

ALL GYPSUM BOARD MATERIALS AND ACCESSORIES TO CONFORM TO TABLE 25062 MATERIAL STANDARD GYPSUM SHEATHING ASTM C79 GYPSUM WALLBOARD ASTM C36 JOINT REIN. TAPE & COMPOUND ASTM C474± C475 NAILS FOR GYPSUM BOARDS **ASTM C514** ASTM C954± C1002 STEEL SCREWS STEEL STUDS NON LOAD BEARING **ASTM C645** WATER-RESISTANT GYPSUM BOARD BACKING **ASTM C630** 

## Building Data

LOCAL AGENCY: 151 MARTIN STREET

BIRMINGHAM, MI 48009 (248) 530-1800

REFERENCE CODES: 2015 MICHIGAN BUILDING CODE WITH STATE AMENDMENTS

> 2015 MICHIGAN PLUMBING CODE WITH STATE AMENDMENTS 2015 MICHIGAN MECHANICAL CODE

WITH STATE AMENDMENTS

2014 NATIONAL ELECTRICAL CODE WITH STATE AMENDMENTS 2015 MICHIGAN ENERGY CODE

ASHRAE 90-A 1980 AND 90-B 1975 1,900 SQ. FT. (NET)

TENANT AREA: USE GROUP (E) EDUCATION (CHAPTER 3): DAY CARE PROPOSED USE:

CONSTRUCTION TYPE (CHAPTER 6): IIIB (NON-COMBUSTIBLE STRUCTURAL)

OCCUPANT LOAD: 54 OCCUPANTS (PER TABLE 1004.1.2): EXITS REQUIRED: 1 EXITS (PER TABLE 1006.2.1) EXITS PROVIDED: 2 EXITS

TABLE 1016.1 FIRE RESISTANCE RATINGS OF EXIT CORRIDORS

E OCCUPANCY WITHOUT FIRE SUPPRESSION SYSTEM 1 HOUR TABLE 803.5: FIRE RESISTANCE RATINGS OF INTERIOR WALL AND CEILING FINISH VERTICAL EXITS AND PASSAGEWAYS CLASS A EXIT ACCESS CORRIDORS AND OTHER EXITWAYS CLASS B ROOMS AND ENCLOSED SPACES CLASS C TABLE 601: FIRE RESISTANCE RATINGS OF BUILDING ELEMENTS STRUCTURAL FRAME INCLUDING COLUMNS, GRIDERS, AND TRUSSES O HOUR BEARING WALLS 2 HOURS

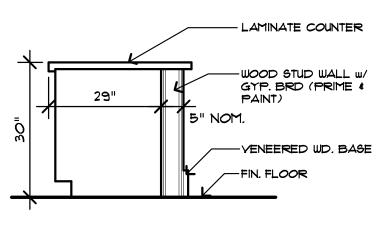
EXTERIOR LESS THAN 5' EXTERIOR GREATER THAN 30' 2 HOURS O HOURS NONBEARING WALLS O HOUR EXTERIOR O HOURS FLOOR CONSTRUCTION INCLUDING SUPPORT BEAMS AND JOISTS 0 HOUR ROOF CONSTRUCTION

INCLUDING SUPPORT BEAMS AND JOISTS 0 HOUR TABLE 10112: EXIT ACCESS TRAVEL DISTANCE WITHOUT SPRINKLER SYSTEM

## Wall Types:

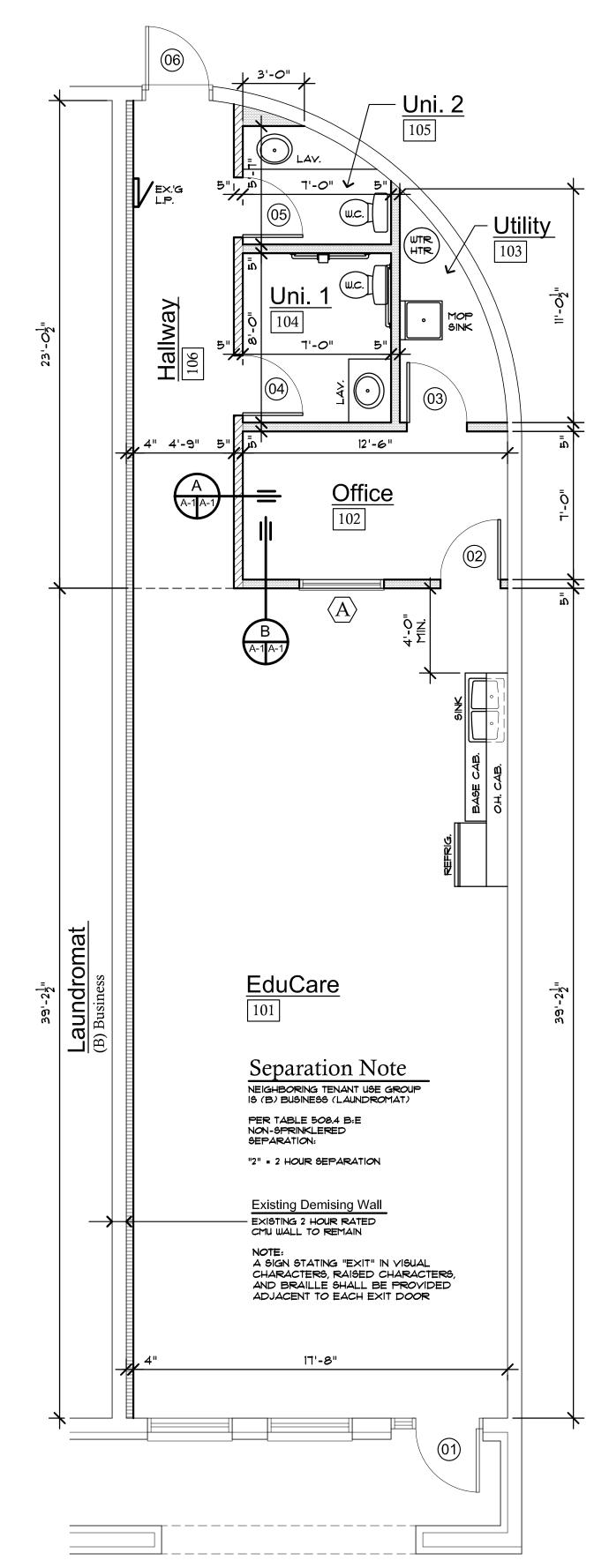
(E) EDUCATIONAL

DENOTES EXISTING WOOD STUDS W/ GYP. BRD. INTERIOR w/ 4" BRICK VENEER EXTERIOR DENOTES NEW 2 x 4 WD. STUDS AT 16" O.C. w/ 1/2" GYPSUM BRD. BOTH SIDES TO UNDERSIDE OF CEILING DENOTES NEW 2  $\times$  4 WD. STUDS AT 16" O.C. W/  $\frac{5}{6}$ " F.R. TYPE "X" GYP. BRD. TO UNDERSIDE OF CEILING (SIMILAR TO UL U305) DENOTES NEW 2 x 4 WD. STUDS AT 16" O.C. W/  $\frac{1}{2}$ " GYPSUM BRD. OUTSIDE FACE ONLY TO UNDERSIDE OF CEILING DENOTES EXISTING DEMISING WALL



Countertop Detail

N.T.S.





Legend SEE DOOR SCHEDULE SHEET A-2 XXX SEE ROOM SCHEDULE SHEET A-2

SEE WINDOW SCHEDULE SHEET A-2

Note: CONTRACTOR TO VERIFY EXISTING DIMENSIONS AND CONDITIONS AND COORDINATE STRUCTURAL WORK WITH OTHER TRADES. NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE CONTINUING WORK.

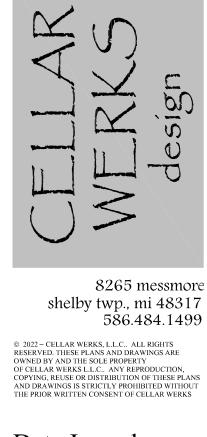
Note:

AN APPROVED LEGIBLE

THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE

ROOM OR SPACE

PERMANANT OCCUPANT LOAD SIGN IS REQUIRED IN A CONSPICIOUS PLACE, NEAR



Date Issued: Permit: 23MAR2022

Client: Ortiz EduCare LLC

1160 Grant St. Birmingham, MI 48009 (248) 709-4510 amy.ortiz17@comcast.net

Sheet Title:

FLOOR PLAN

Project Number:

C22-107

Drawn By: JFN

G.B.

Checked By:

Issue:



Sheet Number:

DETAIL NUMBER



	ROOM FINISH SCHEDULE										
No.	o. Room Name Floor Base Wall Ceiling Cl'g Ht. Remarks										
101	EDUCARE AREA	STAINED & SEALED CONCRETE	4" VINYL BASE	GYP. BD. (PRIME & PAINT) COLORS PER OWNER	EXPOSED (PAINT COLOR PER OWNER)	10'-0" AFF.					
102	OFFICE	STAINED & SEALED CONCRETE	4" VINYL BASE	GYP. BD. (PRIME & PAINT) COLORS PER OWNER	2 × 4 LAY-IN TILE	8'-0" AFF.					
103	UTILITY	STAINED & SEALED CONCRETE	4" VINYL BASE	GYP. BD. (PRIME & PAINT) COLORS PER OWNER	2 × 4 LAY-IN TILE	8'-0" AFF.					
104	BF. UNISEX LAV. 1	STAINED & SEALED CONCRETE	4" VINYL BASE	GYP. BD. (PRIME & PAINT) COLORS PER OWNER	2 × 4 LAY-IN TILE	8'-0" AFF.					
105	UNISEX LAVATORY 2	STAINED & SEALED CONCRETE	4" VINYL BASE	GYP. BD. (PRIME & PAINT) COLORS PER OWNER	2 × 4 LAY-IN TILE	8'-0" AFF.					
106	HALLWAY	STAINED & SEALED CONCRETE	4" VINYL BASE	GYP. BD. (PRIME & PAINT) COLORS PER OWNER	2 × 4 LAY-IN TILE	8'-0" AFF.					

#### Door Schedule Remarks

- WALL OR FLOOR STOP
- 2. LOCK SET
- 3. DOOR CLOSER
- 4. PUSH BUTTON LOCKSET 5. BARRIER FREE SIGNAGE AND SYMBOL OF COMPLIANCE
- 6. STANDARD SLIDING DOOR HARDWARE INCLUDING TRACK, GLIDES, AND DUMMY GLIDES
- 7. 18" WIDE SIDE LITE W/ 1/4" TEMP. GLASS
- 8. 24" WIDE SIDE LITE W/ 1/4" TEMP. GLASS
- 9. DEADBOLT
- 10. PASSAGE LOCKSET 11. DOUBLE SWING HINGESET
- 12 POCKET DOOR HARDWARE
- 13. LEAD LINED DOOR 14. EMERGENCY EXIT HARDWARE
- 15. PUSH/PULL PLATE
- 16. TEMPERED GLASS INSERT 17. DOORS TO REMAIN UNLOCKED
- DURING HOURS OF OPERATION
- 18. PUSH-BAR STYLE EMERGENCY EGRESS HARDWARE

#### Door Schedule General Notes:

1. ALL DOORS SHALL HAVE HANDLES, PULLS LATCHES, AND OPERATING DEVICES WHICH DO NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. REFER TO SECTION 83.45.1 OF THE MICH. BARRIER FREE DESIGN GRAPHICS

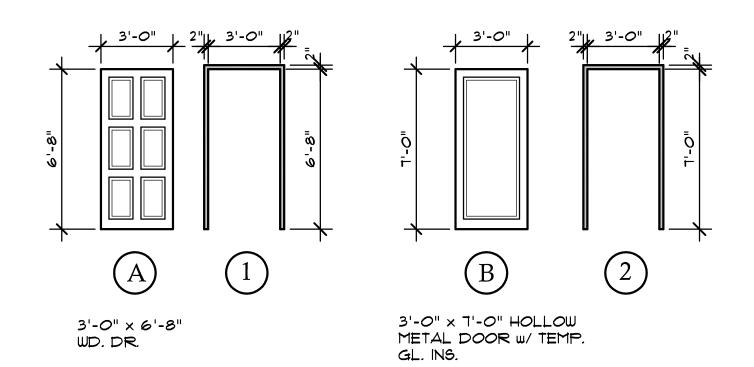
2. PRIMARY LOCKING AND LATCHING DEVICES ON DOORS SHALL BE MOUNTED NO HIGHER THAN 60" AND SECONDARY LOCKING DEVICES NO HIGHER THAN 48", REFER TO SECTION 8.3.4.5.3 OF THE MICH.

3. ALL EXIT DOORS SHALL SWING IN THE DIRECTION OF EGRESS.

4. NO INTERIOR KEY LOCKS OR BOLT-TYPE LOCKING DEVICES ARE

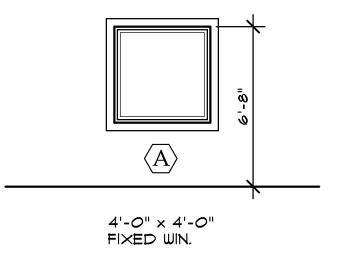
PERMITTED ON EXIT DOORS.

	DOOR SCHEDULE													
	Door Framing Fire Rating													
Door No.	Туре	Mat.	Glass		Details	Type Mat. Details			Fire Rating		Remarks			
110.	Type Wi	Iviat.	Giass	Width	Height Thick.		Jamb	Head	Sill	Label	Hour			
01	В	нм.	TEMP.	3'-0"	"ס-יד	13/4"		PROV	IDED UND	ER PREVI	OUS CONTRAC	т :		3, 9, 17
02	А	MOOD		3'-0"	6'-8"	13/4"	1	нм.	1	2				1, 2
03	А	MOOD		3'-0"	6'-8"	13/4"	1	нм.	1	2				1, 2
04	А	MOOD		3'-0"	6'-8"	13/4"	1	нм.	1	2				1, 4, 5
05	А	MOOD		3'-0"	6'-8"	13/4"	1	нм.	1	2				1, 4, 5
06	В	H.M.	TEMP.	3'-0"	6'-8"	13/4"	2	нм.	1	2				3, 9, 17



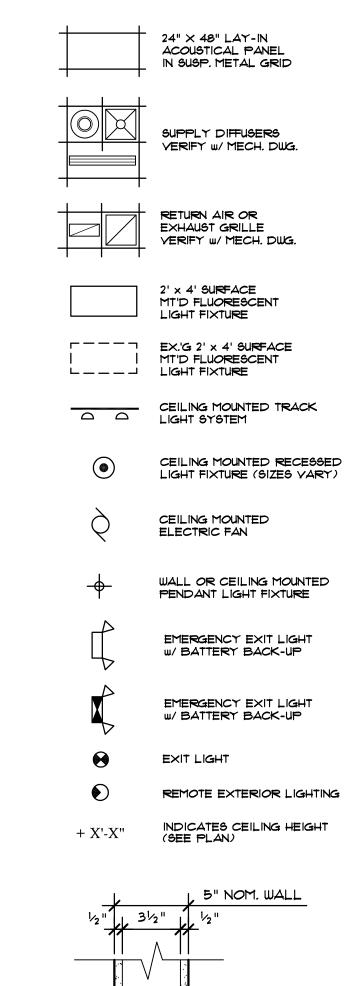
## Door Type

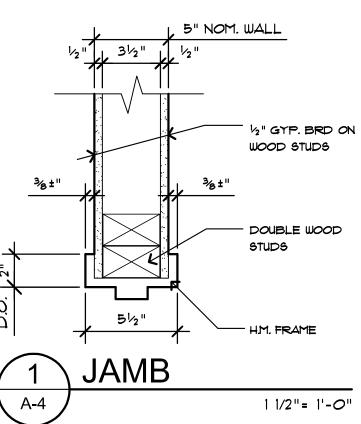
NOT TO SCALE

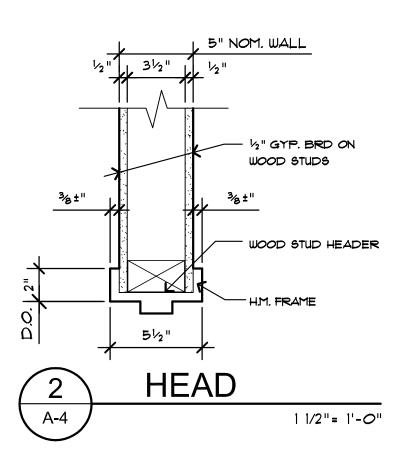


Window Type NOT TO SCALE

## Ceiling Plan Legend

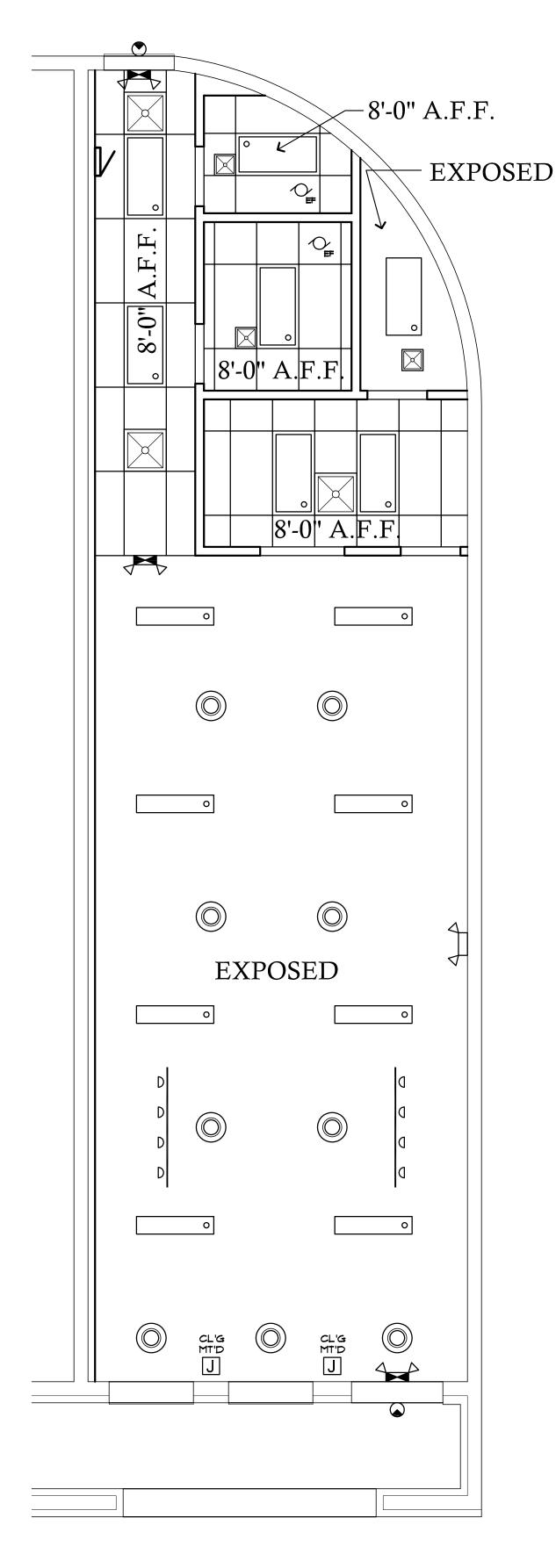






## Ceiling Plan Notes

- PROVIDE HOLD DOWN CLIPS FOR CEILING TILES WITHIN 8'-O" OF EXTERIOR DOORS.
- SUPPORT WIRES FOR CEILING GRID SHALL NOT BE ATTACHED TO MECHANICAL/ELECTRICAL SYSTEMS.
- EXTEND WALLS, INCLUDING GYSUM BOARD, TO SUSPENDED CEILING HEIGHT UNLESS OTHERWISE NOTED OR REQUIRED FOR FIRE SEPARATION





IF REQUESTED, CONTRACTOR TO PROVIDE DOCUMENTATION TO VERIFY THAT TYPES OF WALL, FLOOR AND CEILING FINISHES MEET THE REQUIREMENTS OF SECTION 803 AND 804 OF THE 2015 MBC.



8265 messmore shelby twp., mi 48317 586.484.1499

© 2022 – CELLAR WERKS, L.L.C.. ALL RIGHTS RESERVED. THESE PLANS AND DRAWINGS ARE OWNED BY AND THE SOLE PROPERTY OF CELLAR WERKS L.L.C.. ANY REPRODUCTION, COPYING, REUSE OR DISTRIBUTION OF THESE PLANS AND DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF CELLAR WERKS

Date Issued:

Permit: 23MAR2022

Client:

Ortiz EduCare LLC

1160 Grant St. Birmingham, MI 48009 (248) 709-4510 amy.ortiz17@comcast.net

Sheet Title: REFLECTED **CEILING PLAN** 

Project Number: C22-107

Drawn By:

JFN Checked By:

Issue:

construction





Sheet Number:

BUILDING AND STRUCTURES AND FACILITIES WITHIN BUILDINGS AND STRUCTURES THAT ARE IN COMPLIANCE WITH THE REQUIREMENTS FOR BARRIER FREE DESIGN SHALL BE CLEARLY IDENTIFIED WITH THE SYMBOL OF COMPLIANCE.

THIS SIGNAGE REQUIREMENT, PLACED AT OR ADJACENT TO AN ACCESSIBLE BUILDING ENTRANCE, ALERTS ANY PERSON THAT THE FACILITY IS ACCESSIBLE AND USABLE. THIS SIGNAGE IS ALSO REFERED TO AS AN INTERNATIONAL SYMBOL OF ACCESSIBILITY, THROUGH CABO 4.288.1 (PG. 16).

#### 1024.1 ARTIFICIAL LIGHTING

ALL MEANS OF EGRESS OTHER THAN OCCUPANCIES IN USE GROUP R-3 SHALL BE EQUIPPED WITH ARTIFICIAL LIGHTING FACILITIES TO PROVIDE THE INTENSITY OF ILLUMINATION HEREIN PRESCRIBED CONTINUOUSLY DURING THE TIME THAT CONDITIONS OF OCCUPANCY OF THE BUILDING REQUIRE THAT THE EXITS BE AVAILABLE. LIGHTING SHALL ALSO BE PROVIDED TO ILLUMINATE THE EXIT DISCHARGE. MEANS OF EGRESS LIGHTING IN OCCUPANCIES IN USE GROUP R-2, OTHER THAN LIGHTING WITHIN A DWELLING UNIT, SHALL BE WIRED ON A CIRCUIT INDEPENDENT OF CIRCUITS WITHIN ANY DWELLING UNIT. THE DISCONNECTING MEANS AND OVERCURRENT PROTECTION DEVICE SHALL NOT BE LOCATED WITHIN A DWELLING UNIT OR SUCH THAT ACCESS TO SUCH DEVICES MUST BE OBTAINED BY GOING THROUGH A DWELLING UNIT.

I.C.C./ ANSI A117.1, 404.2.7

CABO/ ANSI A117.1, 4.13.9 DOOR HANDLES, PULLS, LATCHES, LOCKS, OR ANY OTHER OPERABLE PART OF AN ACCESSIBLE DOOR SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH I HAND, AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.

I.C.C./ ANSI A117.1, 404.2.10
THE LOWER 12" OF ALL DOORS, EXCEPT AUTOMATIC DOORS, POWER-ASSISTED DOORS, AND SLIDING DOORS, SHALL HAVE
THE LOWER 12" OF ALL DOORS, EXCEPT AUTOMATIC DOORS, POWER-ASSISTED DOORS, AND SLIDING DOORS, SHALL HAVE
THE LOWER 12" OF ALL DOORS, EXCEPT AUTOMATIC DOORS, POWER-ASSISTED DOORS, AND SLIDING DOORS, SHALL HAVE
THE LOWER 12" OF ALL DOORS, EXCEPT AUTOMATIC DOORS, POWER-ASSISTED DOORS, AND SLIDING DOORS, SHALL HAVE A SMOOTH, UNINTERUPTED SURFACE, OR, WHEN NARROW STILES AND RAIL DOORS ARE USED, A MINIMUM 12" HIGH SMOOTH PANEL EXTENDING THE FULL WIDTH OF THE DOOR INSTALLED ON THE PUSH SIDE(S).

ALL SIGNAGE REQUIRED TO BE ACCESSIBLE MUST COMPLY WITH CABO/ ANSI A 117.1, 4282, 428.3, AND 4.28.5 FOR CHARACTER PROPORTION, HRIGHT, FINISH, AND CONTRAST. LACTILE SIGNAGE MUST ALSO COMPLY WITH 2.28.6 AND 4.28.7.

1/2" GYP. BD. -

39"-41"

36" MAX.

12" | 42" MIN.

RESILIENT BASE

elevation A

TOILET PAPER DISP.

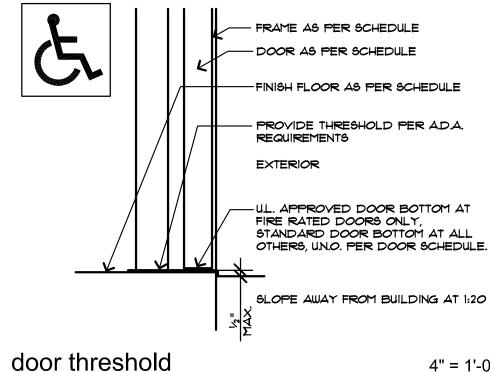
SHALL HAVE A MIN.

CLEARANCE OF 11/2"

BELOW TO 12" ABOVE

NOTE:

PERMANENT SIGNÁGE USED TO IDENTIFY ROOMS AND SPACES SHALL INCLUDE TACTILE CHARACTERS AND BRAILLE, TO BE MOUNTED ADJACENT TO THE DOOR.



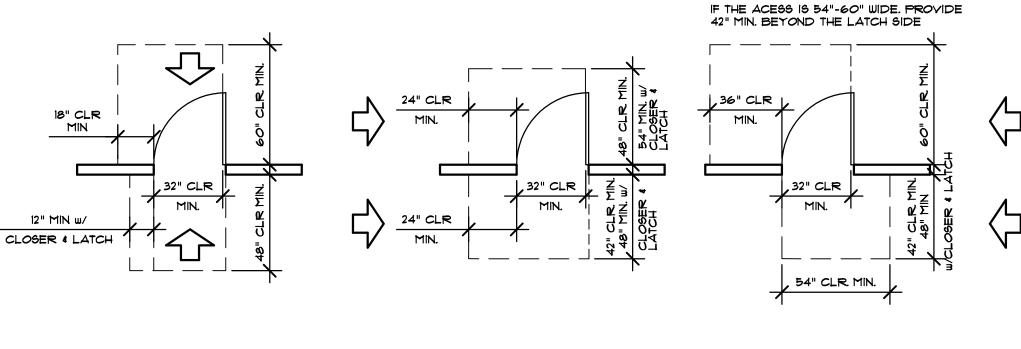
SLIDING AND FOLDING DOORS REQUIRE TEH SAME MANEUVERING SPACE AS APPROACHES TO THE PUSH SIDE ON SWING DOORS.

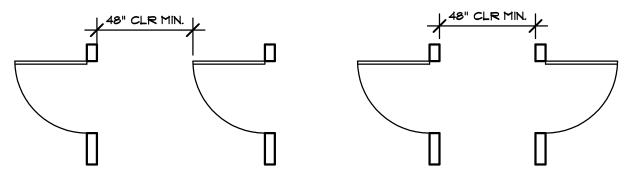
HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. WHEN SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.

DOOR CLOSERS SHALL BE ADJUSTED TO TAHT FROM AN OPEN POSITION OF 90°, THE TIME REQUIRED TO MOVE TEH DOOR TO AN OPEN POSITION OF 12" WILL BE 5 SECONDS MIN. FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY APPLICABLE CODES. THE REQUIRED FORCE FOR PUSHING OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE 5.0 Ib MAX. THIS FORCE DOES NOT APPLY TO TEH FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES TAHT HOLD TEH DOOR IN A

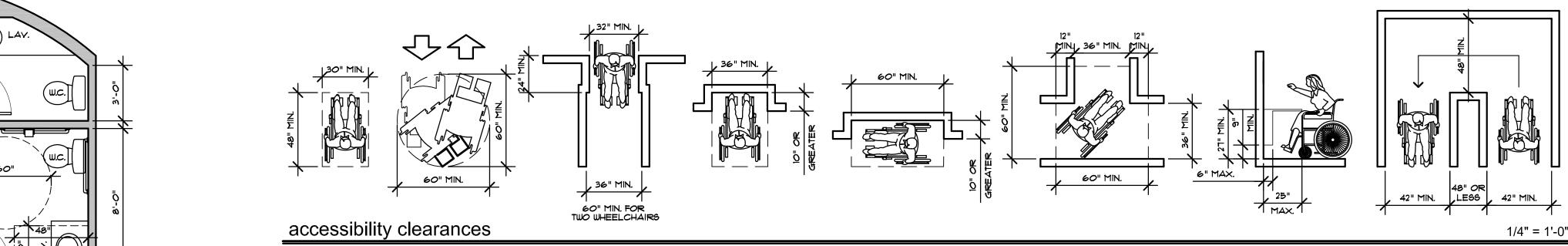
POWER-ASSITED DOORS SHALL COMPLY WITH ANS/BHMA A156.19. THE TIME REQUIRED FOR SUCH DOORS TO OPEN TEH BACK CHECK POSITION SHALL 3 SECONDS MIN. THE FORCE REQUIRED TO STOP DOOR MOVEMENT SHALL BE IS IN MAX.

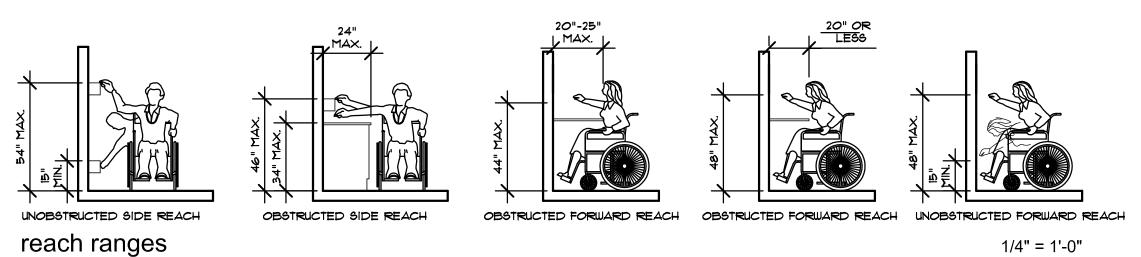
THE BOTTOM 12" OF ALL SWINGING DOORS TAHT ARE NOT AUTOMATIC OR POWER-ASSITED SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE.

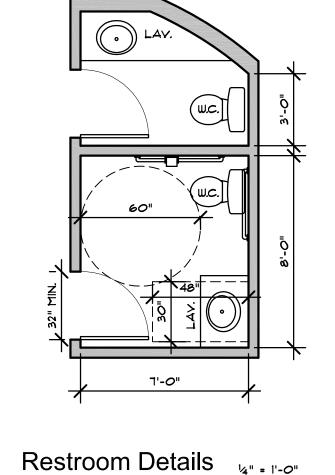


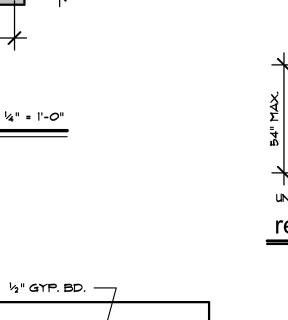


doors 1/4" = 1'-0"

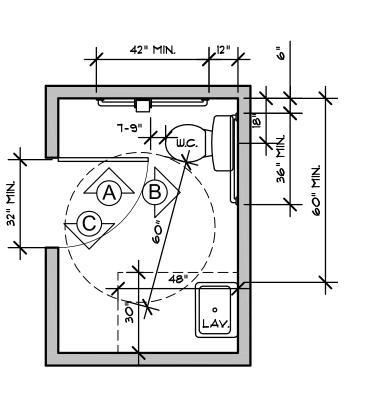








4" = 1'-0"



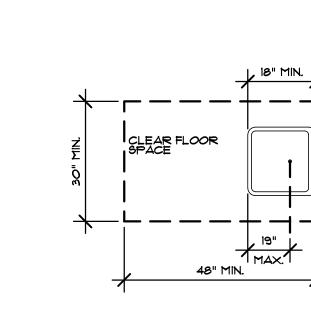
diagramatic b.f. lavatory

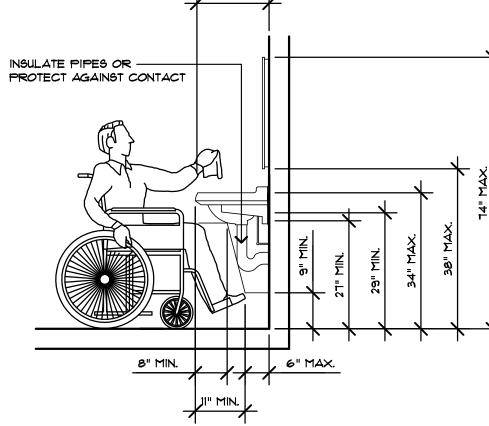


(9) MIRROR 24" x 38"

( FLOOR MOUNTED URINAL

(12) COUNTER MOUNTED LAYATORY





elevation B

NO SCALE

RESILIENT BASE

— 1/2" GYP. BD.

NOTE:

MOUNT FLUSH

WIDE SIDE OF

TOILET AREA

CONTROLS ON

elevation C NO SCALE NOTE: REFER TO STANDARD BARRIER FREE MOUNTING DIMENSIONS ON DRAWING

NOTE: DO NOT LOCATE WITHIN 24" OF AN INSIDE CORNER

(I) P.-LAM WALL MOUNTED COUNTERTOP AND 4" BACKSPLASH

lavatory & sink

Checked By: 1/2" = 1'-0"

Issue:

Client:

LLC

Ortiz EduCare

Birmingham, MI 48009

amy.ortiz17@comcast.net

1160 Grant St.

(248) 709-4510

BARRIER FREE DETAILS

Project Number:

Sheet Title:

C22-107

Drawn By:

JFN

8265 messmore

586.484.1499

shelby twp., mi 48317

© 2022 – CELLAR WERKS, L.L.C.. ALL RIGHTS RESERVED. THESE PLANS AND DRAWINGS ARE OWNED BY AND THE SOLE PROPERTY OF CELLAR WERKS L.L.C.. ANY REPRODUCTION, COPYING, REUSE OR DISTRIBUTION OF THESE PLANS

AND DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF CELLAR WERKS

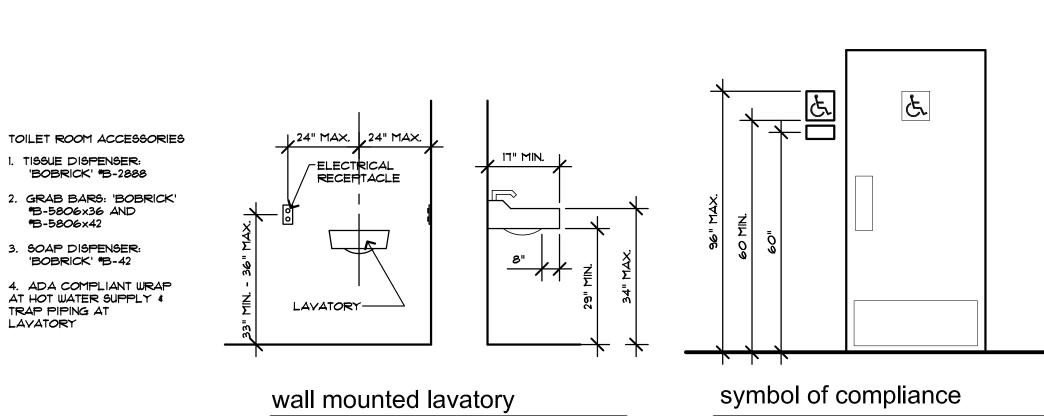
Permit. 23MAR2022

Date Issued:

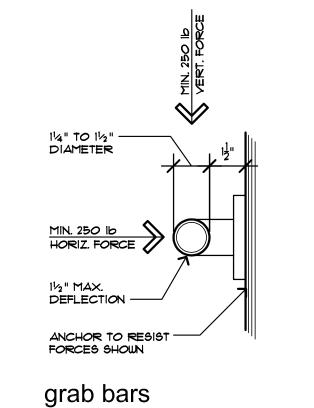
construction



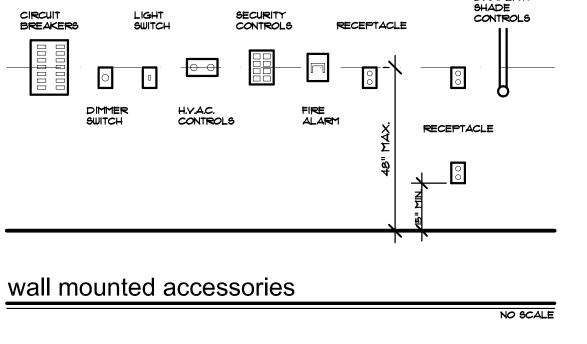
Sheet Number:

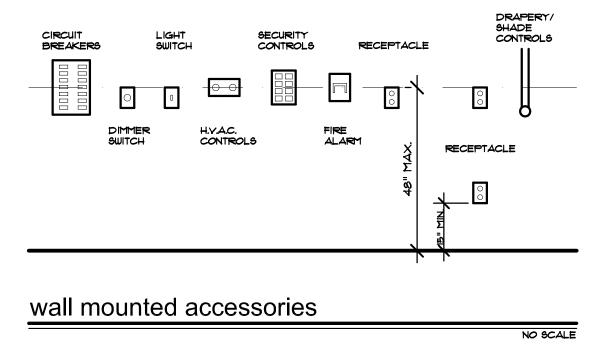


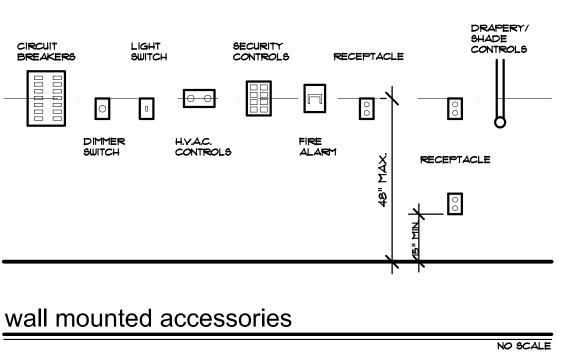
NO SCALE



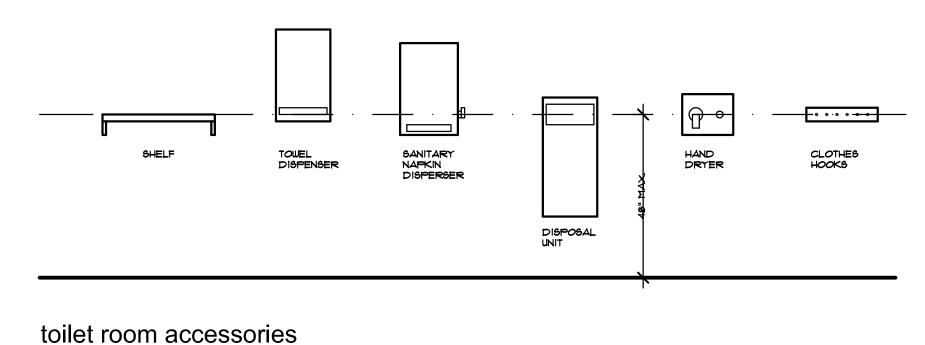
& handrails







NO SCALE



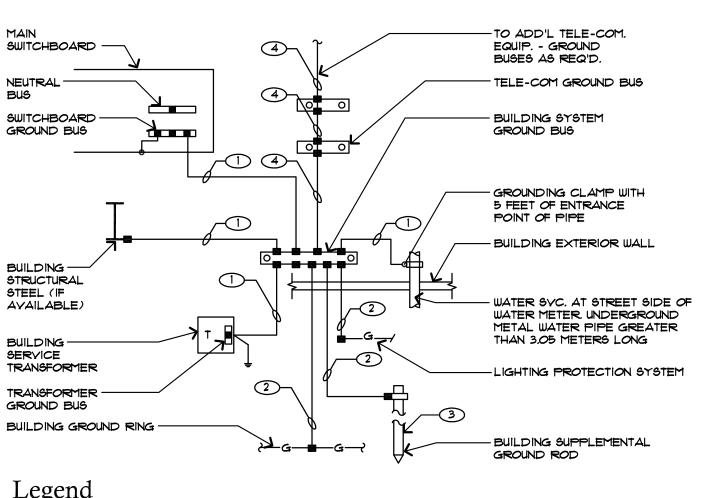
#### GENERAL NOTES - ELECTRICAL

- INCLUDE ALL ELECTRICAL WORK REQUIRED FOR A COMPLETE NEW INSTALLATION AS INDICATED ON THE PLANS.
- ALL EQUIPMENT SHALL BE NEW AND SHALL CONFORM IN ALL RESPECTS TO THE LATEST APPROVED STANDARDS OF THE I.E.E.E., AN.S.I., AND BEAR THE "UL"
- 3. ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST EDITION OF N.E.C., LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
- ALL ELECTRICAL SYSTEMS AND EQUIPMENT SHALL CONFORM TO ALL NATIONAL, STATE AND LOCAL BUILDING CODES. THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES, INCLUDING ALL COSTS ACCESSED BY THE ELECTRIC UTILITY COMPANY, AND ARRANGE FOR ALL INSPECTIONS FOR HIS WORK. AT THE COMPLETION OF ELECTRICAL WORK, THE ELECTRICAL CONTRACTOR SHALL FURNISH THE OWNER WITH ALL CERTIFICATES OF FINAL
- 5. ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG., INSTALLED IN CONDUIT, MINIMUM SIZE ±1", AND SHALL BE TYPE "THUN" UNLESS OTHERWISE NOTED ON THE PLANS. ALL FEEDERS AND SECONDARY SERVICE CONDUCTORS SHALL BE COPPER WITH 600 YOLT INSULATION. FEEDERS SHALL BE THUN OR XHHW AND SECONDARY SERVICE CONDUCTORS SHALL BE XHHW, INSTALLED IN CONDUIT, UNLESS OTHERWISE NOTED ON THE PLANS.
- 6. ALL CONDUIT SHALL BE CONCEALED, UNLESS OTHERWISE NOTED. EXPOSING OF ANY CONDUIT SHALL HAVE APPROVAL OF THE OWNER.
- FUSES SHALL BE "UL" LISTED, DUAL-ELEMENT, AS MANUFACTURED BY BUSSMAN CO., OR APPROVED EQUAL (200,000 AIC). ALL FUSES INSTALLED IN MAIN DISTRIBUTION PANELS SHALL BE "CURRENT LIMITING" TYPE, UNLESS NOTED
- 8. ALL DUPLEX RECEPTACLES SHALL BE SPECIFICATION GRADE 125 VOLT, 15 AMP, GROUNDED TYPE, EQUAL TO HUBBELL #5252 SERIES, P.45. OR BRYANT. COLOR TO BE AS SELECTED BY THE OWNER.
- 9. ALL GROUND FAULT RECEPTACLES SHALL BE SPECIFICATION GRADE 120 YOLT, 15 AMP, U.L. LISTED UNDER 498 RECEPTACLE REQUIREMENTS AND 943 CLASS A REQUIREMENTS, SHALL CONFORM TO NEC REQUIREMENTS, AND EQUAL TO HUBBELL SERIES #5260, P.46., OR BRYANT. COLOR TO BE AS SELECTED BY THE
- 10. SWITCHES SHALL BE 20 AMP, 120/227 VOLT, SPECIFICATION GRADE SINGLE, DOUBLE, ETC., AS INDICATED, EQUAL TO HUBBELL #1120 SERIES, P.45., OR BRYANT. COLOR TO BE AS SELECTED BY THE OWNER.
- 11. ALL STEEL WITH BAKED ENAMEL FINISH, BELL #10, 12 OR 14 SERIES, OR AS SELECTED BY THE OWNER
- 12. ALL CONDUIT SHALL BE ELECTRICAL METALLIC TUBING (E.M.T.); MINIMUM SIZE  $\pm$ ", UNLESS NOTED OTHERWISE ON THE PLANS.
- 13. PANELBOARDS SHALL BE 120/140 YOLT, 1 PHASE, 3 WIRE, 20" WIDE WITH COPPER BUS AND BOLT-ON BREAKERS RATED 10,000 A.I.C. SIMILAR TO SQUARE D, TYPE
- ALL PANELBOARDS SHALL HAVE A TYPEWRITTEN DIRECTOR IDENTIFYING EACH CIRCUIT THAT EACH CIRCUIT BREAKER SERVES.
- 14. LIGHTING FIXTURES SHALL BE INSTALLED COMPLETELY WIRED AND EQUIPPED WITH LAMPS, BALLASTS, STARTERS, LENSES, ETC.
- 15. FLUORESCENT FIXTURES, UNLESS SPECIFIED OTHERWISE, SHALL BE SUITABLE FOR 120 OR 277 YOLT, SINGLE-PHASE, A-C, 60 HERTZ SERVICE AND SHALL BE EQUIPPED WITH 40 WATT, T-12 RAPID START LAMPS.
- 16. LIGHTING FIXTURE LOCATIONS SHOWN ON PLANS ARE APPROXIMATE. THE ELECTRICAL CONTRACTOR VERIFY EXACT LOCATIONS OF ALL LIGHTING FIXTURES WITH THE ARCHITECTURAL REFLECTED CEILING PLANS. LIGHT FIXTURES AND SPRINKLER HEAD LOCATIONS SHALL, UNLESS OTHERWISE NOTED, TAKE PRECEDENCE OVER AIR DISTRIBUTION DEVICE LOCATIONS.
- 17. EMERGENCY LIGHTING UNITS: A. FURNISH AND INSTALL EMERGENCY LIGHTING IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF N.E.C. PROVIDE A MINIMUM OF ±" FOOT CANDLE (FC), MAINTAINED, ALONG ALL PATHS OF EGRESS FROM THE BUILDING. VERIFY SPACING AND LOCATION REQUIREMENTS WITH THE EMERGENCY LIGHTING FIXTURE MANUFACTURE. COORDINATE ALL PATHS REFER TO THE LIGHTING FIXTURE SCHEDULE, INDICATED ON THE ELECTRICAL DRAWINGS FOR THE TYPE AND DESCRIPTION OF ALL EMERGENCY LIGHTING FIXTURES TO BE USED ON THIS PROJECT.
  - B. FURNISH AND INSTALL THE NUMBER OF EMERGENCY LIGHTING UNITS INDICATED ON THE PLANS AS "BASE BID" FOR THIS PROJECT.
  - C. QUOTE A "UNIT PRICE" TO FURNISH ADDITIONAL EMERGENCY LIGHTING UNITS IN EXCESS OF THE "BASE BID" REQUIREMENT.
- 18. THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE BEFORE HE SUBMITS HIS BID TO FAMILIARIZE HIMSELF WITH ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCES BETWEEN HIS WORK AND THAT OF OTHER TRADES, AND/OR ANY APPARENT VIOLATIONS OF LOCAL OR STATE CODES, LAWS, ORDINANCES, AND REGULATIONS. IF ANY INTERFERENCES OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENTS IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE ENTERING INTO CONTRACT, FAILURE TO PROVIDE THE OWNER WITH THE COMPLETE AFOREMENTIONED NOTIFICATION WILL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO ALL WORK TO MEET THE DESIGN INTENT OF THE CONTRACT DRAWINGS WITH NO ADDITIONAL EXPENSE ("EXTRAS") BEING INCURRED BY OWNER.
- 19. ALL CABINETS, MOTOR FRAMES, STARTERS, CONDUIT SYSTEMS, PANELS, ETC., SHALL BE ADEQUATELY GROUNDED IN ACCORDANCE WITH THE N.E.C. AND ALL LOCAL CODES, MAIN SERVICE EQUIPMENT SHALL BE GROUNDED WITH THE TYPE AND SIZE OF GROUNDING CONDUCTOR INDICATED IN NEC SECTIONS 250-23(A); 250-81; 250-83; **₹** TABLE 250-94.
- 20. UNLESS OTHERWISE NOTED ON THE PLANS, ALL DISCONNECT SWITCHES SHALL BE 250 YOLT OR 600 YOLT RATED, STANDARD DUTY TYPE; NEMA I, FOR INDOOR USE AND NEMA 3R FOR OUTDOOR USE. G.E., WESTINGHOUSE, OR SQUARE D. ALL DISCONNECT SWITCHES SERVING MOTORS SHALL BE HORSEPOWER RATED.
- SINGLE PHASE MOTOR STARTERS SHALL HAVE MANUAL TOGGLE SWITCH WITH THERMAL OVERLOADS, SURFACE OR FLUSH MOUNTED AS REQUIRED, ALLEN-
- 22. THE ELECTRICAL CONTRACTOR SHALL SUBMIT EQUIPMENT SHOP DRAWINGS TO THE OWNER FOR APPROVAL BEFORE INSTALLATION OF ANY OF THE FOLLOWING ELECTRICAL EQUIPMENT A. LIGHTING FIXTURES
- B. LIGHTING AND/OR RECEPTACLE PANELBOARDS C. STARTERS AND/OR DISCONNECT SWITCHES APPROVAL OF SHOP DRAWINGS DOES NOT RELIEVE THE ELECTRICAL CONTRACTOR OF HIS RESPONSIBILITY TO CONFORM TO THE CONTRACT
- APPROVAL OF SHOP DRAWINGS IS INTENDED TO BE FOR GENERAL CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS ONLY. ANY EQUIPMENT THAT IS INSTALLED THAT WILL INVOLVE THE WORK OF OTHER TRADES SHALL BE COORDINATED WITH THOSE TRADES. REFER TO OTHER
- 23. THE ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORK INSTALLED UNDER HIS CONTRACT TO BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER THE ACCEPTANCE OF THE BUILDING BY THE OWNER, AND SHOULD DEFECTS OCCUR WITHIN THIS PERIOD, REPAIR AND/OR REPLACE DEFECTIVE ITEMS, AT NO EXPENSE TO THE OWNER.
- 24. THE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATIONS OF HIS EQUIPMENT AND WORK WITH OTHER BUILDING TRADES TO AVOID ANY INTERFERENCES BETWEEN HIS WORK AND THE WORK OF OTHER BUILDING
- 25. ANY CUTTING AND/OR PATCHING, THAT MAY BE REQUIRED FORTHE INSTALLATION OF THE ELECTRICAL SYSTEM, SHALL BE DONE AND/OR REPAIRED BY THE ELECTRICAL CONTRACTOR. NO CUTTING OF THE BUILDING STRUCTURAL SYSTEM SHALL BE DONE WITHOUT THE WRITTEN APPROVAL OF THE OWNER BEING PREVIOUSLY OBTAINED.

	pai	nel: ₄		volts:	120/ 20	8 🗸	amps: 200 AMPs		
	loc	UTII1 WAL	TY ROOM L MOUNTED	phase: ³ +, 4w			main brkr. 200 AMPS		
	circuit	breaker	description	watts	circuit	breaker	description	watts	
} <del>\</del>	1	20A-1P	NITE LIGHTS, EMERG. 4 EXIT LT'G.	500	2	20A-IP	GENERAL LIGHTING	1200	
	3	20A-1P	GENERAL RECEPTS.	1200	4	20A-IP	GENERAL RECEPTS.	1200	
	5	20A-1P	GENERAL RECEPTS.	1200	6	20A-IP	GENERAL RECEPTS.	1200	
	7	20A-1P	GENERAL RECEPTS.	400	8	20A-IP	WATER HEATER	1500	
	9	20A-1P	ALARM	500	10	20A-IP	PHONES	500	
	11	20A-1P	EXTERIOR LIGHTING	600	12		SPARE		
	13		SPARE		14		SPARE		
	15		SPARE		16		SPARE		
	17		SPARE		18		SPARE		
	19		SPARE		20		SPARE		
	21		SPARE		22		SPARE		
	23		SPARE		24		SPARE		
	25		SPARE		26		SPARE		
	27		SPARE		28		SPARE		
	29		SPARE		30		SPARE		
	31		SPARE		32		SPARE		
	33		SPARE		34		SPARE		
	35		SPARE		36		SPARE		
	37				38				
	39	40A-3P	RTU-I	3500	40	40A-3P	RTU-2	4500	
	41				42				
•				7,900				10,100	

TOTAL LOAD: 18,000 WATTS / 208 = 86.5

LIGHTING PANELS SHOWN AS REFERENCE ONLY. ELECTRICAL CONTRACTOR TO SUBMIT FINAL LIGHTING PANEL SCHEDULE AS WELL AS LOAD CALCULATIONS CONFIRMING ABIDANCE TO LOCAL CODES AND REGULATIONS TO CITY OF NORTHYILLE FOR FINAL APPROVAL



#### Legend

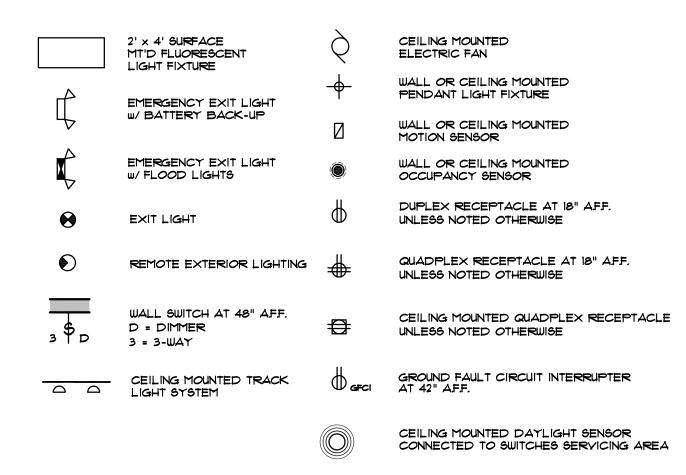
- INDICATES BOLTED CONNECTION
- 2 % AUG BARE COPPER GROUND CONDUCTOR
- INDICATES EXOTHERMIC WELD CONNECTION. COMPATIBLE WITH MATERIALS BEING JOINED
- 19mm × 3050mm (34" × 10'-0") LONG COPPER-CLAD GROUND ROD DRIVEN WITH TOP 300mm (12") BELOW GRADE
- % AWG INSULATED COPPER GROUND CONDUCTOR IN
- % AUG INSULATED COPPER GROUND CONDUCTOR IN

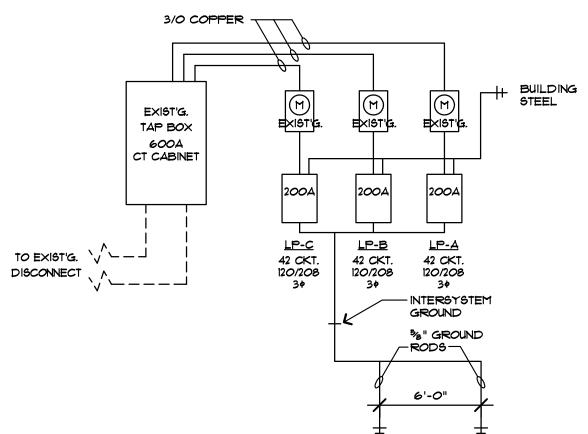
30mm CONDUIT

## Typical Ground Connection Detail NO SCALE

Lighting Fixture Schedule									
Type	Quanity	Lamps	Manufacturer or Equivalent	Remarks					
FA	٦	30 W	METALUX 22CGFP354OC	CEILING MOUNTED					
FB	8	35 W	LITHONIA MNSL L48 2LL MYOLT 40K 80CRI M6	CEILING MOUNTED					
Tr	2	4 - 10W LED	LED TRACK LIGHT SYSTEM - STYLE PER OWNER	CEILING MOUNTED					
EM-1	3	LED	LED EXIT/EMERGENCY LIGHT COMBO UNIT (LITHONIA LHQM LED R M6)	WALL OR CEILING MOUNTED					
EM-2	1	LED	LED EMERGENCY LIGHT UNIT (LITHONIA ELM2 LED HO MI2)	WALL OR CEILING MOUNTED					

## Lighting Legend

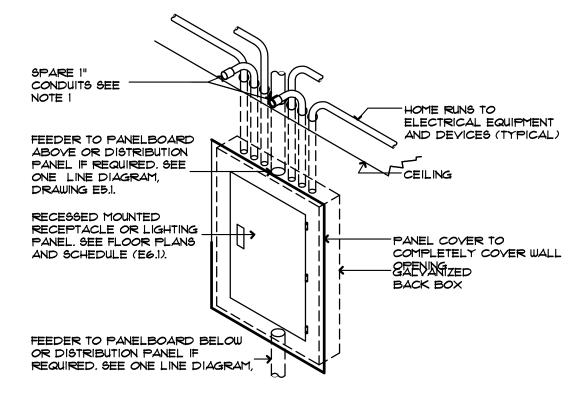




## Existing Electrical Riser Diagram

NO SCALE

(120/208V 3Ø, 4W)

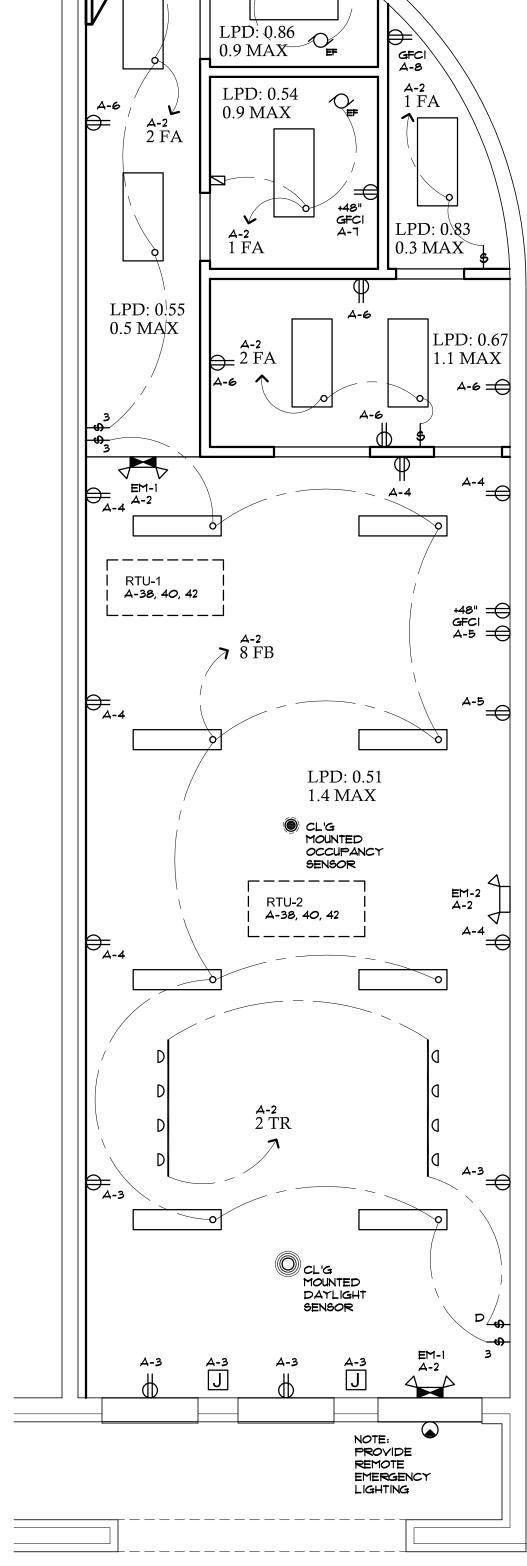


ARTIFICAL LIGHTING SHALL PROVIDE AN AVERAGE: OF AT LEAST 10 FC AT A HG'T OF 30" AFF. FOR ALL SPACES. LIGHTING FIXTURES TO BE SUPPORTED IN ACCORD. W/ N.E.C. SECTIONS 410.15 \$ 410.16 ALL MOTORS & APPLIANCES SHALL HAVE A DISCONNECTING MEANS PER N.E.C. SEC. 422.111 & 430.1X ALL WIRING METHODS & MATERIALS SHALL BE IN ACCORD. W/ N.E.C. ARTICLE 300

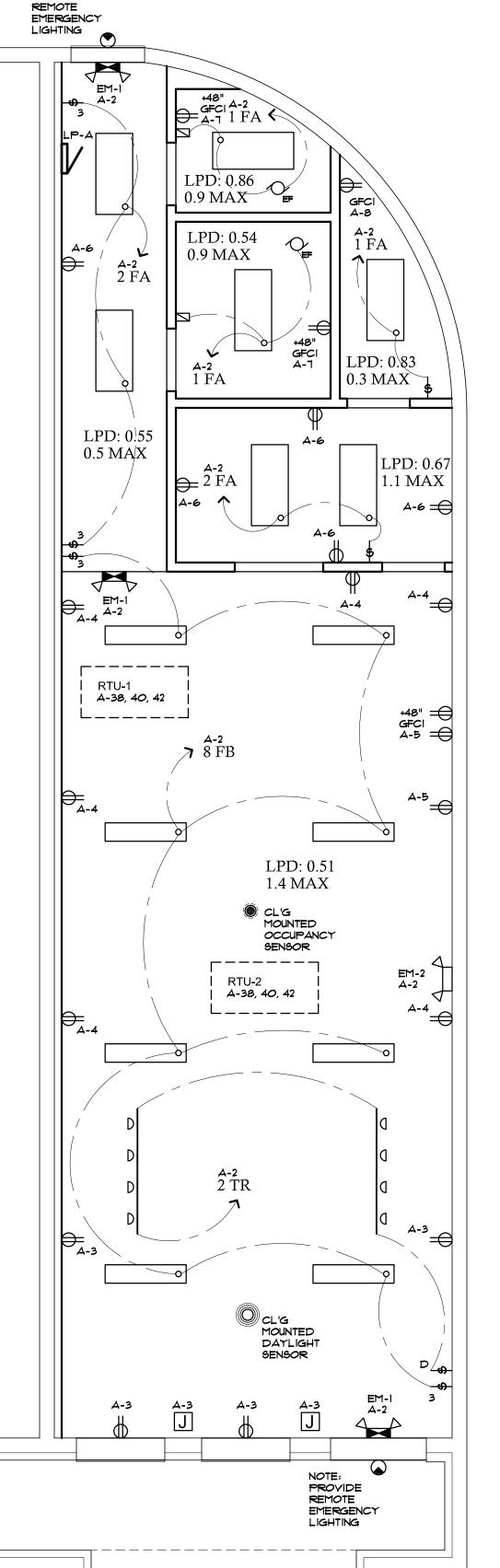
SERVICE CONDUCTOR SIZES SHALL BE ON ACCORD. W/ N.E.C. SEC. 230.23 SERVICE DISCONNECTING MEANS SHALL BE INSTALLED IN ACCORD. w/ N.E.C. SEC. 230.70 FLEXIBLE METAL AND/OR LIQUID-TIGHT FLEZIBLE METAL CONDUIT SHALL NOT BE USED AS GROUNDING MEANS. PROVIDE BONDING JUMPERS IN ACCORD. W/ N.E.C. 250.102

## Electrical Panel Detail

1. PROVIDE A TOTAL OF (4) SPARE I" CONDUITS STUBBED & CAPPED



PROVIDE





8265 messmore shelby twp., mi 48317 586.484.1499

© 2022 – CELLAR WERKS, L.L.C.. ALL RIGHTS RESERVED. THESE PLANS AND DRAWINGS ARE OWNED BY AND THE SOLE PROPERTY COPYING, REUSE OR DISTRIBUTION OF THESE PLANS THE PRIOR WRITTEN CONSENT OF CELLAR WERKS

Date Issued:

Permit. 23MAR2022

Client:

Ortiz EduCare LLC

1160 Grant St. Birmingham, MI 48009 (248) 709-4510 amy.ortiz17@comcast.net

Sheet Title:

ELECTRICAL PLAN

Project Number: C22-107

Drawn By:

JFN

Checked By:



Sheet Number:

	EXISTING WATER HEATER - ELECTRIC										
Model	First Hour	Energy	Gallon	Element Wattage		Recovery	R	Dimensions In Inches			Approx.
Number	Rating Gallons	Factor	Capacity	Standard 120 V	Standard 240 V	90°F Rise	Value	A	В	С	Shipping Weight (LBS.)
RHEEM XE306066T45UI	46	0.92	30	-	45 <i>00</i>	-	16	19.75	30	19.75	95

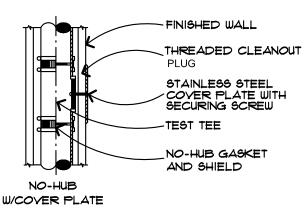
- \* "B" DIMENSION IS FLOOR TO TIEP VALVE AND FLOOR TO HOT WATER OUTLET.

  DIMENSION FROM FLOOR TO COLD WATER INLET ON ALL LOWBOY SIDE-CONNECT MODELS 3½".

  POINT-OF-USE MODELS HAVE ½" INLET AND OUTLET CONNECTIONS.
- \* PROVIDE THERMAL EXPANSION CONTROL FOR HOT WATER SYSTEM

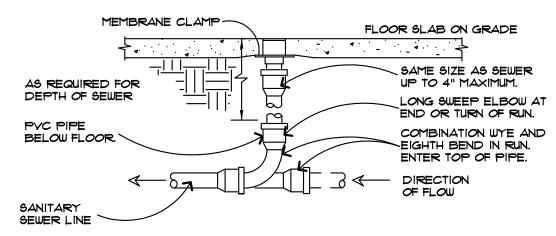
	PLUMBING FIXTURE SCHEDULE											
Mark	Description	Trap	CW	HW	Quantity	Remarks						
WC-1+	WATER CLOSET: CIMARRON COMFORT HEIGHT THE COMPLETE SOLUTION 2-PIECE 128 GPF SINGLE FLUSH ELONGATED TOILET IN WHITE, SEAT INCLUDED Model * K-11451-0	3"	2"	_	1"	_	2	FLOOR MOUNTED				
LAV-1*	LAVATORY: COUNTER MOUNTED. KOHLER " PENNINGTON" MODEL NO. K-2196 W/ AMERICAN STANDARD " INNSBROOK" ELECTRONIC FAUCET MODEL NO. 6056.202	2"	2"	2"	<b>1</b> ⁄2 "	V <sub>2</sub> "	2	COUNTER MOUNTED				
MOP-1	SERVICE SINK: MOP SINK AMERICAN STANDARD 'AKRON' NO. 769.018, MODEL 3624 W/ AMERICAN STANDARD 'HERITAGE' NO. 8340.234	2"	2"	2"	1/2"	1/2"	1	FLOOR MOUNTED				
SINK-1	KITCHEN SINK (MODEL PER OWNER)	" الأحال	2"	11/2"	1/2"	1/2"	1	FLOOR MOUNTED				
FD-I	FLOOR DRAIN	2"	2"	2"	1/2"	1/2"	1	FLOOR MOUNTED				

+ FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF "THE BARRIER-FREE



PROVIDE ROUND SECURED NICKEL BRONZE ADJUSTABLE TOP WITH "CO" CAST IN COVER. PROVIDE CLEANOUT TOP WITH VARIATIONS SUITABLE FOR FLOOR COVERING (CARPET MARKER, RECESSED FOR TILE, SCORIATED FOR UNFINISHED FLOORS). PROVIDE PLASTIC PLUG IN CAST IRON BODY. CLEAN THE TOP OF EXPOSED FCO AFTER INSTALLATION.





LOCATE AT BUILDING EXIT, AT ENDS OF RUNS, AT TURNS OF PIPE GREATER THAN 45 DEGREES, AT 50' INTERVALS ON STRAIGHT RUNS, AND WHERE SHOWN ON PLANS. PROVIDE BACKFILL PER ARCHITECTURAL SPECIFICATIONS. LOCATE CLEANOUTS WHERE THERE IS 18" CLEAR AROUND. CONSULT LOCAL CODES FOR OTHER FCO REQUIREMENTS.

## Floor Clean Out

### Plumbing Notes:

- 1. FURNISH ALL LABOR, EQUIPMENT AND MATERIALS TO PROVIDE A COMPLETE SYSTEM SYSTEM OF PLUMBING, SEWERS, WATER PIPING, ECT. ALL PLUMBING MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL STATE AND LOCAL CODES.
- ALL PIPING IS SHOWN DIAGRAMMATICALLY ONLY, EXACT LOCATION WILL BE DETERMINED AT THE JOB SITE.
- 3. PITCH ALL DRAIN LINES  $2\frac{1}{2}$ " OR LESS MINIMUM 1/4" PER FOOT, PITCH ALL DRAIN LINES 3" to 6" MINIMUM 1/8" PER FOOT.
- 4. ALL PLUMBING SHALL BE CONCEALED UNLESS OTHERWISE NOTED
- 5. ALL ELEVATIONS SHALL BE VERIFIED AT JOB SITE.
- 6. ALL WATER PIPING SHALL BE INSTALLED WITH A PITCH TO THE DRAINS, PLUMBING CONTRACTOR SHALL PROVIDE DRAWOFFS AT ALL LOW POINTS. WATER PIPING SHALL BE GALVANIZED IRON OR TYPE "L" ABOVE GRADE AND TYPE "K" BELOW GRADE COPPER WITH SIFLOS JOINTS.
- PROVDE ALL REQUIRED SHUT-OFF VALVES, UNIONS AND FITTINGS.
   PROVIDE ALL VALVES AT ALL FOOD SERVICE EQUIPMENT.
- 8. HOT AND/OR COLD WATER DROPS TO 2 OF MORE FIXTURES SHALL RUN FULL SIZE TO AIR CHAMBERS BEYOND THE FURTHEST FIXTURE BRANCH FROM DROPS. PROVIDE 12" AIR CHAMBERS AT ALL FIXTURES.
- 9. ALL HOT AND COLD WATER PIPING TO BE INSULATED. WRAP DOMESTIC COLD WATER WITH ANTI-SWEAT TAPE.
- 10. ALL PLUMBING AND SEWER TRENCHING, BACKFILLING AND SPECIAL CUTTING SHALL BE BY THIS CONTRACTOR INTERIOR TRENCHES SHALL BE BACKILLED WITH SAND. EXTERIOR TRENCHES, WHEN COMPLETED SHALL HAVE THE SAME LOAD BEARING CAPACITY AS ADJACENT GRADES.
- 11. ALL WASTE AND SOIL PIPING SHALL BE GALVANIZED OR CAST IRON WHERE SUSPENDED. CAST IRON WHERE UNDERGROUND (PVC ACCEPTABLE WHERE CODE PERMITS). YITRIFIED CLAY PIPE 5'-0" FROM BUILDING.
- 12. ALL PYC PIPING SHALL BE SCHEDULE 40, EXCEPT WHERE NOTED.
- 13. ALL PIPING ABOVES THE CEILING TO BE OF NON-COMBUSTIBLE MATERIAL.
- 14. THIS CONTRACTOR SHALL GUARANTEE THAT ALL THE EQUIPMENT,
  MATERIALS AND WORKMANSHIP SHALL BE FREE FROM DEFECTS FOR A
  PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.

#### General Note:

ALL LAVATORIES TO HAVE TEMPERED WATER PER MPC 607.1
WATER CLOSET MUST CONFORM TO HYDRAULIC
PERFORMANCE REQ'MNTS OF ASME A112.196

ALL FAUCETS & FIXTURES PROVIDING WATER FOR HUMAN CONSUMPTION COMPLY W/ ANSI/NSF 61, SEC. 9.
TEMP. WATER TO BE PROVIDED TO ACCESSIBLE HAND WASHING FIXTURES.

ALL FIXTURE TRAPS MUST HAVE A DEEP-SEAL TAP OR TRAP PRIMER INSTALLED. TRAP PRIMERS MUST CONFORM TO ASSIE 1018

WATER SERVICES & DISTRIBUTION PIPING, FITTING & CONNECTIONS SHALL CONFORM TO NSF 61. PLASTIC WATER SERV. & DIST. PIPING, FITINGS & CONNECTIONS CONFORM TO NSF 14

ALL PLUMBING PIPING TO BE INSTALLED IN ACCEPTANCE W/ SEC. 106.3, 305 \$ 308 OF THE M.P.C.

## Plumbing Facilities:

BUILDING AREA:

USE GROUP
(CHAPTER 3):

PROPOSED USE:

CONSTRUCTION TYPE
(CHAPTER 6):

DAY CARE FACILITY

CONSTRUCTION TYPE
(CHAPTER 6):

IIIB (COMBUSTIBLE)

DAY CARE FACILITY

WATER CLOSETS | PER 50 = 2

PLUMBING FACILITIES (REQUIRED): WATER CLOSETS | PER 50 = 2 WATER CLOSETS (TABLE 403.1, SECTION 403) | LAVATORY PER 50 = 2 LAVATORIES | SERVICE SINK = 1 SERVICE SINK

NOTE: DRINKING: FOUNTAIN IS NOT REQUIRED PER LARA

TABLE 709.1

TABLE IOIB

## Total Plumbing Facilities Provided

= 2 WATER CLOSETS = 2 LAYATORIES = 1 SERVICE SINK = 1 KITCHEN SINK

Drainage Fixture Units

4 PER WATER CLOSET 2 WATER CLOSETS = 8 UNITS
1 PER LAVATORY 2 LAVATORIES = 2 UNITS
1 PER SINK 2 SINKS = 2 UNITS

TOTAL = 12 UNITS

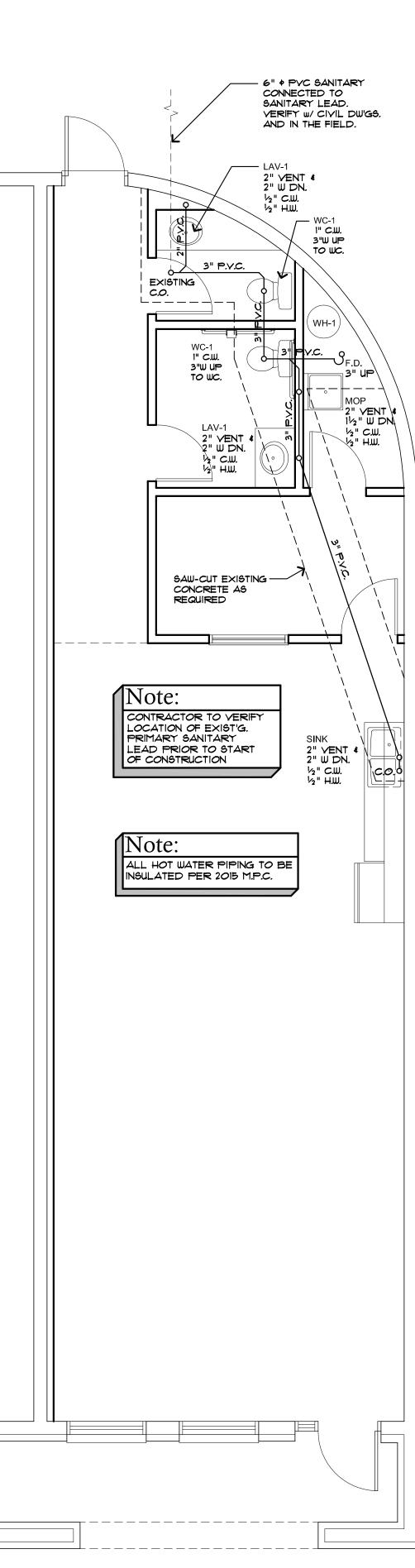
Water Supply Fixture Units

6 PER WATER CLOSET 50 PER LAVATORY 225 PER SERVICE SINK 50 PER SINK	2 WATER CLOSETS = 2 LAVATORIES = 1 SERVICE SINK = 1 KITCHEN SINK =	12 UNITS 1.0 UNITS 2.25 UNITS 0.5 UNITS
	TOTAL =	15.75 UNITS

## Hot Water Supply Requirements

EQUIPMENT	G.P.H.
(2) LAYATORIES:	10
(1) MOP SINK:	5

TOTAL GALLONS PER HOUR:







Permit: 23MAR2022

record record

Client:

LLC

Ortiz EduCare

Birmingham, MI 48009

amy.ortiz17@comcast.net

SANITARY PLAN

1160 Grant St.

(248) 709-4510

Project Number:

Sheet Title:

C22-107

Drawn By:

Checked By:

JFN

Sheet Number:

M-1

### General Notes - HVAC & Sheet Metal Work

- 1. SHEET METAL DUCTWORK CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF "SMACNA" LYDSC STANDARDS, NFPA PAMPHLETS 90A AND 96, AND THE LATEST EDITION OF THE BOCA MECHANICAL CODE AND THE A.S.H.R.A.E. GUIDE AND DATA BOOKS. DUCT SIZES, AS NOTED ON DRAWINGS, ARE NET INTERNAL DIMENSIONS. ALL DUCTS SHALL BE SEALED AIR TIGHT AND SHALL NOT ALLOW MORE THAN 10% LEAKAGE THROUGHOUT THE ENTIRE SYSTEM. SEE TABLE M-302.1, BOCA NATIONAL MECHANICAL CODE - 1987, FOR MINIMUM SHEET METAL THICKNESS.
- 2. ALL HYAC SYSTEMS AND EQUIPMENT SHALL CONFORM TO ALL NATIONAL, STATE AND LOCAL BUILDING HEALTH AND SANITATION CODES. THE HVAC CONTRACTOR SHALL PRESENT CERTIFICATES TO THE OWNER THAT ALL APPLICABLE BUILDING PERMITS HAVE BEEN SECURED BEFORE STARTING ANY WORK AND PROVIDE TO THE OWNER ALL REQUIRED CERTIFICATES OF FINAL APPROVAL FROM GOVERNING JURISDICTIONS AT THE COMPLETION OF THE WORK.
- 3. FURNISH AND INSTALL FLEXIBLE DUCT CONNECTORS ON ALL DUCT CONNECTIONS TO AIR HANDLING UNITS.
- 4. PROVIDE OPPOSED BLADE BALANCING DAMPERS AT EACH BRANCH DUCT TAKE-OFF FROM MAIN DUCTS AND OTHER LOCATIONS AS REQUIRED TO PROPERLY BALANCE
- 5. FURNISH AND INSTALL FIRE DAMPERS WHERE INDICATED ON DRAWINGS AND WHERE DUCTWORK PIERCES FIRE RATED CONSTRUCTION, AND/OR WHERE REQUIRED BY LOCAL OR STATE CODES. ALL FIRE DAMPERS SHALL BE TESTED, RATED AND BEAR THE LABEL OF UNDERWRITERS LABORATORIES AND SHALL BE INSTALLED IN THE SAME MANNER BY WHICH THEY WERE TESTED. FIRE DAMPERS SHALL BE SIMILAR TO AIR BALANCE MODEL NO. 119-AL OVERSIZE WITH 95% FREE AREA.
- 6. VIBRATION ABSORBING SUPPORTS SHALL BE INSTALLED AS REQUIRED ON ALL EQUIPMENT TO PREVENT TRANSMISSION OF VIBRATION AND NOISE TO THE STRUCTURE. PROVIDE VIBRATION ISOLATION PER A.S.H.R.A.E. STANDARDS.
- 7. HEATING VENTILATING, AND AIR CONDITIONING SYSTEMS ARE DESIGNED ON THE FOLLOWING CONDITIONS:

#### WINTER: INSIDE TEMP. 72 F. D.B. OUTSIDE TEMP. O F. D.B. 15MPH WIND.

- SUMMER: INSIDE TEMP. 78 F. D.B. 4 50% RELATIVE HUMIDITY (MAXIMUM) OUTSIDE TEMP. 98 F. D.B. 4 74 F. W.B.
- 8. THE HYAC CONTRACTOR SHALL OBTAIN OTHER TRADES DRAWINGS AND COORDINATE HIS WORK WITH THE TOTAL PROJECT AS IT RELATES TO ALL TRADES AND VISIT THE JOB SITE BEFORE HE SUBMITS HIS BID TO FAMILIARIZE HIMSELF WITH ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCES BETWEEN HIS WORK AND THAT OF OTHER TRADES, AND/OR ANY APPARENT VIOLATIONS OF LOCAL
- STATE CODES, LAWS, ORDINANCES, AND REGULATIONS. IF ANY INTERFERENCES OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENTS IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE ENTERING INTO CONTRACT WITH THE OWNER. FAILURE TO PROVIDE THE OWNER WITH THE AFOREMENTIONED NOTIFICATION WILL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK TO MEET THE INTENT OF THE CONTRACT DOCUMENTS WITH NO ADDITIONAL EXPENSE ("EXTRAS") BEING INCURRED BY THE OWNER.
- 9. SHEET METAL RUN-OUTS AND FLEX DUCT CONNECTIONS TO AIR DISTRIBUTION DEVICES SHALL BE THE SAME SIZE AS THE DEVICE NECK, UNLESS OTHERWISE
- 10. DUCTS CONNECTING TO HYAC EQUIPMENT SHALL BE THE SAME SIZE AS EQUIPMENT DUCT CONNECTIONS, UNLESS OTHERWISE NOTED.
- 11. THE HYAC CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS OF HIS EQUIPMENT WITH THE ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL CHARACTERISTICS OF EQUIPMENT TO BE FURNISHED BY HVAC CONTRACTOR.
- 12. AIR DISTRIBUTION DEVICES LOCATIONS SHOWN ON PLANS ARE APPROXIMATE. THE HYAC CONTRACTOR SHALL YERIFY EXACT LOCATIONS OF ALL AIR DISTRIBUTION DEVICES WITH ARCHITECTURAL REFLECTED CEILING PLANS AND/OR ELECTRICAL PLANS BEFORE INSTALLATION. LIGHT FIXTURES AND SPRINKLER HEAD LOCATIONS SHALL, UNLESS OTHERWISE NOTED, TAKE PRECEDENCE OVER AIR DISTRIBUTION DEVICE LOCATIONS.
- 13. THE HYAC CONTRACTOR SHALL SUBMIT EQUIPMENT SHOP DRAWINGS TO THE OWNER FOR APPROVAL BEFORE INSTALLATION OF ANY OF THE FOLLOWING HVAC EQUIPMENT:
- A. AIR-COOLED UNITS B. ROOF EXHAUST FANS C. AIR DISTRIBUTION DEVICES

APPROVAL OF SHOP DRAWINGS DOES NOT RELIEVE THE HVAC CONTRACTOR OF HIS RESPONSIBILITY TO CONFORM TO THE CONTRACT DOCUMENTS.

APPROVAL OF SHOP DRAWINGS IS INTENDED FOR GENERAL CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS ONLY. ANY EQUIPMENT THAT IS INSTALLED THAT WILL INVOLVE THE WORK OF OTHER TRADES SHALL BE COORDINATED WITH THOSE TRADES. REFER TO OTHER TRADES' DRAWINGS.

- 14. FURNISH AND INSTALL ACCESS DOORS FOR ALL DAMPERS, AND OTHER AIR DISTRIBUTION BALANCING DEVICES THAT ARE LOCATED ABOVE NON-ACCESSIBLE CEILINGS OR IN WALLS.
- 15. THE HYAC CONTRACTOR SHALL GUARANTEE ALL WORK INSTALLED UNDER HIS CONTRACT TO BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS, FOR A PERIOD OF ONE YEAR AFTER THE ACCEPTANCE OF THE BUILDING BY THE OWNER, AND SHOULD DEFECTS OCCUR WITHIN THIS PERIOD, REPAIR AND/OR REPLACE DEFECTIVE ITEMS AND ANY DAMAGE RESULTING FROM FAILURE OF THESE ITEMS AT NO EXPENSE TO THE OWNER.
- 16. THE HVAC CONTRACTOR SHALL COORDINATE LOCATIONS OF HIS EQUIPMENT AND WORK WITH OTHER BUILDING TRADES TO AVOID ANY INTERFERENCES BETWEEN HIS WORK AND THE WORK OF OTHER TRADES.
- 17. ANY CUTTING AND PATCHING, THAT MAY BE REQUIRED FOR THE INSTALLATION OF THE HVAC SYSTEMS, SHALL BE DONE AND REPAIRED BY THE HVAC CONTRACTOR NO CUTTING OF THE STRUCTURAL SYSTEM SHALL BE DONE WITHOUT THE WRITTEN APPROVAL OF THE OWNER BEING PREVIOUSLY OBTAINED.

## Duct Type Smoke Detector

FURNISH AND INSTALL WHERE SHOWN ON THE DRAWINGS A TWO WIRE, DC OPERATION ADDRESSABLE DETECTION, SIMPLEX, MODEL NO.4098-9153 DUCT HOUSING WITH APPROIATE SMOKE HEAD AND SAMPLING TUBE. THE DECTOR SHALL BE UL LISTED FOR COMPATABILITY WITH THE FIREALARM CONTROL PANEL AND SHALL OBTAIN ITS OPERATING POWER FROM THE ALARM INITIATING CIRCUIT.

DETECTORS SHALL OPERATE ON THE LIGHT-SCATTERING, PHOTO DIODE PRINCIPAL. TO MINIMIZE NUISANCE ALARMS, DETECTORS SHALL HAVE AN INSECT SCREEN AND BE DESIGNED TO IGNORE INVISIBLE AIRBOURNE PARTICALES OR SMOKE DENSITIES THAT ARE BELOW THE FACTORY-SET ALARM POINT. NO RADIOACTIVE MATERIAL SHALL BE USED.

REMOVAL OF THE DETECTOR HEAD SHALL INTERUPT THE SUPERVISORY CIRCUIT AND ACTIVATE A TROUBLE SIGNAL AT THE CONTROL PANEL.

Pac	Packaged Unit Performance Schedule (Existing)										
MARK	MODEL	NOMINAL TONS	NOMINAL CFM	NET COOLING CAPACITY (Btuh)	TOTAL kW	SE: BELT DR.		dB @ 60 Hz			
RTU-1	CARRIER 48TC**05	5.0	2000	65,000	4.0	NA	13.0	77.0			
RTU-2	CARRIER 48TC**12	10.0	5000	OOO,FII	10.3	NΔ	11.1	81.6			

Ex	Exhaust Fans								
Mark	CFM S.P.	R.P.M.	ВНР НР	MAKE / MODEL	REMARKS				
EF-1	75 .125	1,050	1/2 <i>00</i> H.P.	GREENHECK MODEL NO. G-060-E	REMOTE SPEED CONTROL SWITCH MODEL NO. 5W				

Required Fresh Air Calculation:					
PROVIDE THE REQUIRED Day Care OUTDOOR AIR PER TABLE 403.3.1.1 OF THE MM.C 2015					
Occupant Density #/1000 FT^2 (DAY CARE)	People outdoor airflow rate in breathing zone, RP cfm/person	Area outdoor airflow rate in breathing zone, Ra cfm/ft2			
25 OCC'S PER 1,000 NET OCCUPIABLE SQ. FT.= 1900SF. / 100 = 19 OCCUPANTS	10 CFM / OCCUPANT 10 CFM + 54 OCC's = 540 CFM	0.18 * 1900 SQ. FT. = 342 CFM			
RTU - 2 (10.0 TON - 1000 CFM NET RATING PER MFG.					

SPECS) PROVIDES ADEQUATE FRESH AIR SUPPLY					
NOTE: BUILDING FRESH AIR PROVIDED IS ADEQUATE PER 2015 MM.C. TABLE 403.3.1.1					

Air Balance Schedule						
UNIT	OUTSIDE AIR FLOW (CFM)	RETURN AIR FLOW (CFM)	SUPPLY AIR FLOW (CFM)	EXHAUST AIR FLOW (CFM)	BUILDING PRESSURE (CFM)	
RTU-1	400	1600	2000	0	2000	
RTU-2	1000	4000	5000	0	5000	
EF-I	0	0	0	-75	-75	
EF-I	0	0	0	-75	-75	
FRESH AIR REQ.	0	0	0	-882	-882	
TOTALS	1400	5600	7000	-1032	+968 CFM	
RESULTING BUILDING PRESSURIZATION (CFM) +968 CFM						
SEE BALNCE REPORT FOR ACTUAL BUILDING PRESSURE						

Mechanical Legend			
mark	description		
	AIR SUPPLY DIFFUSER - 24" x 24"		
	TRUNK MOUNTED AIR SUPPLY - 8" x 24"		
	AIR SUPPLY DIFFUSER - 12" x 12"		
	AIR SUPPLY DIFFUSER - 18"+		
	AIR SUPPLY RETURN - 12" x 12"		
	WALL MOUNTED LOUVERED VENT AIR SUPPLY RETURN		
T	THERMOSTAT AT 60" AFF.		

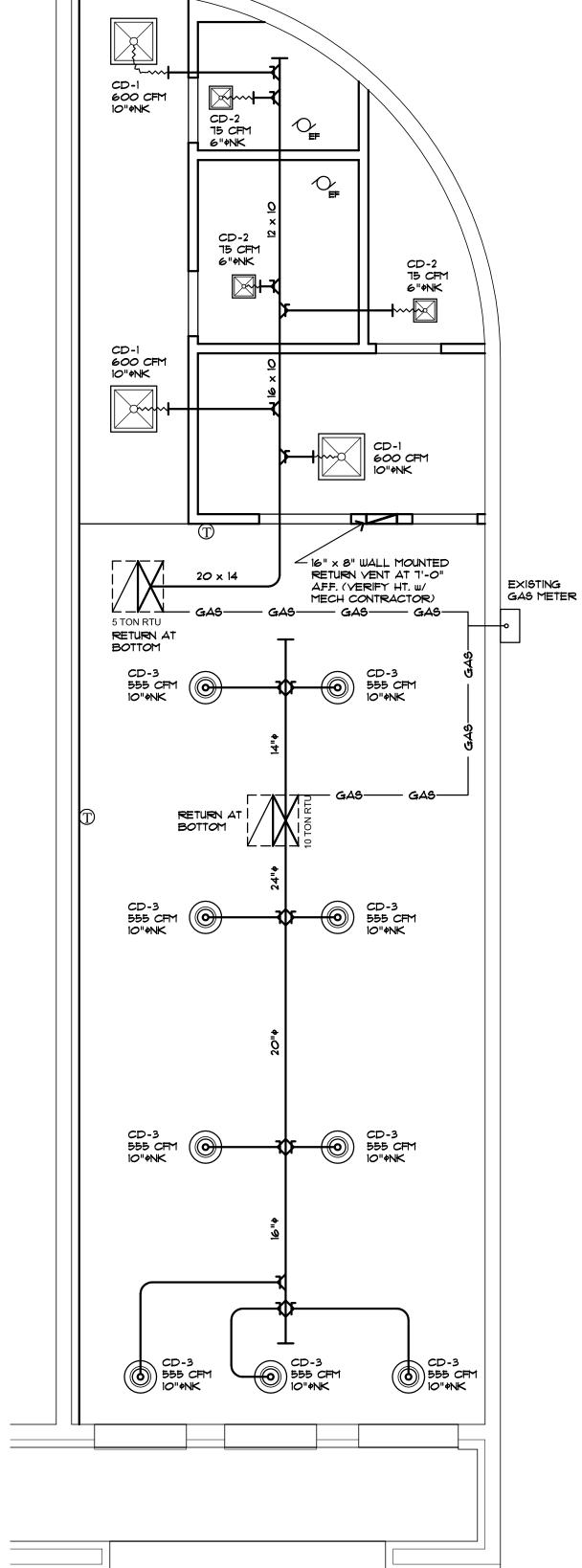
## Heat Load Calculations

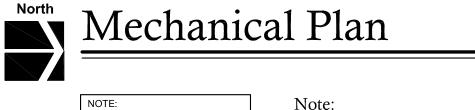
54 OCCUPANTS AT 222 BTU'S/OCC =

11,988 BTU'S / HOUR

Governing Codes

2015 MICHIGAN BUILDING CODE 2015 MICHIGAN MECHANICAL CODE

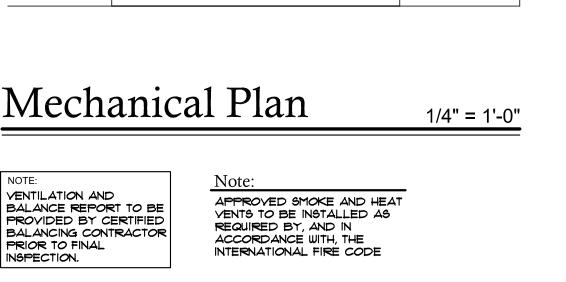




VENTILATION AND

PRIOR TO FINAL

INSPECTION.





shelby twp., mi 48317 586.484.1499 © 2022 – CELLAR WERKS, L.L.C.. ALL RIGHTS RESERVED. THESE PLANS AND DRAWINGS ARE OWNED BY AND THE SOLE PROPERTY OF CELLAR WERKS L.L.C.. ANY REPRODUCTION, COPYING, REUSE OR DISTRIBUTION OF THESE PLANS

AND DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF CELLAR WERKS

Date Issued:

Permit. 23MAR2022

Client:

Ortiz EduCare LLC

1160 Grant St. Birmingham, MI 48009 (248) 709-4510 amy.ortiz17@comcast.net

Sheet Title:

MECHANICAL PLA

Project Number:

C22-107

Drawn By: JFN

Checked By:

onstruction



Sheet Number:

## Existing Building Elevation and Signage

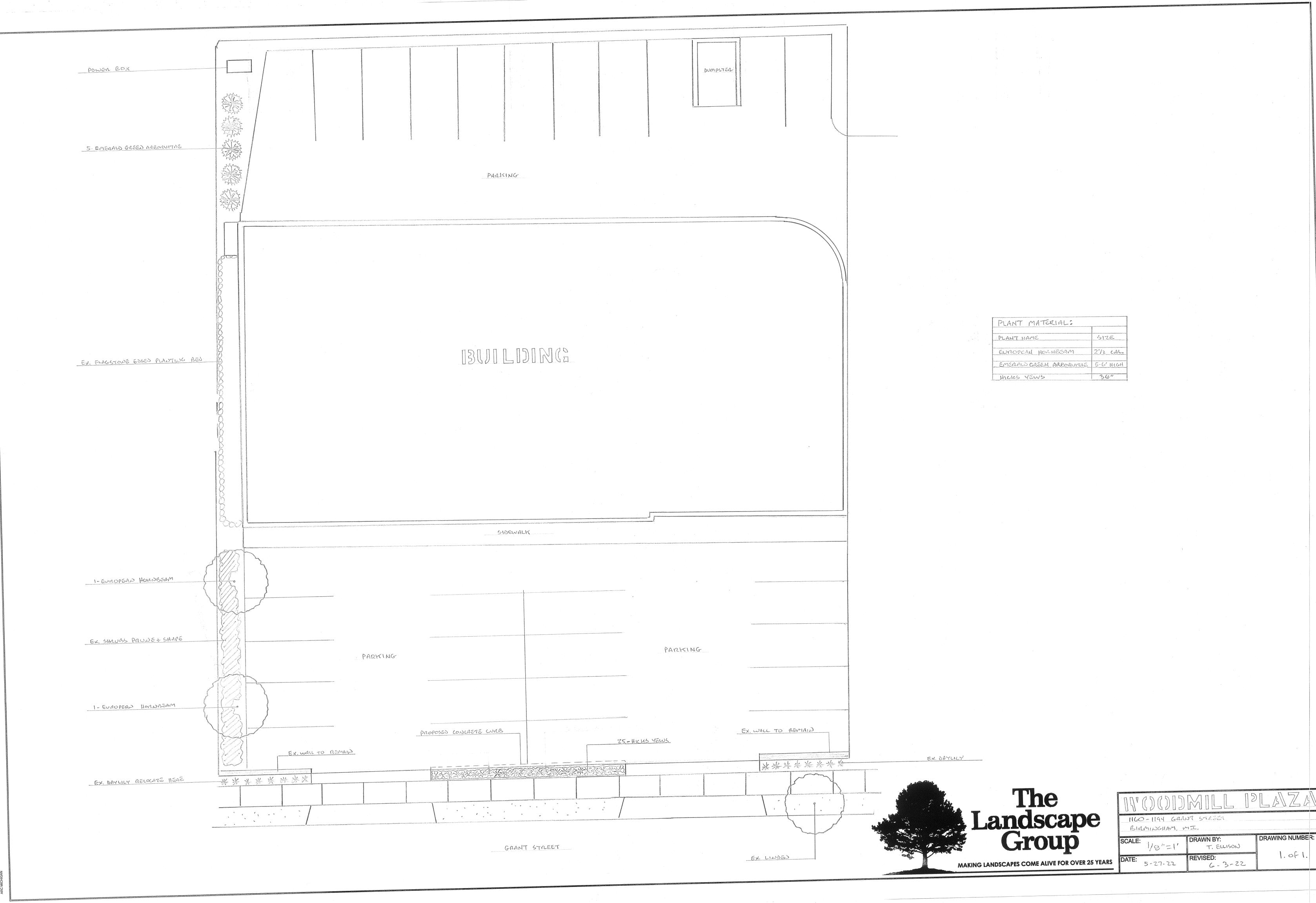
1194, 1190, 1160 Grant Street, Birmingham MI 48009

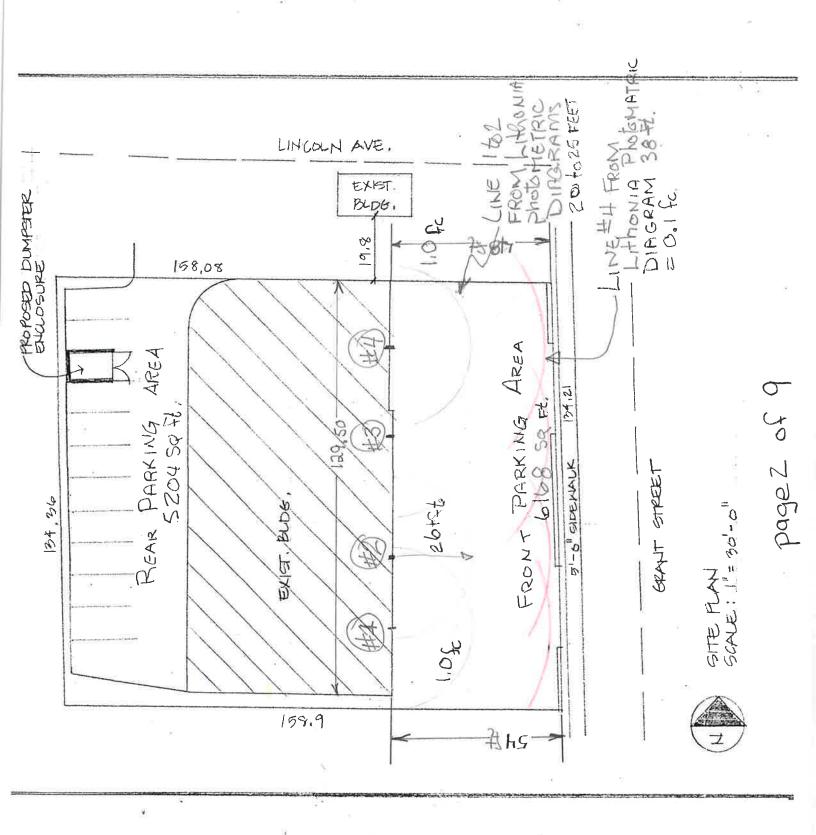
#### **Existing Building Elevation and Signage:**



**Existing Front Elevation** 

not to scale





3



280 N. Old Woodward Suite 12

Birmingham, MI 48009

248.385.3112 248.835.2068

**888.450.1682** 

jphowe o jphowe.com www.jphowe.com

April 5, 2022

VIA HAND DELIVERY

Birmingham Planning Board c/o Mr. Nick Dupuis Planning Director City of Birmingham 151 Martin St. Birmingham, MI 48009

Re: Special Land Use Permit Application to Operate a Child Care

Center in B-1 Zoning District

Applicant: Ortiz EduCare, LLC

Address: 1160 Grant St.

Birmingham, MI 48009

Dear Members of the Birmingham Planning Board,

On behalf of Ortiz EduCare, LLC ("Ortiz EduCare"), we hereby submit a Special Land Use Permit Application to operate a Child Care Center at 1160 Grant St. Ortiz EduCare is owned by Birmingham resident Amy Ortiz, who has been an educator for over 20 years. As a former pre-school teacher with Birmingham Public Schools, and the current owner and operator of a licensed home based child care center in Birmingham, it is Amy's lifelong dream to open her own pre-school in her hometown. Ortiz EduCare would provide a safe, loving, nurturing environment for children 3 to 5 years old. Its mission is LEARN – PLAY – GROW, where students are encouraged be creative, be brave, and be curious. Children would be engaged in play based learned that creates meaningful experiences.

The subject location at 1160 Grant St. within a multi-tenant building, was once occupied by *Directions Pre-School* many years ago. Amy believes this is the perfect location for Ortiz EduCare, as it is located within a walkable neighborhood that is home to many of her students. The on-site parking lot also allows for very efficient and safe drop of and pick up of young children. The 1,900 sf suite itself is very spacious, and will be completely transformed into a wonderful learning environment for young children. No exterior changes to the building are proposed, except for a new sign that will be located above the suite entrance as depicted on the façade photo enclosed herewith. Ortiz EduCare has obtained preliminary licensing approval from the State of Michigan Department of

p. 2

Licensing and Regulatory Affairs, and requires final approval from the City of Birmingham in order to complete the State licensing process and open in Fall 2022.

Child Care Centers, including preschools, are permitted within the B-1 zoning district with a Special Land Use Permit (see Chapter 126, Section 9.02 and Section 2.27 of the Birmingham City Code). Accordingly, we submit the following items for review by the Planning Board and City Commission:

- 1. Special Land Use Permit Application executed by the Applicant, Architect and Property Owner;
- 2. Two (2) paper copies and one (1) digital copy of the project plans including:
  - a. Existing Conditions Plan
  - b. Site Plan
  - c. Interior Floor Plan
  - d. Photos of Existing Conditions (emailed direct to Planning Department)
  - e. Aerial Photo
  - f. Photo of Existing Front Elevation with Proposed Sign Location
- 3. Letters of Support for Ortiz EduCare; and
- 4. Check payable to the City of Birmingham to cover the Application fee.

The standards for approving a Special Land Use Permit are set forth in Chapter 126, Section 7.36 of the Birmingham City Code. We submit that our Ortiz EduCare meets the approval requirements for the following reasons:

(1) 7.336(A)(1). "The use is consistent with and will promote the intent and purpose of this Zoning Ordinance."

**RESPONSE**: Ortiz EduCare will provide a walkable, safe, environment for young children to learn and grow. The new use will increase the vibrancy of the subject property and the surrounding neighborhood, and is consistent with the goals of the B-1 Zoning District, which "is established for the convenience of shopping for persons residing in adjacent residential areas to permit only such uses as are necessary to satisfy those limited basic shopping and/or service needs which by their very nature are not related to the shopping pattern of the general business district." (Chapter 126, Section 2.27(A)(1) of the Birmingham City Code).

(2) "The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of the public services and facilities effected by the land use."

**RESPONSE**: Ortiz EduCare will fit in nicely with the adjacent business, residences, and City park; and will not negatively impact any of the surrounding neighbors in any way. There is sufficient on-site parking for the use, and due to the small nature of

p. 3

the pre-school there will not be a significant increase in traffic in and around the subject building at any point during the day. The pre-school will not be a drain on the City or its public services, and the hours of operation of the pre-school will not detrimentally impact any surrounding landowners.

#### (3) "The use is consistent with public health, safety and welfare of the city."

**RESPONSE**: As a resident and business owner in Birmingham, the health, safety and welfare of the community, and the families that Ortiz EduCare will serve, is of utmost importance to the Applicant. Amy Ortiz has over 20 years of experience educating children, and will operate Ortiz EduCare in the most responsible way, implementing best practices and lessons learned as a teacher and child care professional. The proposed use is a perfect fit at the subject location, the subject location was formerly occupied by a preschool, and the Applicant is excited to return that use to the neighborhood.

## (4) "The use is in compliance with all other requirements of the zoning ordinance."

**RESPONSE**: Ortiz EduCare will be operated in full compliance with the City's Zoning Ordinance, and the use is consistent with the goals of the City of Birmingham Master Plan. Ortiz EduCare will comply with all mandates and responsibilities applicable to the holder of a Special Land Use Permit within the City of Birmingham.

#### (5) "The Use Will Not Be Injurious to the Surrounding Neighborhood."

**RESPONSE**: Ortiz EduCare will not be injurious to the surrounding neighborhood. This pre-school will benefit the surrounding neighborhood, will educate young children that live in the neighborhood, and will not be operated in a way that will negatively impact the surrounding neighborhood in any way.

#### (6) "The Establishment is not in violation of any State or Federal Statutes."

**RESPONSE**: Ortiz EduCare has not opened for business yet, and is not in violation of any state laws or federal statutes.

\* \* \*

Overall, we submit that the proposed use of the subject building will be a great addition to this neighborhood, and will a serve a real need for additional quality young childhood education programs in the City. We appreciate you considering our application, and look forward to appearing with our client before the Planning Board and City Commission to present this Application and address any questions or concerns that City

#### Ortiz EduCare, LLC Special Land Use Permit Application April 5, 2022

p. 4

stakeholders may have. Should you have any questions or concerns regarding this project, please do not hesitate to contact me.

Very truly yours,

JPHOWE, PLLC

J. Patrick Howe

Dear City of Birmingham Planning Division,

Hoping that this letter finds you all well. My name is Amy Ortiz and I have been a resident of Birmingham for over 20 years, raised two wonderful children that attended Birmingham schools. My husband and I are extremely vested in the community. I am a teacher and due to the pandemic, I resigned from Birmingham Public Schools in August of 2020 as our preschool program was on hold along with all the other uncertainties.

In the spring of 2021, my husband and I decided to get our home fully licensed and had a small, wonderful summer program which inspired me to create **Ortiz Educare!** I have a small preschool that is going wonderfully, along with having a waitlist for fall of 2022 as childcare is in such a high demand in our community right now. We are currently in the process of pursuing a small location / building at **1160 Grant Street.** The spot was once a preschool, and we feel it is the perfect location and size as many of our current families live in this walking neighborhood. We have worked extremely hard to provide a safe and loving environment. We currently have a waitlist for the fall 2022 and excited to further expand the business. I feel blessed as this opportunity has evolved my career and continue to do what I love.... teach and raise good people!

Sincerely,

**Amy Ortiz** 

Ortiz Educare LLC 2549 Buckingham Ave. Birmingham, MI 48009 248.709.4510

## **Our Mission:**

## Learn ~ Play ~ Grow

Ortiz Educare provides a safe, loving, and nurturing environment for children ages 3 to 5 years old. We encourage the students to aspire to BE creative, BE brave, and BE curious. At Ortiz Educare children are engaged in play-based learning that creates meaningful experiences.



## Special Land Use Permit Application Planning Division

Form will not be processed until it is completely filled out.

Applicant Name: Ortiz Educare, LLC
Address: 2549 Buckingham Ave.
Birmingham, MI 48009
Phone Number: c/o Amy Ortiz (248) 709-4510
Fax Number: N/A
Email address: amy.ortiz17@comcast.net
Applicant's Attorney/Contact Person
Name: J. Patrick Howe Address: 280 N. Old Woodward Ave., Suite 12
Birmingham, MI 48009
Phone Number: (248) 385-3112
Fax Number: (888) 450-1682
Email address: jphowe@jphowe.com
Required Attachments
I. Two (2) paper copies and one (1) digital copy of all
project plans including:
i. A detailed Existing Conditions Plan
including the subject site in its entirety,
including all property lines, buildings,
structures, curb cuts, sidewalks, drives,
ramps and all parking on site and on the
street(s) adjacent to the site, and must
show the same detail for all adjacent
properties within 200 ft. of the subject
site's property lines;
ii. A detailed and scaled Site Plan depicting
accurately and in detail the proposed
construction, alteration or repair;
iii. A certified Land Survey;
iv. Interior floor plans;
Project Information
Address/Location of the property: 1160 Grant St.
Birmingham, MI 48009
Name of development: Ortiz Educare Pre-School
Sidwell #: 08-19-36-403-031

Current Use: Vacant

Current zoning: B-1

Proposed Use: Child Care Center (Pre-School

Is the property located in the floodplain? No

Date of Preliminary Site Plan Approval: N/A

Name of Historic District Site is located in: N/A
Date of Historic District Commission Approval: N/A

Date of Application for Preliminary Site Plan: N/A

Area of Site in Acres: .498 acres

**Property Owner** Name: Woodmill of Birmingham, LLC Address: Attn: Gerard Szczepaniak - PO Box 2224 Birmingham, MI 48009 Phone Number: (734) 748-7085 Fax Number: N/A Email address: anngerrys@aol.com Project Designer/Developer Name: Jon Noocha, Architect Address: Cellar Werks 8265 Messmore Rd., Shelby Twp., MI 48317 Phone Number: (586) 484-1499 Fax Number: N/A Email address; noochaj@hotmail.com A Landscape Plan; 1 A Photometric Plan; vi. Colored elevation drawings for each ∀ii. building elevation; Specification sheets for all proposed materials, light II. fixtures and mechanical equipment; III. Samples of all proposed materials; IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures; V. Current aerial photographs of the site and surrounding properties: VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner, VIL Any other data requested by the Planning Board. Planning Department, or other City Departments. Date of Application for Final Site Plan: N/A Date of Final Site Plan Approval: N/A Date of Application for Revised Final Site Plan: N/A Date of Revised Final Site Plan Approval: N/A Date of Design Review Board Approval: N/A Is there a current SLUP in effect for this site?

Date of Application for SLUP:\_No\_

Date of Last SLUP Amendment: N/A

Will proposed project require the division of platted lots? No

Will proposed project require the combination of platted lots?

Date of SLUP Approval: N/A

No

	Interior renovation of existing vacant suite at 1160 Grant St., Birmin changes or renovations are proposed. New exterior signage depic materials for additional information and details regarding project.	sted on racade rendering. See enclosed application letter and
		<del></del>
١.	Buildings and Structures	
	Number of Buildings on Site: 1	Use of Buildings: Multi tenant building. Laundry / Dry Clean
	Number of Buildings on Site: 1 Height of Buildings & # of Stories: 18 ft 1 story	Height of Rooftop Mechanical Equipment: N/A - no changes
١.	Floor Use and Area (in Square Feet)	
	Proposed Commercial Structures:	
	Total basement floor area: N/A - no basement	Office Space: 0
	Number of square feet per upper floor: N/A - 1 story	Office Space: 0 Retail Space: 0
		Industrial Space: 0
	Total floor area: 8,405 Floor area ratio (total floor area ÷ total land area): 60.6%	Assembly Space: 0
		Seating Conneive
	Open space: 11,927	Seating Capacity: Maximum Occupancy Load:
	(20,332 / 8,405) Open space: 11,927 Percent of open space: 39.4%	Mildelitt (Vicorpency Leville)
	Proposed Residential Structures: Not Applicable - no residen	ntial structures
	Total number of units:	Rental units or condominiums?
ı	Number of one bedroom units:	Size of one bedroom units:
	Number of two bedroom units:	Size of two bedroom units:
	Number of three bedroom units:	Size of three bedroom units:
	Open space:	Seating Congcity:
	Open space: Percent of open space:	Seating Capacity:
	Proposed Additions: Not Applicable - no additions proposed	
	Total basement floor area, if any, of addition:	Llas of additions
	Number of floors to be added:	Use of addition:
	Number of floors to be added:	Height of addition:
	Square footage added per floor:	Office space in addition:
	Total building floor area (including addition):	Refail space in addition:
	Floor area ratio (total floor area ÷ total land area):	Industrial space in addition:
	Open Space:	Assembly space in addition:  Maximum building occupancy load (including addition):
	Percent of open space:	iviaximum ounting occupancy to a (menting auction)
n	. Required and Proposed Setbacks Not Applicable - existi	ng huilding
0	Paguired front extended	Proposed front cethook:
	Required front setback:	Proposed front setback:
	Required rear setback:	Proposed rear setback
	Required total side setback:	Proposed total side setback:
	Side setback:	Second side setback:  N/A - Existing
1.	Required and Proposed Parking	
	Required number of parking spaces: 28	Proposed number of parking spaces: 29
	Typical angle of parking spaces: N/A	Typical size of parking spaces: 9' x 20'
	Typical width of maneuvering lanes: 24'	Number of spaces <180 sq. ft.:
		NT 1 C1 1
	Location of parking on site: In front and rear of building	Number of handican spaces: 1
	Location of parking on site: In front and rear of building	Number of handicap spaces: 1
	Location of parking on site: In front and rear of building Location of parking off site: None  Number of light standards in parking area: N/A - existing building	Shared parking agreement? No Height of light standards in parking area: N/A - existing buildi

12. Landscaping Not Applicable - existing building Location of landscape areas:	Proposed landscape material:
3. Streetscape Not Applicable - existing building	
Sidewalk width:	Description of benches or planters:
Number of plantasi	Species of existing trees:
Number of planters:  Number of existing street trees:	
Number of proposed street trees: Streetscape plan submitted?	Species of proposed trees:
4. Loading Not Applicable - loading not required	Proposed number of loading spaces:
Required number of loading spaces: Typical angle of loading spaces:	Typical size of loading spaces:
Screenwall material:	Height of screenwall:
Location of loading spaces on site:	Typical time loading spaces are used:
5. Exterior Waste Receptacles Not Applicable - existing buildin	20
Required number of waste receptacles:	Proposed number of waste receptacles:
Location of waste receptacles:	Size of waste receptacles:
Screenwall material:	Height of screenwall:
6. Mechanical Equipment Not Applicable - existing building  Utilities and Transformers:  Number of ground mounted transformers:	Location of all utilities & easements:
Size of transformers (L•W•H):	
Number of utility easements:	
Screenwall material:	Height of screenwall:
Ground Mounted Mechanical Equipment:  Number of ground mounted units:  Size of ground mounted units (L•W•H):	Location of all ground mounted units:
Size of ground mounted units (L•W•H):  Screenwall material:	Height of screenwall:
Rooftop Mechanical Equipment:	I austing of all mostless uniter
Number of rooftop units:	Location of all rooftop units:  Size of rooftop units (L•W•H):
Type of rooftop units:	Percentage of rooftop covered by mechanical units:
Screenwall material:	Height of screenwall:
Lucation of Scientifican.	Height of screenwall:  Distance from rooftop units to all screenwalls:
7. Accessory Buildings Not Applicable - no accessory buildings	Charles and a consumer have the state of the
Number of accessory buildings:	Size of accessory buildings:  Height of accessory buildings:
Location of accessory buildings:	rieight of accessory buildings.
Building Lighting Not Applicable - existing building     Number of light standards on building:	Type of light standards on building:

Size of light fixtures (L•W•H):	Height from grade:
Maximum wattage per fixture:	Proposed wattage per fixture:
Light level at each property line:	
D. Site Lighting Not Applicable - existing building	
Number of light fixtures:	Type of light fixtures:
Size of light fixtures (L•W•H):	Height from grade:
Maximum wattage per fixture:	Proposed wattage per fixture:
Light level at each property line:	Holiday tree lighting receptacles:
Adjacent Properties Not Applicable - existing building	J8
Number of properties within 200 ft.:	
Property #1	
Number of buildings on site:	Property Description:
Zoning district:	
Use type:	
Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property?
Property #2	
Number of buildings on site:	Property Description:
Zoning district:	
Use type:	
Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property?
Property #3	
Number of buildings on site:	Property Description:
Zoning district:	
Use type:	
Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property?
Property #4	
Number of buildings on site:	Property Description:
Zoning district:	
Use type:	
Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property?
Property #5	
Number of buildings on site:	Property Description:
Zoning district:	
Use type:	
Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property?
1 0 1	

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Date of Approval:	Date of Denial:	Accepted by:	
Application #:	Date Received:	Fee:	
	Office Use Only		
Print Name: JON	I Noocha		
Signature of Architect:		Date:	3 1 2022
Print Name:	tmy Ortiz O		4 1
Signature of Applicant	Lyny Unting	Date:	3/1/2022
Print Name: GERY	ARD SZCZEPPON	IAK_	01 1000
Signature of Owner:	Senoul Segen	Mack Date:	4-4-2022



#### SPECIAL LAND USE PERMIT APPLICATION CHECKLIST - PLANNING DIVISION

Applican	t: Ortiz Educare, LLC	Case #:	Date;	
Address:	1160 Grant St., Birmingham, MI, 48009	Project: Ortiz Educare F	re-Schoo	
applicable	lans and elevation drawings prepared for appere requirements of the City of Birmingham. It is to be legible and of sufficient quality to provimust be folded and stapled together. The additional stapled together.	f more than one page is used, de for quality reproduction or	each page shall be numbered sequentiall recording. Plans must be no larger than	ly. All 124" x
A full Si	an for Special Land Use Permit ite Plan detailing the proposed changes for (unless the drawing will not fit on one 2)			ler than
X	1. Name and address of applicant and	proof of ownership;		
X	2. Name of Development (if applicable	e);		
X	3. Address of site and legal description	n of the real estate;		
	4. Name and address of the land surve	yor; N/A - Existing Building		
X	5. Legend and notes, including a graph	nic scale, north point, and d	ate;	
X	6. A separate location map;			
	7. A map showing the boundary lines	2	sting zoning of the area proposed to	be
X	developed as well as the adjacent la 8. Aerial photographs of the subject si	•	cs;	
X	9. A detailed and scaled Site Plan depi	cting accurately and in det	ail the proposed construction, alterati	ion or
X	repair;  10. A detailed Existing Conditions Plan buildings, structures, curb cuts, side adjacent to the site, and must show t site's property lines;	walks, drives, ramps and a		
X	11. Interior floor plans;			
	12. A chart indicating the dates of any p			eals,

	13. Existing and proposed layout of streets, open space and other basic elements of the plan; N/A - Existing Building
	14. Existing and proposed utilities and easements and their purpose; N/A - Existing Building
	15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility
	lines, fire hydrants and any other significant feature(s) that may influence the design of the development;  16. General description, location, and types of structures on site; N/A - Existing Building
	17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line; N/A - Existing Building
	18. Details of existing or proposed lighting, signage and other pertinent development features; N/A - Existing Building
×	19. Elevation drawings showing proposed design;
	20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas; N/A - Existing Building
	21. Location of all exterior lighting fixtures; N/A - Existing Building
	22. A Photometric Plan depicting proposed illuminance levels at all property lines; N/A - Existing Building
	23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and N/A - Existing Building
X	24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.
Elevation	on Drawings
-	the elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale not than $1" = 100"$ (unless the drawing will not fit on one 24" X 36" sheet) and shall include:
	25. Color elevation drawings showing the proposed design for each façade of the building;  N/A - no exterior changes to building
	26. List of all materials to be used for the building, marked on the elevation drawings; N/A - no exterior changes to building
	27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas; N/A - no exterior changes to building
X	28. Details of existing or proposed lighting, signage and other pertinent development features;
	29. A list of any requested design changes; N/A - no exterior changes to building
	30. Itemized list and specification sheets of all materials, light fixtures and mechanical equiptment to be used, including exact size specifications, color, style, and the name of the manufacturer; N/A - no exterior changes to building
	31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and N/A - no exterior changes to building
X	32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



## Notice Signs - Rental Application Community Development

1. Applicant		Property Owner	
Name: Ortiz Educare, LLC		Name: Woodmill of Birn	ningham, LLC
Address: 1160 Grant St.		Address: Attn: Gerard	Szczepaniak - PO Box 2224
Birmingham, MI 48009		Birmingham, MI 48009	
Phone Number: c/o Amy C	Ortiz (248) 709-4510	Phone Number: (734) 74	8-7085
Fax Number: N/A		Fax Number: N/A	
Email address: amy ortiz	17@comcast.net	Email address: anngerr	ys@aol.com
2. Project Informati	on		
	erty: 1160 Grant St., Birmingham, MI	48009Name of Historic Distric	et site is in, if any: N/A
Name of Development: C		Current Use: Vacant	200020
Area in Acres: .498 acre		Current Zoning: B-1	
3. Date of Board Re	eview		
Board of Building Trades		Board of Zoning Appeal	s: N/A
City Commission:	TI	Design Review Board: N	
Historic District Commiss	ion: N/A	Housing Board of Appea	
Planning Board:			
remains posted duri pay a rental fee and immediately followin will be refunded who	ng the entire 15 day mandate security deposit for the Notic og the date of the hearing at v en the Notice Sign(s) are retu to return the Notice Sign(s)	ory posting period. The ce Sign(s), and to remowhich the project was re rned undamaged to the	eviewed. The security deposit Community Development
	Ortiz Educare, LLC		
Signature of Applicant:	Amy Ortiz, Manage	Date:	April 5, 2022
	Offi	ce Use Only	
Application #:	CH.	C USE CHILI	
Application #.		Fee:	



#### **FEE SCHEDULE**

Application	Fees
Administrative Approval	\$100
Administrative Sign Approval	\$100
Board of Zoning Appeals*	
<ul> <li>Single Family Residential</li> </ul>	\$310
<ul> <li>All Other Zoning Districts</li> </ul>	\$510
Community Impact Study Review*	\$2,050
Design Review*	\$350
Division/Combination of Platted Lots	\$200
Historic District Review*	
<ul> <li>Single Family Residential</li> </ul>	No Charge
<ul> <li>All Other Zoning Districts</li> </ul>	\$350
Public Notice Sign	12. K
Notice Sign Rental	\$50
Returnable Sign Bond	\$100
	→ \$150 total
Preliminary/Final Site Plan Review	N 100 111 111 111 111 111 111 111 111 11
<ul> <li>R4 = R8 Zoning District</li> </ul>	\$850, plus \$50 per dwelling unit
Nonresidential Districts	\$1,050, plus \$50 per acre or portion of acre
Special Land Use Permit*	\$800
Plus Site Plan Review	\$1,050
Plus Design Review	\$350
<ul> <li>Plus Publish of Legal Notice</li> </ul>	\$450
Plus Sign Rental and Deposit	\$150
	→ \$2,800 total
Special Land Use Permit Annual Renewal	\$200
Temporary Use Permit	\$100
Zoning Compliance Letter	\$50

\*The fees for Board of Zoning Appeals, Community Impact Study Review, Design Review, Site Plan Review, Historic District Review and Special Land Use Permits shall be double the listed amounts in the event the work is commenced prior to the filing of an application for review by the City of Birmingham.

#### EASEMENT AGREEMENT

This Agreement made this 27th day of September A.D. 1984, by and between DAVID HOCKNEY and CARMELLA HOCKNEY, jointly and severally of the City of Birmingham, County of Oakland, and State of Michigan, parties of the first part, which expression shall include his, her or their heirs, executors, administrators, agents or assigns where the context so requires or admits, and GERARD SZCZEPANIAK, and EDWARD A. 4154 Waterwheel in. SIMAId HIS, Muc SZCZEPANIAK and IRENE SZCZEPANIAK, his wife, jointly and severally, of the City of Bloomfield Hills, County of Oakland, State of Michigan, parties of the second part, which expression shall include his, her or their heirs, executors, administrators, agents or assigns, where the context so requires or admits, Witnesseth:

Whereas, the parties of the first part own and have title to the real estate located in the City of Birmingham, County of Oakland, State of Michigan and will grant an easement over the South 20 feet of the North 1/2 of Lot 13, Assessor's Plat #5, a Subdivision of part of SW 1/4 of NE 1/4 and a part of NW 1/4 of SE 1/4 of Section 36 Village, now City of Birmingham, Oakland County, Michigan. & 100

That consideration for the easement shall be as

follows:

46031

- The easement and the entire parking lot will be lighted.
- The maintence of the lot and the easement would be covered; including repairs, surfacing, patching and snow removal. The lot would be paved according to the city engineer, and if a catch basin is needed the Party of the 2nd Part will provide one and any other necessary drainage equipment.
- The Party of the 2nd Part shall not interfere with the seven (7) parking spaces adjacent to the business of the party of the 1st Part.
- The wood beams on the property of the Party of the 1st Part will be cut and placed to make bumper blocks for parking spaces.



7.00 4ll

- A garbage dumpster will be provided for the Party of the 1st Part for use in the back of the mall, and that the disposal of the garbage will be mutually provided for. The garbage area of the Party of the 1st Part will be replaced and enclosed by cedar as it was prior to construction.
- No other businesses involved in the following aspects of cosmetology will be allowed to rent space in the mall:
  - Haircutting
  - Electrolysis
  - c. Barber Shop
  - d. Wig Shop
  - Manicuring
  - Makeup and Hair Supplies
  - Body Massage

I cent 1

- Facials and Facial Massage
- Hair Replacement
  Manufacture of HAIR Goods
- The Party of the 1st Part shall retain all air space above the easement.

The consideration for the easement shall be binding on the Party of the 2nd Part or their heirs and assigns.

This Agreement has been executed in duplicate by the parties hereto and each executed copy thereof shall be considered an original.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals this 27th day of September 1984. IN OAKLAND County, MichigAW This CAS APPENRED BEFOR Motary Public, Oakland County, MI Try Commission Expires My Commission Expires Mar. 3, 1985 WITNESSETH: color J. TENNAM

121 1

Profted By:
Casey K. Am Brose
1350 E. West Maple Rd
Walled Lake, Milligan
48088
Attorney-at Law

4154 Waterwheel Ln Bloom FIELD Hille TRUCK 48013

## USER 8794 PAGE 451

STATE OF MICHIGAN COUNTY OF Oakland

The foregoing instrument was acknowledged before me this
by David Hockney & Carmella Hockney, his wife and Gerard Szczepaniak, Edward A.

My commission expires

March 3, 1095

March 3, 1985
ROBERT J. TENNANT, SR.
Notary Public, Oakland County, MI
My Commission Expires Mar. 3, 1985

M. Wallen & Care, .

Robert J. Tennant Sr. Notary Public

County, Michigan

english to the enganemic shall be trolling to the start of the start health and religion.

od Tiade Toered yodo Teodooxi doso e en mer m

Reformation Szczephwiak

Second Szczephwiak

Manual State Wheel Lane

Bloomfield Hills, MI 48013

CERKIN SZICZEPRES

## Proposed Landscape Plantings for 1160-1194 Grant Street

## Front Landscape:

(18) Hicks Yews Botanical Name Taxus x media

(5) Karl Foerester Grasses Botanical Name Calamagnostis acutiflora

(2) European Hornbeam Trees Botanical Name Carpinus betulus

### Back Landscape:

(5) Green Giant Arborvitae Botanical Name Thuja Green Giant

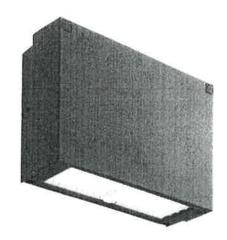
Search

Q

HOME // PRODUCTS // WPX2 LED WALL MOUNT

SHARE &













## WPX2 LED Wall . Mount

Size 2 - 6,000 lumens

By Lithonia Lighting



OVERVIEW

**SPECIFICATIONS** 

WPX Wall Mount Luminaires are cost-effective and energyefficient making them ideal for HID replacement and budgetconstrained new construction projects.

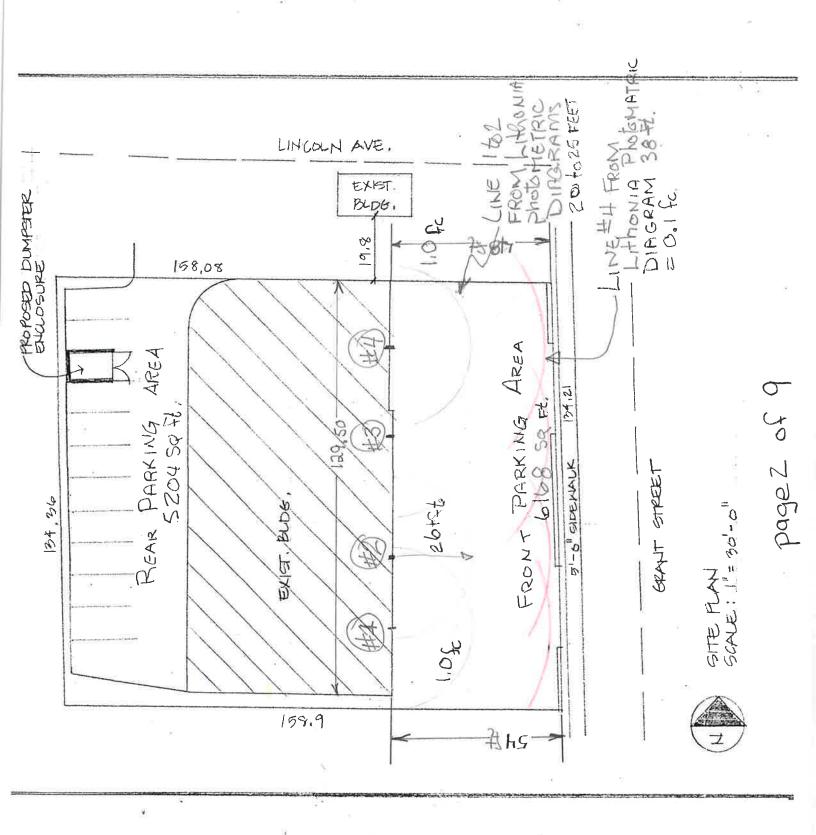
The WPX family has three sizes with lumen packages of 1,500 to 9,200 lumens creating a solution that meets the needs of over-the-door lighting to 400W metal halide replacement at mounting heights of up to 20 feet. The simple geometric shape of the WPX luminaires allows them to blend with any architecture while the footprint covers the stain left by the fixture it replaces. The WPX features a wide light distribution that creates safe, continuous illumination of the perimeter of the building. Low initial cost, high energy savings, and DLC Premium listing enable fast paybacks, typically less than two years.

#### PRODUCT INFORMATION

Spec Sheets	+
Photometry & Revit (BIM)	+
Technical Documents (e.g. Instruction Sheets, MSDS, CAD)	+
Marketing Material (e.g. Brochures, Sell Sheets, FAQs, )	<b>(</b>
Need Product Assistance? (e.g. How to Buy Technical Support, Warranty)	4

**GALLERY** 

olicy and cookie disclosure for details on how we use cookies, as well as way



3



## WPX LED Wall Packs









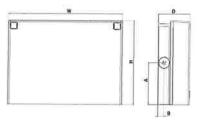








#### **Specifications**



#### **Front View**

#### Side View

	Luminairo	Height (H)	l) Width (W)	Depth (D)	Side Conduit Location		Matala	
١	Luillifalle	neight (n)	with this (w)	vepth (v)	A	В	Weight	
	WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 fbs (2.8kg)	
2	WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)	
	WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4,7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)	

# Catalog Number Notes

#### Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

#### **Ordering Information**

#### **EXAMPLE: WPX2 LED 40K MVOLT DDBXD**

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1 1,550 Lumens, 11W 1 WPX1 LED P2 2,900 Lumens, 24W WPX2 LED 6,000 Lumens, 47W WPX3 LED 9,200 Lumens, 69W	30K 3000K 40K 4000K 50K 5000K	MVOLT 120V - 277V 347 347V <sup>3</sup>	(blank) None  E4WH Emergency battery backup, CEC compliant (4W, 0°C min) <sup>2</sup> E14WC Emergency battery backup, CEC compliant (14W, -20°C min) <sup>2</sup> PE Photocell <sup>3</sup>	DDBXD Dark bronze DWHXD White DBLXD Black Note: For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

#### NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- 2. Battery pack options only available on WPX1 and WPX2.
- 3. Battery pack options not available with 347V and PE options.

#### **FEATURES & SPECIFICATIONS**

#### INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

#### CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

#### ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection).

All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

#### INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

#### **LISTINGS**

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at <a href="www.designlights.crg/QP">www.designlights.crg/QP</a>, to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

#### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

vanv.acuitybrands.com/CustomerResources/Terms\_and\_conditions.aspx

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2020-2022 Acuity Brands Lighting, Inc. All rights reserved.

#### **Performance Data**

#### **Electrical Load**

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

#### **Projected LED Lumen Maintenance**

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000	
Lumen Maintenance Factor	>0.94	>0.92	>0.90	

#### **HID Replacement Guide**

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

#### **Lumen Output**

Luminaire	Color Temperature	Lumen Output
	3000K	1,537
WPX1 LED P1	4000K	1,568
	5000K	1,602
	3000K	2,748
WPX1 LED P2	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
	3000K	8,984
WPX3	4000K	9,269
	5000K	9,393

## Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0℃	32°F	1.05
5℃	41°F	1.04
10℃	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25℃	77°F	1.00
30℃	86°F	0.99
35℃	95℉	0.98
40°C	104°F	0.97

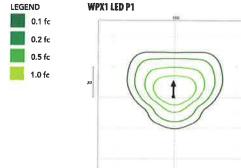
#### **Emergency Egress Battery Packs**

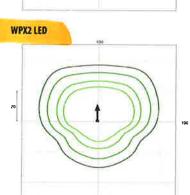
The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0℃	4W	E4WH	WPX2 LED 40K MVOLT E4WH DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT <b>E14WC</b> DDBXD

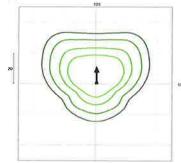
#### **Photometric Diagrams**

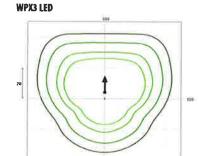
To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WPX LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards





#### WPX1 LED P2





Mounting Height = 12 Feet.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2020-2022 Acuity Brands Lighting, Inc. All rights reserved.

## **HID Replacement Guide**

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47₩
WPX3	400W	69W

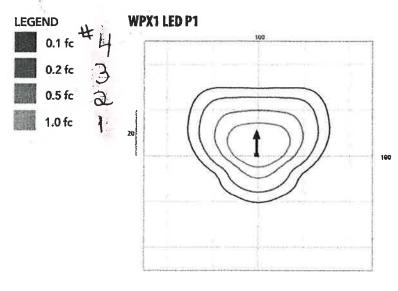
## **Emergency Egress Bat**

The emergency battery backup is box is required. The emergency b 90 minutes and deliver minimum i CEC compliant.

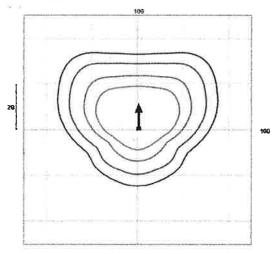
Battery Type	Minimum Temperature Rating
Standard	0°C
Cold Weather	-20°C

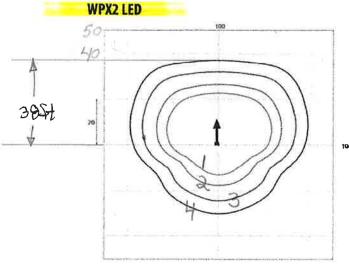
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit t accordance with IESNA LM-79 and LM-80 standards

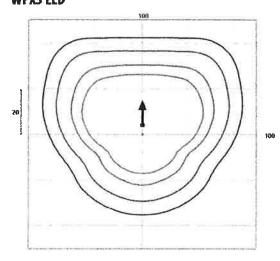


#### WPX1 LED P2





#### **WPX3 LED**





One Lithonia Way Conyers, Georgia 30012 Phone: 1-800-705-SERV (7378) AND ALE © 2020-2022 Acuity Brands Lighting, Inc. All rights reserved. Page 5 o  $\stackrel{>}{\sim}$  9

#### **OUTDOOR PHOTOMETRIC REPORT**

CATALOG: WPX2 LED 40K MVOLT

Test #:

200101077SHA-011P2

Test Lab:

SCALED PHOTOMETRY

Catalog:

WPX2 LED 40K Mvolt

Description:

WPX2 LED wallpack 6000lm 4000K color

temperature 120-277 Volt

Series:

WPX2 LED Wall Mount

Lamp Output:

Total luminaire Lumens: 5895.2, absolute

photometry \*

Input Wattage:

47.77

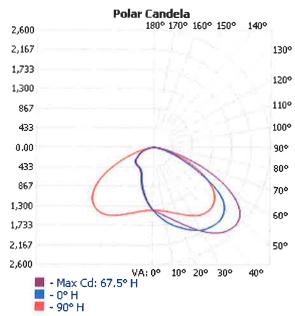
Luminous Opening: Rectangle (L: 3.15", W: 9.76")

Max Cd:

2,516.2 at Horizontal: 67.5°, Vertical: 46°

Roadway Class:

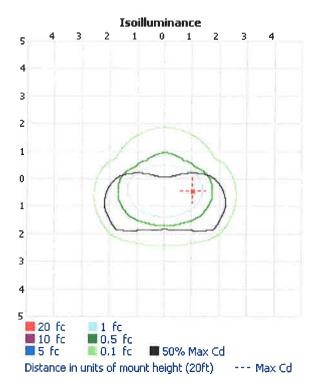
VERY SHORT, TYPE III











Visual Photometric Tool 1.2.46 copyright 2022, Acuity Brands Lighting.

This Photometric report has been generated using methods recommended by the IESNA. Calculations are based on Photometric data provided by the manufacturer, and the accuracy of this Photometric report is dependent on the accuracy of the data provided. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual Photometric performance to differ from the performance calculated using the data provided by the manufacturer. This report is provided without warranty as to accuracy, completeness, reliability or otherwise. In no event will Acuity Brands Lighting be responsible for any loss resulting from any use of this report.



200101077SHA-011P2

VISUAL PHOTOMETRIC TOOL

PAGE 1 OF 4

page 6 of 9

<sup>\*</sup>Test based on absolute photometry where lamp lumens=lumens total.

<sup>\*</sup>Cutoff Classification and efficiency cannot be properly calculated for absolute photometry.

#### OUTDOOR PHOTOMETRIC REPORT

CATALOG: WPX2 LED 40K MVOLT



Zonal	Lumen S	Summary
Zone	Lumens	% Luminaire
0-30	1,217.8	20.7%
0-40	2,186.2	37.1%
0-60	4,579.6	77.7%
60-90	1,315.6	22.3%
70-100	458.5	7.8%
90-120	0.000	0%
0-90	5,895.2	100%
90-180	0.000	0%
0-180	5,895.2	100%

#### **Lumens Per Zone** Zone Lumens % Total Zone Lumens % Total 0-10 133.7 2.3% 90-100 0.000 0% 10-20 403.0 6.8% 100-110 0.000 0% 20-30 681.2 11.6% 110-120 0.000 0% 30-40 968.4 16.4% 120-130 0.000 0% 40-50 1,189.1 20.2% 130-140 0.000 0% 50-60 1,204.2 20.4% 140-150 0.000 0% 60-70 857.1 14.5% 150-160 0.000 0% 70-80 382.6 6.5% 160-170 0.000 0% 80-90 1.3% 170-180 75.9 0.000 0%

#### **Roadway Summary**

	Roadway Sammery
TYPE III, VERY SHORT	Distribution:
0.000	Max Cd, 90 Deg Vert:
299.0	Max Cd, 80 to <90 Deg:
Lumens % Lamp	
4,214.5 71.5%	Downward Street Side:
1,681.1 28.5%	Downward House Side:
5,895.6 100%	Downward Total:
0.000 0%	Upward Street Side:
0.000 0%	Upward House Side:
0.000 0%	Upward Total:
5.895.6 100%	Total Lumens:

LCS Table		
BUG Rating	B1 -	U0 - G1
Forward Light	Lumens	Lumens %
Low(0-30):	773.2	13.1%
Medium(30-60):	2,496.4	42.3%
High(60-80):	897.0	15.2%
Very High(80-90):	47.8	0.8%
Back Light		
Low(0-30):	444.6	7.5%
Medium(30-60):	865.9	14.7%
High(60-80):	342.7	5.8%
Very High(80-90):	28.0	0.5%
Uplight		
Low(90-100):	0.000	0%
High(100-180):	0.000	0%
Trapped Light:	0.000	0%

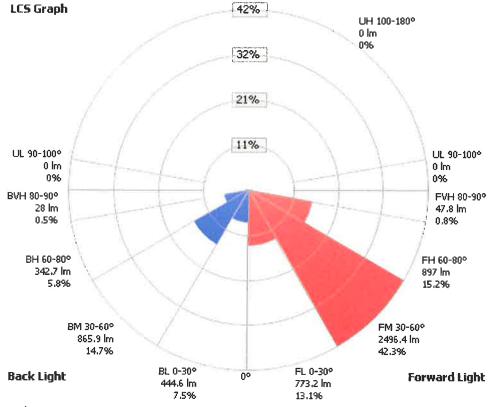


PAGE 2 OF 4

page 7 of 9

#### OUTDOOR PHOTOMETRIC REPORT CATALOG: WPX2 LED 40K MVOLT





Scale = Max LCS %

Trapped Light: 0 lm, 0%



PAGE 3 OF 4

#### OUTDOOR PHOTOMETRIC REPORT CATALOG: WPX2 LED 40K MVOLT



Candela Table - Type (
------------------------

Candela Table - Type C									
	0	22.5	45	67.5	90	112.5	135	157.5	180
0	1395	1395	1395	1395	1395	1395	1395	1395	1395
5	1535	1526	1500	1459	1405	1348	1294	1259	1247
10	1672	1658	1617	1544	1435	1311	1192	1110	1083
15	1792	1783	1747	1652	1486	1278	1085	961	919
20	1904	1904	1888	1788	1558	1247	976	812	759
25	2020	2030	2042	1953	1647	1212	859	671	627
30	2119	2146	2200	2138	1745	1166	735	589	567
35	2173	2224	2338	2312	1827	1098	638	553	543
40	2200	2256	2430	2445	1866	1001	579	537	539
45	2176	2239	2453	2510	1856	870	539	530	539
50	2071	2143	2404	2492	1783	726	512	515	527
55	1816	1947	2279	2334	1621	598	482	486	496
60	1337	1563	2016	2001	1357	482	438	413	409
65	862	1071	1616	1530	1021	381	373	346	359
70	528	659	1122	991	668	293	294	280	284
75	277	354	663	539	382	213	217	200	192
80	147	184	299	263	178	135	135	121	103
85	51	65	108	79	51	51	48	36	31
90	0	0	0	0	0	0	0	0	0
95	0	0	0	0	0	0	0	0	0
100	0	0	0	0	0	0	0	0	0
105	0	0	0	0	0	0	0	0	0
110	0	0	0	0	0	0	0	0	0
115	0	0	0	0	0	0	0	0	0
120	0	0	0	0	0	0	0	0	0
125	0	0	0	0	0	0	0	0	0
130	0	0	0	0	0	0	0	0	0
135	0	0	0	0	0	0	. 0	0	0
140	0	0	0	0	0	0	0	0	0
145	0	0	0	0	0	0	0	0	0
150	0	0	0	0	0	0	0	0	0
155	0	0	0	0	0	0	0	0	0
160	0	0	0	0	0	0	0	0	0
165	0	0	0	0	0	0	0	0	0
170	0	0	0	0	0	0	0	0	0
175	0	0	0	0	0	0	0	0	0
180	0	0	0	0	0	0	0	0	0



PAGE 4 OF 4

## Dear Birmingham Planning Division,

I have had the pleasure of working for Amy Ortiz as an employee of Ortiz EduCare this past 2021-22 academic school year. As a graduate of DePauw University, my original intentions were to attend law school at the end of this year. However, after experiencing the inspiring, inclusive, nurturing classroom environment Amy has created for her students and employees, I am confident in my decision to continue my career as an educator with Ortiz EduCare. Amy is committed to offering excellent academic and social education that is individually tailored to each student's needs. Her holistic approach to learning is precisely what the Birmingham community needs in the aftermath of Covid-19 to continue its excellence in education. This building ensures that Ortiz EduCare can continue to foster an intrinsic desire for learning that sets young minds up for personal and educational success. I am exceptionally fortunate to work at Ortiz EduCare and have Amy as my mentor. She has helped me become not only a great educator, but more than anything a good person and I am forever grateful for that.

Thank you,

Dana Hoerman

Sonya Hryshko & Mark Moody 2475 Windemere Rd Birmingham, MI 48009

CITY OF BIRMINGHAM Planning Department 151 Martin St Birmingham, MI 48009

April 4, 2022

Birmingham Planning Department,

I am fortunate to be a part of Ortiz Educare. As an occasional volunteer, I have the opportunity to interact with the children by reading books and helping with various art activities.

Mrs. Ortiz (Ortiz Educare) is dedicated to providing a safe and loving educational environment for pre-school children. Her commitment to teaching and encouraging positive socialization is a necessary platform for young children.

My husband, Mark Moody, has been a homeowner and resident in Birmingham since 1995. My two children and I moved into the residence in 2009. Soon we met Amy and Sean Ortiz through neighborhood friends. We have had a wonderful relationship as neighbors and parents raising children in the Birmingham school district.

My husband and I completely support the opening of Ortiz Educare at 1160 Grant Street in Birmingham. Ortiz Educare will provide a valuable and much needed service in our community.

We thank you for your time and consideration. Feel free to contact us if you have any further questions or concerns.

SONYA HRYSHKO 313-820-3880

MARK MOODY 248-797-0822 To whom it may concern,

We have been attending Mrs. Ortiz's school for almost a whole school year now and have been beyond happy with our experience. Our daughter loves going every day and has made incredible progress since she has started attending school there. We love how much she is learning, but more importantly we love how much they care for her. They are so invested in each student, and it has really made all the difference in not only our daughter's experience, but in our experience as parents as well. We are so excited that Mrs. Ortiz is going to continue her school and expand into a larger space to do more of what she clearly loves and is so good at. Getting connected with Amy has been such a gift in such a crazy couple of school years. We are so grateful for what she has done for us and excited to see what she does in the future.

Sincerely,

Katie and John Dwan

Dear Birmingham Planning Division,

My name is Leah Faraj, and I am writing today on behalf of Amy Ortiz, my friend and former colleague. Amy and I co-taught first grade at Brookside Lower School in Bloomfield Hills, and, oh, the fun we had. Amy is spirited and spunky; creative and kind; hardworking and highly motivated. Her passion for working with children compelled Amy to open her own in-home preschool during the pandemic, and her new business flourished. Amy loves her students and creating meaningful learning experiences for them. The high demand for safe childcare during the pandemic and early childhood education propelled Amy's success in her Birmingham neighborhood, and she is enthusiastic to extend it even further.

I write today in support of and excitement for Amy and her business, Ortiz EduCare. I look forward to the day when she can welcome more students to her inspired school. Thank you for reading and considering this new business!

Sincerely,

Leah Faraj

basalale@msu.edu

April 4, 2022

Dear Birmingham Planning Division, I am writing this letter of recommendation on behalf of Amy Ortiz and her childcare; Ortiz EduCare.

I have known Amy for over 25 years and have been with her for her journey as an educator. She has always been so excited to change children's lives through education and a love of learning. Her enthusiasm about making learning fun and helping children make connections with each other is obvious if you talk to her for one minute about her job/passion.

It is very exciting that she is taking her childcare to the next level and moving her in-home preschool into a commercial building. Birmingham is the perfect place for Ortiz EduCare, Amy calls Birmingham home and she has already established a core group of families who will be bringing their children to her facility.

As a public School educator, I know how important quality early child care and preschool education is. With Amy opening Ortiz EduCare in the City of Birmingham so many more children and families will have the opportunity for a wonderful educational beginning.

Please contact me with any further questions. I would be happy to talk with you.

Thank you, Emily Burns

248-990-5724

Emily.Burns@berkleyschools.org

Ortiz Educare has been the perfect school for my 3-year-old twins. Amy and the entire staff are a dream and take the absolute best care of our little ones. This school came into our lives at the perfect moment, and we will be big supporters for the long haul. We can't wait to see what the future holds for Ortiz Educare.

-Melissa and Ryan Levy-Lien

To whom it may concern,

I am a resident of Birmingham and live at 171 E Lincoln Street. There is a need for quality childcare in our neighborhood. I know Amy Ortiz personally and I am confident that her childcare center, Ortiz Educare will be a positive addition to our neighborhood and community.

Sincerely, Beth Rozier March 15, 2022

Dear Birmingham Planning Division,

I am writing to enthusiastically endorse Amy Ortiz as an educator. As a Birmingham resident and parent of three young children, I could not be more excited at the prospect of Ms. Ortiz bringing her passion for and expertise in early childhood education to a broader group of families in a facility dedicated to her particular approach.

We were incredibly fortunate last year to find Ms. Ortiz to shepherd our Kindergartener through a challenging year of pandemic-related school shutdowns from her pod. Amy is that rare, special teacher who makes a real and lasting difference in the lives of the children she influences. I cannot say enough good things about her as a person and professional and am excited that this new facility will afford more children the enormous benefit of having Ms. Ortiz in their young lives.

Sincerely,

Rachel Brown

Dear Birmingham Planning Division, I hope this letter finds you all well.

I'm writing to you to express how excited I am to hear that Ortiz EduCare will moving into the space on Grant Street in Birmingham!

I've had the privilege of knowing Amy Ortiz over the last 5 years. I've seen first-hand her care and love for the children and their families. She is simply a treasure! Having Ortiz EduCare as a choice for so many families are truly a blessing to our community and is so greatly needed!

Thank you so much and take care ~ Sincerely,
Colleen Everett
667 Lakeview
Birmingham
1-248-701-0356

Dear Birmingham Planning Division,

I approve of Ortiz EduCare and Amy Ortiz and her plans to open pre-school in Birmingham. My kids are in school with her now and have been for four years. It's been a great experience loving environment that we need in this town. Especially now.

Adam and Alison Orley

210 chesterfield Ave Birmingham MI 48009

#### DETTORE DESIGN GROUP

312-350-0280

Dear Birmingham Planning Division,

April 4, 2022

I am writing in regards to ORTIZ EDUCARE.

Amy Ortiz has been teaching in the Birmingham school system for most of her career as an Educator.

Her enthusiasm and professional manner has given her the opportunity to grow as an educator.

She has the most amazing care & passion to teach. I had the opportunity to volunteer as a visiting artist in summer 2021 at her Birmingham location. What an ABSOULUTE thrill to see her in her element, teaching, creating & allowing these lovely children to learn in such a loving environment!

What a true treasure to have her at her new location on GRANT STREET in Birmingham! This will give her the opportunity to grow, thrive & continue teaching children! I can only applaud this growth!

Thank you Kindly,

Donna Dettore

DONNA

DETTORE

DDETTORE 1 @GMAIL.COM

From: Meredith Helfman Kamen helfmanm@gmail.com

Subject: Ortiz Educare

Date: March 15, 2022 at 1:37 PM

To: Amy Ortiz amy.ortiz17@comcast.net, Sean Ortiz sortiz9@comcast.net



Dear Birmingham Planning Board,

I am writing in support of Ortiz Educare opening a location in Birmingham. Currently Amy Ortiz runs an in-home preschool in Birmingham, which is phenomenal. Our son currently attends her in-home preschool. We have been thrilled with the loving atmosphere she has perfected for young children. Our son has thrived in her care and we are at ease sending him everyday.

In addition to Ortiz Educare being a fantastic school for young children, it also fills a void in the community. Finding high quality child care before the pandemic was a challenge. Since the pandemic, it's been near impossible. With all the worry and uncertainty that we all have endured the past 3 years, we are fortunate to have stable amazing child care in place, with the same teachers greeting my son every day. If Amy Ortiz can grow her wonderful school, it will fill a need for other families trying to find high quality care for their young children in our community.

I strongly support Ortiz Educare opening up in Birmingham.

Sincerely,

Meredith and Martin Kamen

Dear Birmingham Planning Division,

I am writing this letter in support of Amy Ortiz and her opening a preschool, Ortiz EduCare. Mrs. Ortiz worked with me during the very trying times of online learning. We formed a few pods through my tutoring center, and I was able to experience first-hand what an incredible teacher/director Mrs. Ortiz is. Quality preschools are in such great demand, and I am confident Ortiz EduCare would be a wonderful and welcomed addition to the Birmingham community.

Thank you for your time and consideration,
Julie Hines
Academy Learning Center

March 31, 2022

Dear Birmingham Planning Commission:

I am writing in support of Ms. Amy Ortiz as she puts forth her request to open Ortiz EduCare in the city of Birmingham.

I have known Amy for over 20 years, both personally and professionally, and feel confident that she and her educational enterprise would be an asset to your community. I am currently a lead teacher in the Cranbrook Educational Community, where Amy recently taught before creating her own Early Childhood program. She was respected and well-liked by children, faculty, administration. and families alike. Even after her leaving, we have continued to share ideas, teaching strategies, and discussions about early childhood education and best practices.

She is a mother, wife, friend, and very caring and informed educator, who understands the importance, and embodies the teaching and learning principles, of early childhood education.

I give her my fullest recommendation and am happy to endorse her in this wonderful educational program that will benefit many, including your city.

Respectfully,

Beth Kennedy Cranbrook Educational Community Brookside School/ECC Lead Teacher Hello Birmingham project review,

I am sending this letter of support on behalf of my wife Amy Ortiz. I'm sure you have read through many of these letters for her and I am not surprised. Amy has a passion for developing the young mind more than any person I have met. All the amazing support letters only have a partial sample size of Mrs. Ortiz.

I say that because I am around her every day and all day. I get to see the time, love, passion and energy she puts into each and every day. She never works on a clock but instead until the plan is complete. Not only does she give this energy to the children but also to her staff and volunteers. Amy Ortiz is truly one of a few people who are getting to do what she loves every day!

Amy is the right person to help develop our future. As we know it is a scary time and as a parent, grandparent, or family member we worry all the time about world we are leaving behind. If we had more mentors like my wife in this world, I know I would sleep better about the future.

In closing, we appreciate your consideration on this project and look forward to making Ortiz Educare another reason people want to raise their children in the City of Birmingham.

Sincerely, Sean Ortiz



# **MEMORANDUM**

Planning Division

**DATE:** June 3<sup>rd</sup>, 2022

TO: Planning Board

FROM: Brooks Cowan, Senior Planner

**APPROVED: Nicholas Dupuis, Planning Director** 

**SUBJECT:** 36877 Woodward Ave – Gasow Veterinary Clinic – SLUP and Final Site

**Plan Review** 

The applicant is proposing a 2-story veterinary clinic in the TZ-3 Transition Zone. A veterinary clinic use in the TZ-3 Transition Zone requires a Special Land Use Permit (SLUP). The subject site is located near the intersection of Woodward Avenue and Quarton Road. The existing building is currently used as a single story veterinary clinic that has operated in Birmingham since the 1960s and appears to be in need of updates. The proposed building will remain a single occupant with additional second floor space. The subject property's location is significant as an entrance and exit to and from the City of Birmingham.

The proposed Gasow Veterinary clinic and its on-site parking lot currently exists upon 4 parcels; 19-25-101-008, 19-25-101-009, 19-25-101-010, and 19-25-101-011. **The applicant will be required to apply for a lot combination to consolidate the parcels where the updated veterinary clinic is proposed.** The applicant also owns a large trapezoidal shaped property to the west of the veterinary clinic across the alley, parcel #19-25-101-001, Quarton Lake Estates Replat Lot 35 (Lot 35), which is proposed to host additional parking for the veterinary clinic.

On March 23<sup>rd</sup>, 2022, the applicant appeared before the Planning Board for Preliminary Site Plan Review. There were a number of minor issue to address regarding the TZ3 Transition Zone requirements, however the applicant felt that each one could be addressed by Final Site Plan. The Planning Board motioned to approve the Preliminary Site Plan with the following conditions:

- 1. The applicant apply for a lot combination to consolidate the parcels where the updated veterinary clinic is proposed;
- 2. The applicant modify the site plan to have 75% of the building façade within 0-5 feet of the front lot line, or obtain a variance from the Board of Zoning Appeals;

- 3. The applicant reduce the parking lot frontage to 25% or less of the front lot line, or obtain a from the Board of Zoning Appeals;
- 4. The applicant satisfy all parking lot screening and buffer requirements of Article 4, Section 4.53 and 4.54 of the Zoning Ordinance for the proposed on-site and off-site parking lots through an understanding with the neighbors regarding satisfying to lot screening, or obtain a variance from the Board of Zoning Appeals;
- 5. The applicant indicate materials and dimensions for mechanical units and refuse container screening;
- 6. The applicant obtain approval from the Police Department to count on-street parking spaces towards their parking requirement;
- 7. The applicant modify the site plan to have 6 foot wide sidewalks on-site and a 7 foot wide sidewalk along Woodward Ave;
- 8. The applicant modify the site plan to incorporate two (2) entrances facing Woodward Ave;
- 9. The applicant modify the site plan to eliminate large blank walls on both floors of the southern and western elevations;
- 10. The applicant provide 5 bike racks to service the building;
- 11. The applicant submit material specifications, samples, dimensions, and all other required information for the proposed building to complete the Design Review at Final Site Plan and SLUP review; and,
- 12. The applicant comply with the requests of all City Departments.

On May 10<sup>th</sup>, 2022, the applicant appeared before the Board of Zoning Appeals to request three variances. The Board of Zoning Apeals approved the request for #2, #3, and #8 of the conditions listed above which enables the applicant to have less than 75% of their building façade within 0-5 feet of the frontage line, more than 25% of their front lot line to consist of parking lot frontage, and to only have one entrance along the frontage.

The applicant has also made modifications to the site plan to address concerns and requirements that were brought up during Preliminary Site Plan review, particularly related to the vehicular entrance and the rear screening.

### 1.0 Land Use & Zoning

- 1.1 **Existing Land Use** The existing land use for the proposed structure along Woodward Ave is commercial and consists of a one-story veterinary clinic. The trapezoidal shaped property (Lot 35) currently has parking along the alley and mostly consists of wooded area to the west of the parking.
- 1.2 **Zoning** The veterinary clinic site exists within the TZ-3 Transition Zone. Lot 35 consists of two zones; the easternmost 61 feet parallel to the alley is zoned TZ-3 Transition, while the remaining portion is zoned R1-Single Family Residential.
- 1.3 <u>Summary of Adjacent Land Use & Zoning</u> The following chart summarizes existing land use and zoning classifications of the adjacent and/or nearby properties:

	North	South	East	West
Existing Land Use	Vacant	Commercial	Commercial	Parking & Residential
Existing Zoning District	TZ-3 Transition	TZ-3 Transition	(Bloomfield)	TZ-3, P & R1 Transition Parking Single Family Residential
Overlay Zoning District	N/A	N/A	N/A	N/A



# 2.0 Setback, Height, & Placement Requirements

The attached zoning compliance summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. The applicant appears to satisfy a majority of the bulk, height, and placement requirements of the TZ-3 Transition zoning districts.

Article 2, Section 2.46.2 of the Zoning Ordinance requires the minimum front yard setback for the building façade to be built within 0-5 feet of the front setback requirement for a minimum of 75% of the street frontage length. The site plan indicates a building façade of 100 feet within 0-5 feet of the front lot line that is 180 feet in length, totaling 55% of frontage. The Ordinance requires that the building be within 0-5 feet of the street frontage for a total of 135 feet. On May 10<sup>th</sup>, 2022, the applicant obtained a variance of 35 feet from the Board of Zoning Appeals, enabling the building to be within 0-5 of the frontage line for less than 75% of the street frontage length.

Article 4, Section 4.53(A)(1) requires that no more than 25% of the total site's frontage, or 60 feet, whichever is less, shall be occupied by a parking lot. 25% of a 180 foot front lot line equates to 45 feet of permissible parking lot frontage on a public right-of-way. The site plan indicates 57 feet of parking lot frontage, exceeding the permissible amount by 12 feet. On May 10<sup>th</sup>, 2022, the applicant obtained a dimensional variance of 12 feet from the Board of Zoning Appeals, enabling the site to have greater than 25% of the frontage occupied by a parking lot.

Article 4, Section 4.83 requires main entrances to be located along the street frontage, and that buildings longer than 100 feet are required to have one usable entrance for every 50 feet of frontage. The subject building is 100 feet long and therefore is required to provide two front entrances facing Woodward Ave. On May 10<sup>th</sup>, 2022, the applicant obtained a dimensional variance of one door from the Board of Zoning Appeals, enabling the site to have only one door along the street frontage.

### 3.0 Screening & Landscaping

- 3.1 <u>Dumpster Screening</u> The applicant is proposing one dumpster in the rear of the building facing the alley with a screen wall and gate. The screen wall is proposed to be 6 feet in height and consist of utility face brick to match the adjacent building and a stone cap. The gate is proposed to consist of trex or equal material.
- 3.2 <u>Parking Lot Screening</u> Article 4, Section 4.53(B) of Zoning Ordinance requires a 3 foot masonry screenwall, however the Planning Board may approve an evergreen screen in lieu of masonry material as per Article 4, Section 4.54(C)(d) of the Zoning Ordinance.

The eastern portion of the parking lot is proposed to be screened with 15 Mugo Pine evergreen masses 36" in height. The western side of the on-site parking lot is proposed to be screened with 13 Hetzii Juniper evergreen hedges 36" in height. The Planning Division recommends that the Planning Board approve the use of evergreen landscaping in lieu of a masonry screenwall for parking lot screening.

The applicant also intends to use off-site parking to the west of the alley to satisfy the parking requirement. The off-site parking lot space is under the same ownership of the subject property and within 300 feet of the subject property. There are 25 parking spaces along the west side of the alley that are zoned TZ3 and border an R1 – Single Family Residential Zone to west. The 25 parking spaces on the west side of the alley adjacent to a single-family residential district are proposed to be screened with a 6 foot brick screen wall as per Article 4, Section 4.53(B) of the Zoning Ordinance.

For parking spaces adjacent to a single-family residential zone, Article 4, Section 4.59(A) Buffer Requirements also require that the 6 foot brick screen wall have a sloping stone cap, include a two (2) foot row of landscaping on the parking lot side, and provide varying textures, materials and/or design along the length. Blank, monotonous wall are not permitted. The applicant has indicated a 2 foot

buffer between the screenwall and parking spaces. The screenwall will have a sloping stone cap, and the blank walls will be broken up with sections of Boston Ivy.

In order to address concerns discussed from nearby residents during Preliminary Site Plan, the applicant has also extended the Lot 35 screen wall further south to screen the residential areas from on-site parking headlights pointing southwest and the loading activity near the rear dumpster.

3.3 <u>Mechanical Equipment Screening</u> – The site plan indicates a ground transformer facing an alley which is screened by the building.

The site plan indicates three rooftop mechanical units that are 44" to 59.25" in height. The mechanical units are screened by a metal mechanical screenwall 5'6" in height.

<u>Landscaping</u> – The entry plaza near Woodward Avenue is proposed to have (4) Mugo Pine evergreen masses, one Tree Form Hydrangea, and Japanese Forest Grass and 14 Boxwood evergreen hedges south of the main entrances.

The rear entrance facing the alley will have detailed landscaping with an Autumn Gold Ginko tree, Japanese Forest Grass, (12) Little Lime Hydrangea flowering shrubs, (38) Boxwood evergreen hedges, (3) Koreanspice Viburnum, and lawnspace.

The southeast corner is proposed to have additional landscaping surrounding the door to the comfort room with Japanese Forest Grass perennials and (5) Itea Little Henry.

As previously mentioned, the western side of the on-site parking lot is proposed to be landscaped with (13) Hetzii Juniper evergreen hedges along with Hameln Fountain Grass and Japanese Forest Grass.

Landscaping has also been included at the southern edge of the Lot 35 screenwall with (11) Little Henry ITEA.

3.4 <u>Streetscape Elements</u> – The Michigan Department of Transportation (MDOT) owns and controls Woodward Avenue as well as the sidewalk, angled parking spaces, access drive, and divider island on the east side of the subject property. The City of Birmingham has not required City standard lights and street trees in the MDOT right-of-way with previous applicants.

Article 4, Section 4.73(G) Street Standards –Bicycle Facilities requires 1 bike rack for every 10 cars required. The applicant is required to provide 45 parking spaces, therefore 5 bike racks are required. The applicant has proposed 5 inverted U bike racks near the rear entrance.

# 4.0 Parking, Loading & Circulation

4.1 <u>Parking</u> – The applicant is proposing a total of 48 parking spaces between three locations to count towards their parking requirement.

The site plan indicates 7 parking spaces in the MDOT of right-of-way. Article 4, Section 4.53(E) permits the Police Department to permit the use of on-street parking spaces to count towards parking requirement in the TZ-3 Transition Zone. The Police Department has approved of the use of the 7 on-street parking spaces along Woodward Avenue towards the applicant's total parking requirements.

There are 16 angled parking spaces on-site. The 16 parking spaces are only accessible from the Woodward Avenue entrance through the one way drive aisle.

The site plan also indicates 25 off-site parking spaces on the west side of the alley. 5 additional spaces have been added since preliminary site plan review. The 25 parking spaces are within 300 feet of the subject property and are under the same ownership, therefore they may be counted towards the building's parking requirement (Article 4, Section 4.53(D)). The owner is not allocating the 25 parking spaces for other uses at this time.

Article 4, Section 4.46 of the Zoning Ordinance requires the applicant to provide the following off-street parking for the uses proposed in the site plans submitted:

Proposed Use	Requirements	Area or Units	Spaces
Medical	1 space per 150 SF	5,500 SF	36
Hospital	1 space per 4 beds	13 beds	3
Office	1 space per 300 SF	1,653 SF	6
<b>Total Required</b>	-	-	45
<b>Total Proposed</b>	-	-	48

It is of note that there is no official parking category for veterinary use and that City staff have determined that the floor plan submitted indicates part medical and part hospital for the first floor. Based on the calculations above, the applicant meets the parking requirements for the proposed development.

- 4.2 <u>Loading</u> Total square footage of the building is 11,711 SF, therefore one loading space is required. The site plan indicates a loading zone within the 10 foot rear setback. Article 4, Section 4.24(C)(2) also allows an off-street loading space to be reduced for any building abutting an alley 18' or more in width. The rear alley is 20' in width and therefore may count towards the loading space requirement and does not require loading to be screened.
- 4.3 <u>Vehicle Circulation & Access</u> The subject site may be accessed via southbound Woodward. There are two entryways off of Woodward Avenue into the MDOT access drive near the northeast corner of the property which lead to the property's

vehicular one-way entrance. The onsite parking lot access drive remains one way from Woodward Ave to the public alley in the rear. Vehicles parking on-site must enter from Woodward Ave and exit the site via the public alley northbound to Quarton Road. The public alley dead ends at the southern boundary of the subject property where the public alley has been vacated.

Concerns regarding the flow of traffic on-site from southbound Woodward Avenue were discussed during Preliminary Site Plan review. In order to address the concerns, the applicant reduced the sidewalk bumpout and eliminated the curved on-site entrance from Woodward Ave. The applicant has indicated the ability of a City fire truck to complete the turn on-site from Woodward Avenue on sheet C-7.

Vehicles that park in the MDOT right-of-way along Woodward Ave may exit the site by continuing south in the MDOT access drive and turning right onto southbound Woodward Ave.

The subject site may also be accessed from the 20 foot wide public alley located behind the Gasow Veterinary clinic. Vehicles traveling east or west on Quarton Road can turn southbound into the alley and park in the 25 spaces on the west side of the alley. The 16 on-site parking spaces are not accessible from the alley.

4.4 <u>Pedestrian Circulation & Access</u> – Article 4, Section 4.73(B) requires sidewalks in the TZ-3 Transition Zones to be a minimum of 6 feet, and that sidewalks along Woodward Ave shall be a minimum of 7 feet wide.

The site plan indicates that new ADA compliant sidewalks will be installed along the Woodward side of the building, the on-site parking lot, and connecting to the stairwell from the alley. The site plan indicates a 6 foot sidewalk for the proposed on-site sidewalks and a 7 foot sidewalk along Woodward Ave as required by the TZ-3 Transition Zone.

The Woodward Ave and parking lot sidewalks connect to the main lobby entrance for pedestrian access on the northeast corner of the building. The building's entry plaza has an extended sidewalk area with landscaping and bench seating that also acts as a bumpout for vehicles entering the site.

Two new sidewalk locations are proposed where they do not currently exist. One connects the alley to the building's stairwell entrance in the rear, and another in the southeast corner of the building connecting to the comfort room where there is a third entry and exit point for the building.

### 5.0 Lighting

Two 16 foot light poles are proposed on-site, one in the landscaping bed of the northeast corner of the property and another next to the landscaping bed near the rear entrance and alley.

Three LED garden and pathway bollards 3 feet in height are also proposed in the entry plaza to help direct vehicular traffic through the entrance to the parking lot. Twelve wall luminaires with double sided light output and three direct light wall mount luminaires are proposed for the building's exterior.

In regards to the photometric plan, the circulation area has a range of 1.0 to 4.8 foot candles, therefore satisfying the criteria of 0.2 minimum and a maximum ratio of 20:1.

The Photometric Plan appears to reflect the sidewalk entry plaza design from Preliminary Site Plan Review which has been slightly modified for Final Site Plan Review. The applicant must submit an updated photometric plan reflecting the updated parking lot and pedestrian plaza layout.

# **6.0** Departmental Reports

- 6.1 **Engineering Department** Please see the attached Engineering Division comments dated June 3<sup>rd</sup>, 2022.
- 6.2 **Department of Public Services** The Department of Public Services will provide comments by June 8<sup>th</sup>, 2022 (Updated landscaping plan received Friday June 3<sup>rd</sup>, 2022)
- 6.3 **Fire Department** Please see the attached Fire Department comments dated May 31<sup>st</sup>, 2022.
- 6.4 **Police Department** The Police Department has no concerns at this time and approves the use of the on-street parking towards the overall parking count as it is the only business in this area.
- 6.5 **Building Department** Please see the attached Building Division comments dated May 31<sup>st</sup>, 2022.
- 6.6 **Parking Manager** The Parking Manager has no concerns at this time.

### 7.0 Design Review

### Façade Materials

The applicant has submitted elevation drawings with material notes and material specifications for the proposed building. The exterior will be predominantly brick with a cut stone base and cornice, vertical windows, aluminum storefront glazing, and a steel canopy. The site plan also indicates signage on the building and attached to the canopy.

Two colors of brick are proposed for the exterior of the building. The main entrance will have walnut brick spanning two stories at the public entrance while the remainder of the building will have titanium gray brick. The cut stone base, cornice, and accents will be riesling color while the steel canopy and metal coping will be black. Composite aluminum and aluminum storefront glazing is also proposed around the window areas. All materials appear to be of high quality and provide architectural enhancements to the site.

### Glazing

The first floor frontage along Woodward Avenue is proposed to have a glazing value of 71.5% which satisfies the 70% minimum requirement. The northern elevation with a pedestrian entrance is proposed to have a glazing value of 36.7% which satisfies the 30% minimum requirement. The Planning Division does not consider the doors on the western and southern elevation to be entrances for the "public", therefore the western and southern elevations do not require 30% glazing.

Article 4, Section 4.83(B)(1) of the Zoning Ordinance states "blank walls longer than 30 feet are not permitted on on any façade." There are large sections of blank walls on the second story of the western facade. The applicant must provide additional glazing on the western façade of the second floor to break up the blank wall longer than 30 feet.

### <u>Signage</u>

Two signs are proposed for the new building. A building identification sign reading "Gasow Veterinary Hospital" is proposed along the eastern elevation on the second floor. The sign area is 65.8 square feet total, satisfying the Sign Ordinance requirements of a building identification sign.

A canopy sign is also proposed on the northern elevation. The canopy wraps around the corner of the entrance with dimensions of  $28.5' \times 1.5'$ . The Canopy signage reading "Gasow Veterinary" is proposed to face the north and is  $1'4'' \times 15'$  in dimension.

The maximum area for a canopy sign is no more than 0.33 square feet for each linear foot of canopy length of the canopy upon which the sign will be placed. The applicant is allowed 9.4 square feet of canopy signage (28.5' x 0.33), however the plans indicate 20 square feet of canopy signage (1.4' x 15'). The applicant must submit updated signage plans satisfying the canopy signage requirements.

# 8.0 Required Attachments

	Submitted	<b>Not Submitted</b>	Not Required
Existing Conditions Plan	$\boxtimes$		
Detailed and Scaled Site Plan	$\boxtimes$		
Certified Land Survey	$\boxtimes$		
Interior Floor Plans	$\boxtimes$		
Landscape Plan	$\boxtimes$		
Photometric Plan	$\boxtimes$		
Colored Elevations	$\boxtimes$		
Material Specification Sheets	$\boxtimes$		
Material Samples			
Site & Aerial Photographs	$\boxtimes$		

### 9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

In addition, Article 7, Section 7.36 requires applications for a Special Land Use Permit to meet the following criteria:

- (1) The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.
- (2) The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.
- (3) The use is consistent with the public health, safety and welfare of the city.
- (4) The use is in compliance with all other requirements of this Zoning Ordinance.
- (5) The use will not be injurious to the surrounding neighborhood.
- (6) The use is in compliance with state and federal statutes.

### 10.0 Recommendation

Based on a review of the site plans submitted and the requirements outlined in Article 7, Section 7.27 and 7.36 of the Zoning Ordinance, the Planning Division recommends that the Planning Board recommend **APPROVAL** of the SLUP and Final Site Plan for 36877 Woodward Ave, Gasow Veterinary Clinic, with the following conditions:

- 1. The applicant apply for a lot combination to consolidate the parcels where the updated veterinary clinic is proposed;
- 2. The Planning Board approve the use of evergreen landscaping in lieu of a masonry screenwall for parking lot screening;
- 3. The applicant submit an updated photometric plan with the updated parking lot and pedestrian plaza layout;
- 4. The applicant provide additional glazing on the western façade of the second floor to break up the blank wall longer than 30 feet;
- 5. The applicant submit updated signage plans satisfying the canopy signage requirements to be approved administratively;
- 6. The applicant comply with the requests of all City Departments.

# 11.0 Sample Motion Language for Special Land Use Permit (SLUP)

Motion to recommend **APPROVAL** of the SLUP for 36877 Woodward Ave, Gasow Veterinary Clinic, with the following conditions:

- 1. The applicant apply for a lot combination to consolidate the parcels where the updated veterinary clinic is proposed;
- 2. The Planning Board approve the use of evergreen landscaping in lieu of a masonry screenwall for parking lot screening:
- 3. The applicant submit an updated photometric plan with the updated parking lot and pedestrian plaza layout;
- 4. The applicant provide additional glazing on the western façade of the second floor to break up the blank wall longer than 30 feet;
- 5. The applicant submit updated signage plans satisfying the canopy signage requirements to be approved administratively;
- 6. The applicant comply with the requests of all City Departments.

OR

Motion to **POSTPONE** the SLUP for 36877 Woodward Ave, Gasow Veterinary Clinic, pending receipt of the following:

1.	
2.	
3.	
J.	

	Motion to <b>DENY</b> the SLUP for 36877 Woodward Ave, Gasow Veterinary Clinic, for the following reasons:
	1
12.0	Sample Motion Language for the Final Site Plan
	Motion to recommend <b>APPROVAL</b> of the Final Site Plan for 36877 Woodward Ave, Gasow Veterinary Clinic, with the following conditions:
	<ol> <li>The applicant apply for a lot combination to consolidate the parcels where the updated veterinary clinic is proposed;</li> <li>The Planning Board approve the use of evergreen landscaping in lieu of a masonry screenwall for parking lot screening;</li> <li>The applicant submit an updated photometric plan with the updated parking lot and pedestrian plaza layout;</li> <li>The applicant provide additional glazing on the western façade of the second floor to break up the blank wall longer than 30 feet;</li> <li>The applicant submit updated signage plans satisfying the canopy signage requirements to be approved administratively;</li> <li>The applicant comply with the requests of all City Departments.</li> </ol>
	OR
	Motion to <b>POSTPONE</b> the Final Site Plan for 36877 Woodward Ave, Gasow Veterinary Clinic, pending receipt of the following:
	4
	Motion to <b>DENY</b> the Final Site Plan for 36877 Woodward Ave, Gasow Veterinary Clinic,
	for the following reasons:
	4.         5.         6.

# Zoning Compliance Summary Sheet Preliminary Site Plan Review 36877 Woodward Ave

**Existing Site:** 1 story commercial/veterinary clinic

Zoning: TZ-3 Transition Zoning Land Use: Commercial/Office

# **Existing Land Use and Zoning of Adjacent Properties:**

	North	South	East	West
Existing Land Use	Vacant	Commercial	Commercial	Parking & Residential
Existing Zoning District	TZ-3 Transition	TZ-3 Transition	(Bloomfield)	TZ-3, P & R1 Transition Parking Single Family Residential
Overlay Zoning District	N/A	N/A	N/A	N/A

**Land Area:** Existing: 71,311 SF

Proposed: 71,311 SF

**Dwelling Units:** Existing: N/A

Proposed: N/A

**Minimum Lot Area/Unit:** Required: N/A

Proposed: N/A

Min. Floor Area /Unit: Required: N/A

Proposed: N/A

Max. Total Floor Area: Required: N/A

Proposed: N/A

Min. Open Space: Required: N/A

Proposed: N/A

**Max. Lot Coverage:** Required: N/A

Proposed: N/A

**Front Setback:** Required: 0-5 Feet

Building façade shall be built to within 5 feet of the front

lot line for a minimum of 75% of the street frontage

length.

Proposed: 100 ft building façade within 0-5 feet of 180 ft

front lot line = 55%. Applicant obtained variance

of 35 feet on May 10<sup>th</sup>, 2022.

**Min. Side Setbacks** Required: 0 ft.

Proposed: 0 ft.

**Rear Setback:** Required: 10 ft.

Proposed: 10 ft.

**Min. Front+Rear Setback** Required:

Proposed: N/A

**Max. Bldg. Height:** Permitted: 42 ft., 4 stories

Proposed: 31' 7.25"

Min. Bldg. Height Required: 24 ft., 2 stories

Proposed: 31' 7.25"

**Min. Eave Height:** Required: N/A

Proposed: N/A

**Floor-Floor Height:** Required: 14 ft

Proposed: 14 ft

**Front Entry:** Required: Main entrance located on at least one (1) street front

One (1) usable entrance for every 50 feet of frontage along the front public sidewalk for buildings longer than

100 feet.

Proposed: One (1) front entry facing the parking lot.

Applicant obtained a variance for one (1) door from the Board of Zoning Appeals on May 10<sup>th</sup>,

2022.

**Absence of Bldg. Façade:** Required: N/A

Proposed: N/A

**Opening Width:** Required: N/A

Proposed: N/A

**Parking:** Required: 1 per 300 SF Office

1 per 150 SF Medical 1 per 4 bed Hospital use

45 Total

Proposed: 16 off-street spaces

20 off-site spaces 9 on-street spaces

45 Total

Min. Parking Space Size: Required: 180 sq. ft.

Proposed: 180 sq. ft.

**Parking Lot Frontage:** Required: No more than 25% of total site's frontage, or 60 feet,

whichever is less.

180 ft \* 25% = 45 ft maximum

Proposed: **57 feet** 

The applicant obtained a variance of 12 feet from the Board of Zoning Appeals on May 10<sup>th</sup>, 2022.

**Loading Area:** Required: 1 off-street loading spaces

40 ft. x 12 ft. x 14 ft.

Proposed: Loading space in the rear of building. Alley is also 20 feet

wide – therefore acceptable

Screening:

<u>Parking</u>: Required: 3 ft. masonry screen wall

6 ft. brick screen wall abutting residential with a buffer including a two (2) foot row of landscaping on the

parking lot side of the wall.

Proposed: 3ft evergreen in lieu of masonry material

6 ft. brick screen wall abutting residential with a buffer including a two (2) foot row of landscaping on the

parking lot side of the wall.

Loading: Required: Screened from view

Proposed: Alley / Via loading area screened by building

Rooftop Mechanical: Required: Screened from view

Proposed: 5'6" metal rooftop screenwall

<u>Elect. Transformer</u>: Required: Screened from public view

Proposed: Located in rear of building

Dumpster: Required: Masonry screen wall with wood gates

Proposed: Masonry screen wall with wood gates

# 2-STORY BUILDING NEW CONSTRUCTION

36877 WOODWARD AVENUE BIRMINGHAM, MICHIGAN 48009



# LANDSCAPE ARCHITECT

MICHAEL J. DUL & ASSOCIATES 212 DAINES STREET BIRMINGHAM, MICHIGAN 48009

PH.: 248-644-3410

# CIVIL ENGINEER

DESIGN OPTIMIZATION TECHNOLOGIES

CORPORATION

424 JEFFERSON STREET

ST CHARLES, MISSOURI 63301

PH.: 636-724-9872

# CONSTRUCTION MANAGEMENT

RWE DESIGN BUILD

16 W. 361 S. FRONTAGE ROAD, SUITE 106

BURR RIDGE, ILLINOIS 60527

PH.: 630-734-0883

www.RWEDESIGNBUILD.com

# ARCHITECT OF RECORD

LINDEN GROUP, INC.
10100 ORLAND PARKWAY, SUITE 110
ORLAND PARK, ILLINOIS 60467
PH.: 708-799-4400
www.LindenGROUPinc.com

# INDEX TO DRAWINGS

# T-0.0 TITLE SHEET, PROJECT INFO, GENERAL NOTES CIVIL DRAWINGS

- ALTA SURVEY
- C-1 CIVIL COVER SHEET
- 2 GENERAL NOTE
- C-3 EXISTING PLAN
- C-4 DEMO PLAN
- C-5 SITE PLAN
- C-6 GRADING PLA
- C-7 UTILITY PLAN
- C-8 UTILITY DETAILS
- C-9 EROSION CONTROL PLAN
  C-10 EROSION CONTROL DETAILS
- C-11 CONSTRUCTION DETAILS
- LANDSCAPE DRAWINGS

# L1 LANDSCAPE PLAN

- ARCHITECTURAL DRAWINGS
  SP-1 ARCHITECTURAL SITE PLAN
- SP-2 OFFSITE PARKING AND OVERALL AREA PLAN
- PD-1.1 PRELIMINARY FIRST FLOOR PLAN
- PD-1.2 PRELIMINARY SECOND FLOOR PLAN
- PD-1.3 PRELIMINARY NORTH EAST ELEVATIONS PD-1.4 PRELIMINARY SOUTH WEST ELEVATIONS
- WOODWARD AVENUE RENDERINGS
- PD-1.5 EXISTING BUILDING ELEVATIONS
- PD-1.6 SITE DETAILS
- PD-1.7 SITE DETAILS
- PD-1.8 SITE PHOTOMETRIC PLAN
- PD-1.9 MATERIAL SELECTIONS

  MECHANICAL UNIT CUTSHEETS

SITE LIGHTING CUTSHEETS

LINDENGROUP

ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINDENGROUPINC.COM



ESIGN BUIL 1303 Ogden Ave. Downers Grove, IL 60515 (630) 734-0883

GASOW VETERINARY HOSPITAL

36877 WOOD BIRMINGHAM,

DRAWN DESCRIPTION
AS SITE PLAN REVIEW
AS SITE PLAN REVIEW REVISIONS
AS FINAL SITE PLAN APPROVAL

2021-0131

**06-03-2022** 

**\S** RAWN BY

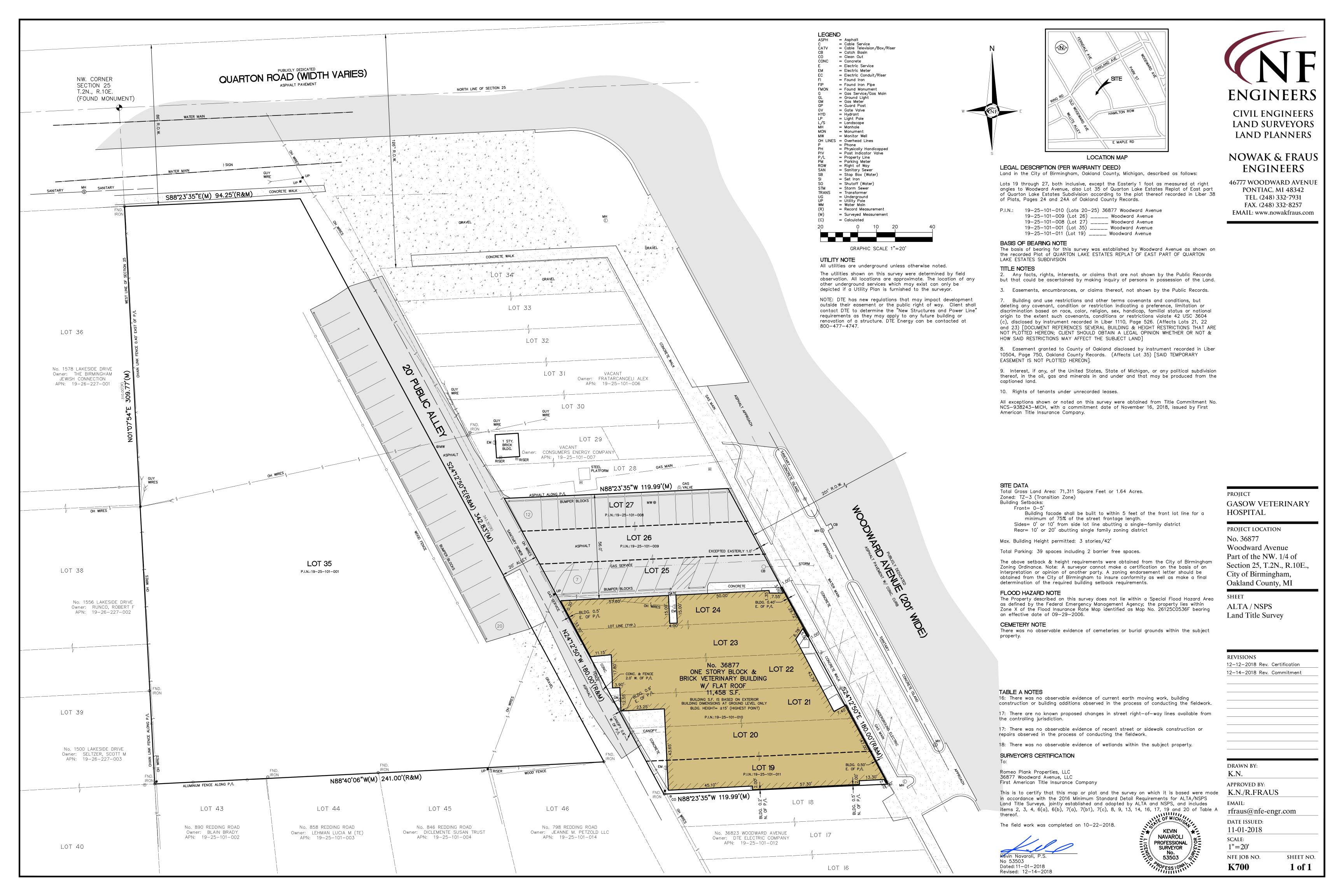
OPYRIGHT — LINDEN GROUP INC.

LL RIGHTS RESERVED.

L DRAWINGS, SPECIFICATIONS, PLANS, CONCEPTS, ARRANGEMENT
NO DESIGNS REPRESENTED OR REFERRED TO IN THESE DOCUMENT
E INSTRUMENTS OF SERVICE, MONT HEREFORE ARE THE PROPERTY OR
NOEN GROUP INC. NONE OF THE ABOVE MAY BE DISCLOSED IT
NO PERSONS FOR MAY DELEGRES WITHOUT THE EXPORES WITHOUT THE PERFORMS OF THE PROPERTY OF

SHEET TITLE
TITLE SHEET

SHEET NUMBER

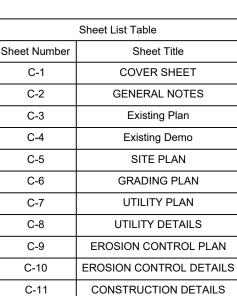


# GASOW VETERINARIAN CLINIC

36877 Woodward Ave, Birmingham, MI 48009

		$\Lambda \Lambda$	
CIV	TL	.HI	10

	Sheet List Table
Sheet Number	Sheet Title
C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	Existing Plan
C-4	Existing Demo
C-5	SITE PLAN
C-6	GRADING PLAN
C-7	UTILITY PLAN
C-8	UTILITY DETAILS
C-9	EROSION CONTROL PLAN
C-10	EROSION CONTROL DETAIL
C-11	CONSTRUCTION DETAILS



# **LEGAL DESCRIPTION PARCEL 1**

LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN,

THE EAST 50 FEET OF LOT 29, AND ALL OF LOTS 30, 31, 32, 33, AND 34, OF QUARTAN LAKE ESTATES COMPANY REPLAT OF EAST PART OF QUARTAN LAKE ESTATES SUBDIVISION, AS RECORDED IN LIBER 38 OF PLATS, PAGES 24 AND 25, OAKLAND COUNTY RECORDS. ALSO THAT PART OF VACATED QUARTAN ROAD WHICH WAS FORMERLY PART OFLOTS 709 AND 710 OF QUARTAN LAKE ESTATES SUBDIVISION, A SUBDIVISION OF PART OF THE EAST LH OF SECTION 26 AND PARTS OF THE NORTHEAST 114 OF SECTION 35 AND THE NORTHWEST 114 OF SECTION 25. TOWN 2 NORTH, RANGE 10 EAST, CITY OF BIRMINGHAM COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 709; THENCE SOUTH 24°12'50" EAST 66.37 FEET ALONG THE EAST LINE OF AS 54.3 FEET) TO THE NORTHEAST CORNER OF LOT 34 AND POINT OF ESTATES COMPANY REPLAT OF EAST PART OF QUARTAN LAKE ESTATES SUBDIVISION, AS RECORDED IN LIBER 38 OF PLATS, PAGES NORTH 88°54'10" WEST 121.10 FEET ALONG THE NORTH LINE OF SAID LOT 34 TO THE NORTHWEST COMER THEREOF; THENCE NORTH 24°12'50" WEST 36.50 FEET ALONG THE NORTHERLY PROLONGATION OF THE WEST LINE OF SAID LOT 34; THENCE SOUTH 88°54'10" EAST 121.10 FEET ALONG A LINE 60.00 FEET SOUTH OF, MEASURED AT RIGHT ANGLES TO, AND PARALLEL WITH THE NORTH LINE OF SECTION 25, TOWN 2 NORTH, RANGE 10 EAST, CITY OF BIRMINGHAM; THENCE SOUTH 24°12'50" EAST, 36.50 FEET ALONG THE NORTHERLY PROLONGATION OF THE EAST LINE OF SAID LOT 34 TO THE POINT OF

CONTAINING 15,698 SQUARE FEET OR 0.360 ACRES. P.I.N.: 08-19-25-101-006

# LEGAL DESCRIPTION PARCEL 2 LAND IN THE CITY OF BIRMINGHAM, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:

LOTS 19 THROUGH 27, BOTH INCLUSIVE, EXCEPT THE EASTERLY 1 FOOT AS MEASURED AT RIGHT ANGLES TO WOODWARD AVENUE, ALSO LOT 35 OF QUARTON LAKE ESTATES REPLAT OF EAST PART OF QUARTON LAKE ESTATES SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 38 OF PLATS, PAGES 24 AND 24A OF OAKLAND COUNTY RECORDS.

CONTAINING 71,311 SQUARE FEET OR 1.64 ACRES.

P.I.N.: 19-25-101-010 (LOTS 20-25) 36877 WOODWARD AVENUE 19-25-101-009 (LOT 26) \_\_\_\_\_ WOODWARD AVENUE 19-25-101-008 (LOT 27) \_\_\_\_\_ WOODWARD AVENUE 19-25-101-001 (LOT 35) \_\_\_\_\_ WOODWARD AVENUE 19-25-101-011 (LOT 19) \_\_\_\_\_ WOODWARD AVENUE

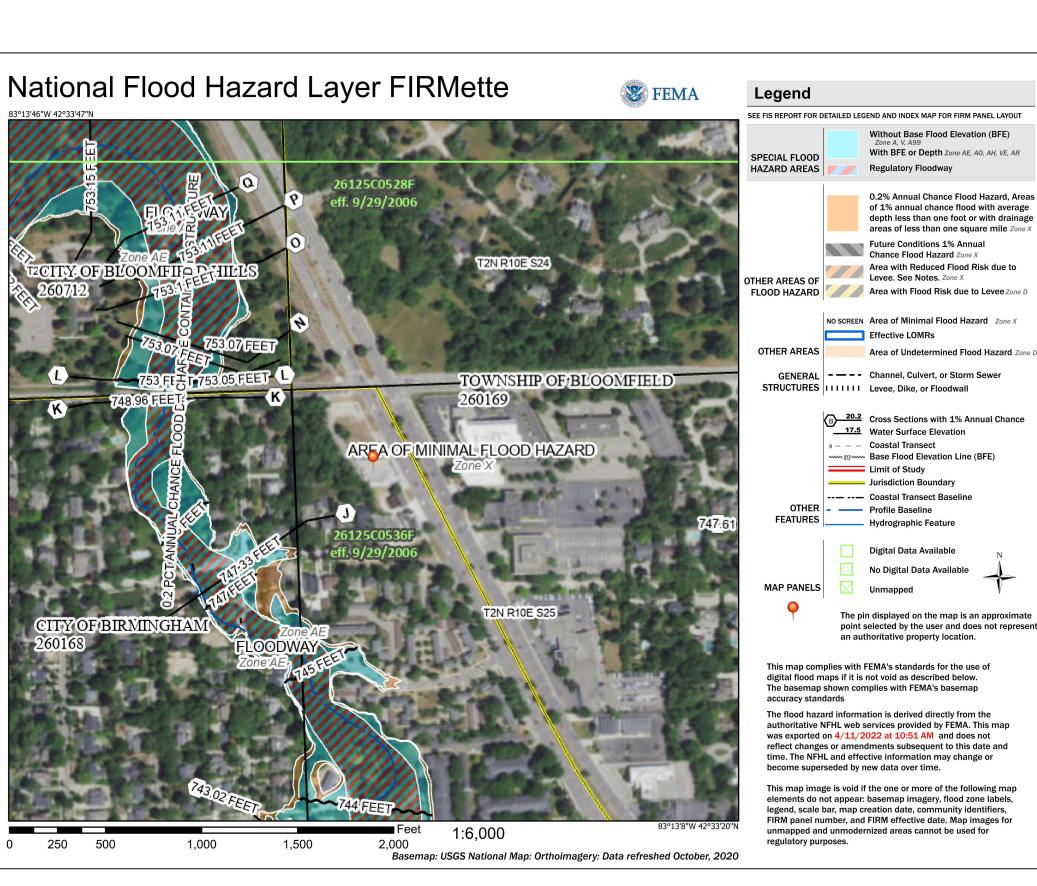
# BASIS OF BEARING NOTE

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED BY WOODWARD AVENUE AS SHOWN ON THE RECORDED PLAT OF QUARTON LAKE ESTATES REPLAT OF EAST PART OF QUARTON LAKE ESTATES SUBDIVISION

# FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY: THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26125C0536F BEARING AN EFFECTIVE DATE OF 09-29-2006.



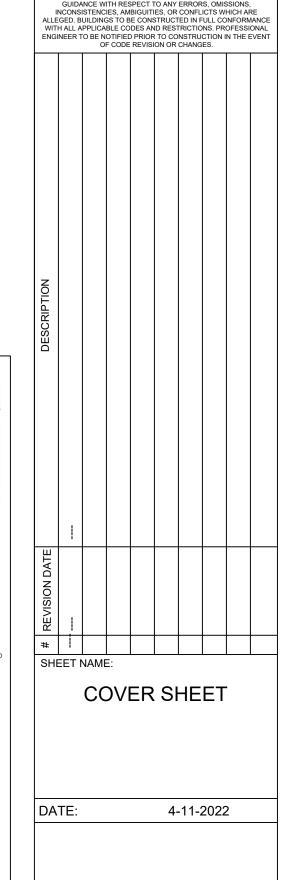




THIS DRAWING IS PRELIMINAR **UNTIL SIGNED AND SEALED BY** THE LICENSED PROFESSIONAL PROFESSIONAL SEAL

Dr. Al Gonzalez P.E. DOTec Engineering

424 Jefferson Street St. Charles, MO 63301 Ph 636-724-9872 Fx 636-724-9032

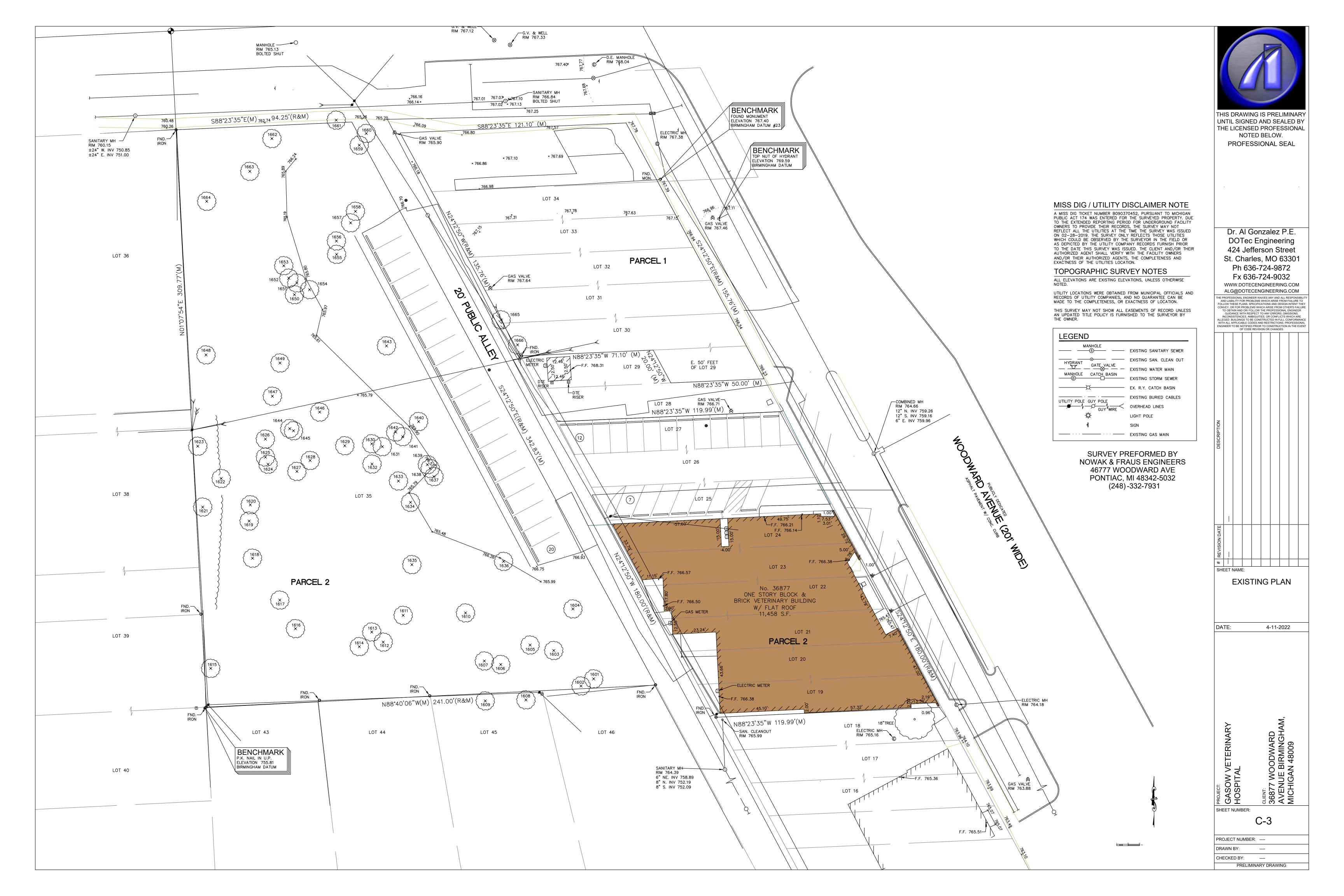


SHEET NUMBER:

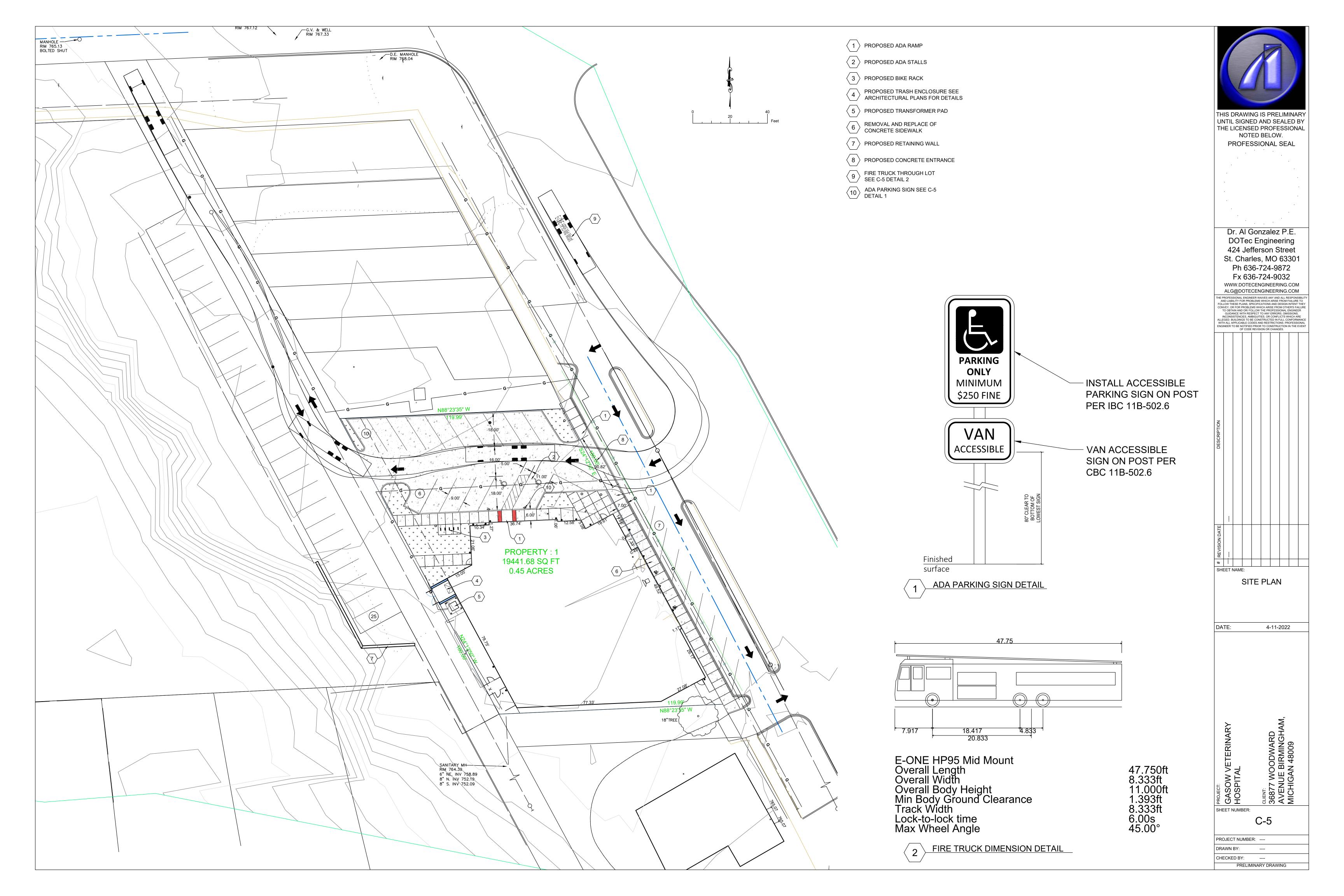
PROJECT NUMBER: ----DRAWN BY: CHECKED BY: ----

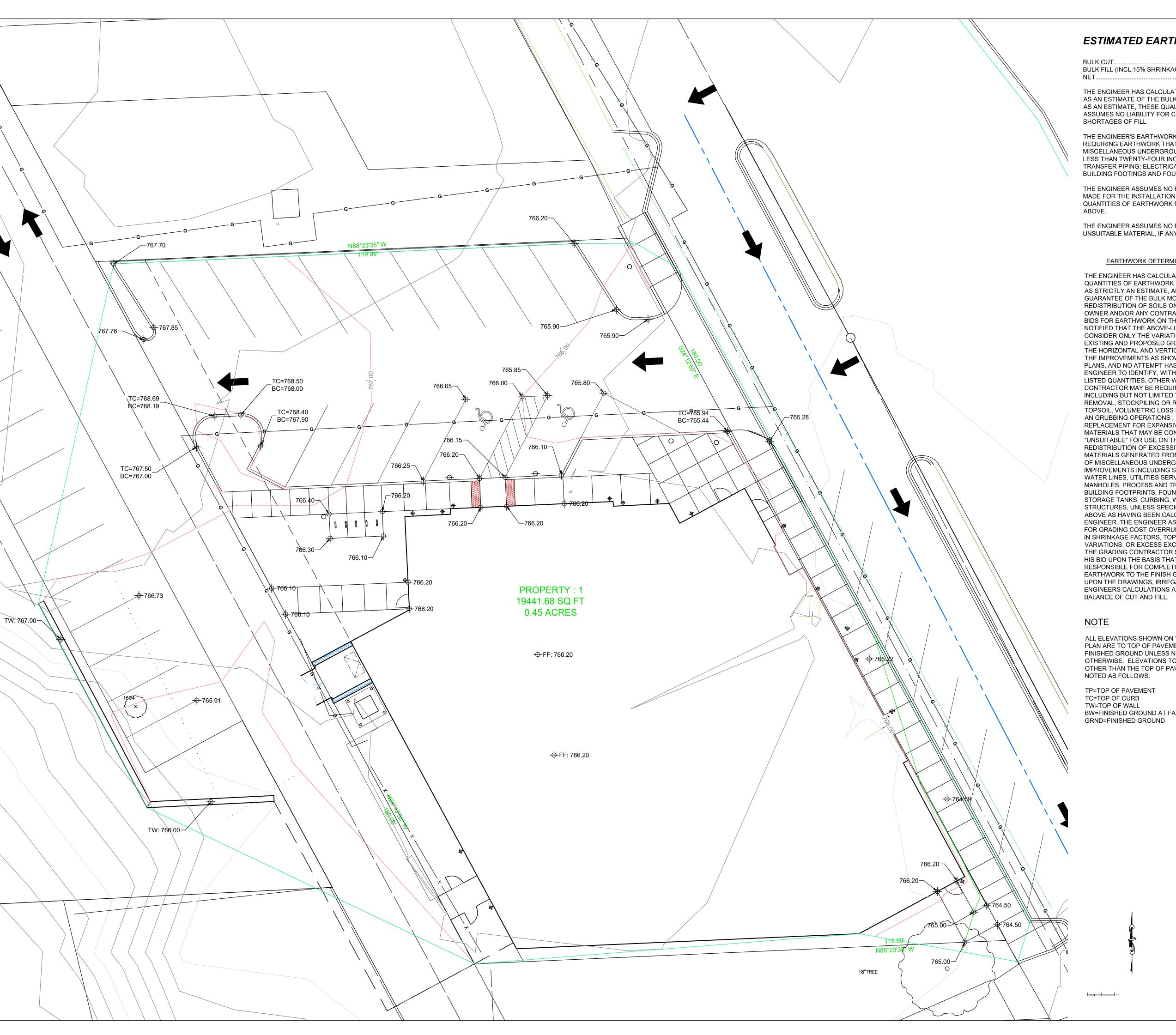
PRELIMINARY DRAWING

### **LEGEND GENERAL GRADING** SANITARY SEWERS TOP OF CURB ELEVATION THE UNDERGROUND UTILITIES SHOWN HEREIN HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND DO NOT ALL FILL AREAS, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED SEWER LINES AND PAVED AREA INLET All PUBLIC SEWER CONSTRUCTION, METHODS AND MATERIALS, SHALL BE IN ACCORDANCE WITH THE NECESSARILY REFLECT THE ACTUAL EXISTENCE, OR NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF AREAS, SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 SEWER DISTRICT'S STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND TOP OF WALL THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATIONS COMPACTION TEST, A.S.T.M. D-1557", UNLESS OTHERWISE REQUIRED BY THE INSPECTING GEOTECHNICAL A.T.G. ADJUST TO GRADE DRAINAGE FACILITIES. OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD ENGINEER. TELEPHONE PEDESTAL TEL PED BENCHMARK PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO ALL SANITARY SEWER LATERALS IN EXCESS OF 100 FEET IN LENGTH SHALL HAVE A CLEANOUT INSTALLED AT 100 FT. INTERVALS. SANITARY SEWER LATERAL CONSTRUCTION SHALL CONFORM TO THE PLANS AND TOP OF FOUNDATION WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE "UNDERGROUND FACILITY SAFETY AND DAMAGE ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH, MATERIALS FREE FROM BROKEN MASONRY, CORRUGATED METAL PIPE ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIALS AND DEBRIS, IN ACCORDANCE WITH THE GEOTECHNICAL PREVENTION ACT', CHAPTER 319, RSMO. GAS, WATER, AND OTHER UTILITIES SHALL NOT CONFLICT WITH THE SPECIFICATIONS OF EARLSBORO. BASEMENT FLOOR ELEV. BSM'T REPORT AND AS DIRECTED BY THE SOILS ENGINEER. DEPTH OR HORIZONTAL LOCATION OF EXISTING AND PROPOSED SANITARY AND STORM SEWERS, INCLUDING THIS DRAWING IS PRELIMINARY C.I. CURB INLET ALL MANHOLE TOPS BUILT WITHOUT ELEVATIONS SUPPLIED BY THE ENGINEER SHALL BE THE RESPONSIBILITY OF BUILDING LATERALS. UNTIL SIGNED AND SEALED BY THE SEWER CONTRACTOR. TEST HOLE PRIOR TO ANY GRADING OR EXCAVATIONS, PROPER SILTATION CONTROL DEVICES SHALL BE INSTALLED. CENTERLINE THE LICENSED PROFESSIONAL THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AND NOTIFY THE INSPECTION DEPARTMENT AND ALL SANITARY BUILDING LATERALS HAVE BEEN DESIGNED SO THAT THE MINIMUM VERTICAL DISTANCE FROM THE UNDERGROUND ELECTRIC -UE-NOTED BELOW. SEWER DISTRICT AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION. ADDITIONAL SILTATION CONTROL DEVICES MAY BE REQUIRED AS DIRECTED BY THE DEPARTMENT OF LOW POINT OF THE BOTTOM FLOOR TO THE FLOW LINE OF A SANITARY SEWER AT THE CORRESPONDING BUILDING D.S. DOWNSPOUT HIGHWAYS AND TRAFFIC. PROFESSIONAL SEAL CONNECTION IS NOT LESS THAN THE DIAMETER OF THE PIPE PLUS A VERTICAL DISTANCE OF 2.5 FT. UNDERGROUND TELEPHONE PRIOR TO SUBMITTAL OF CONSTRUCTION BIDS, THE CONTRACTOR SHALL BE REQUIRED TO VISIT THE SITE TO C.O. CLEAN OUT VERIFY EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SILTATION CONTROL DEVICES THROUGHOUT THE ALL TRENCH BACKFILLS UNDER PAVEMENT SHALL BE GRANULAR BACKFILLED. WATER LINE CONSTRUCTION OF THIS PROJECT. END OF PIPE REMOVAL AND/OR DEMOLITION OF ALL EXISTING STRUCTURE(S), PAVEMENT AND UTILITIES SHALL BE P.V.C. GRAVITY SANITARY PIPE SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. D-3034, FOR THE P.S.M.-P.V.C. U.I.P. **USE IN PLACE** COORDINATED WITH OWNER OR OWNER'S REPRESENTATIVE. CONTRACTOR SHALL KEEP EXISTING ROADWAYS FREE FROM MUD, ROCK AND DEBRIS AT ALL TIMES. FLOW LINE ELEVATION SEWER PIPE FITTINGS. SDR-35. ALL FITTINGS FOR P.V.C. PIPE SHALL BE OF THE SAME MATERIAL AND STRENGTH F.L. REQUIREMENTS AS THE SEWER PIPES. T.B.R. TO BE REMOVED ALL ELEVATIONS SHOWN ARE TO U.S.G.S. DATUM. ALL DISPOSAL OF MATERIAL REMOVED FROM THE SITE SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE FLARED END SECTION F.E. AND FEDERAL REGULATIONS. WHEN P.V.C. IS USED, APPROPRIATE RUBBER SEAL WATERSTOP, SHALL BE INSTALLED BETWEEN P.V.C. (TYP.) TYPICAL THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION WITH ALL UTILITY COMPANIES. FENCE LINE PIPE AND MASONRY CONCRETE OR BRICK STRUCTURES. NO GRADED SLOPE SHALL EXCEED 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1), UNLESS APPROVED BY THE √ 500 ✓ EXISTING CONTOUR THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES IN THE PLANS. GEOTECHNICAL ENGINEER. GAS LINE ALL SANITARY SEWER LATERALS SHOWN ON THE PLAN ARE TO BE CONSTRUCTED OF 4 INCH P.VC. PIPE AT A MINIMUM SLOPE OF 2% (TWO PERCENT). PROPOSED CONTOUR ~ 500 *~* GT GRATED TROUGH PERMIT WILL BE REQUIRED FOR CONSTRUCTION OF RETAINING WALLS. NO ADDITIONAL AREAS (NOT SHOWN ON THE PLANS) SHALL BE CLEARED WITHOUT EXPRESS PERMISSION OF SEWER CONSTRUCTION AT ONE PERCENT (1%) OR LESS: SANITARY SEWER STRUCTURE\$ THE OWNER OR OWNER'S REPRESENTATIVE. Dr. Al Gonzalez P.E. FOR SEWER PIPE (STORM SANITARY AND COMBINED) WITH A DESIGN GRADE LESS THAN ONE PERCENT (1%), FIRE HYDRANT ALL ADJACENT OFFSITE PROPERTY OWNERS SHALL BE GIVEN NOTICE 48 HOURS IN ADVANCE OF ANY WORK. DOTec Engineering VERIFICATION OF THE PIPE GRADE WILL BE REQUIRED FOR EACH INSTALLED REACH OF SEWER, PRIOR TO ANY STORM SEWER STRUCTURES PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED GRADES AND READ TO THE TOP OF PAVEMENT G.E. GROUND ELEVATION SURFACE RESTORATION OR INSTALLATION OF ANY SURFACE IMPROVEMENTS. THE CONTRACTOR'S FIELD CURBS, OR DIRT, AS APPLIES. 424 Jefferson Street ANY DISTURBED OFFSITE PROPERTY (IE. BUSHES, FENCES, MAILBOXES, ETC.) SHALL BE REPLACED, IN KIND, AT SUPERVISOR WILL BE REQUIRED TO PROVIDE DAILY DOCUMENTATION VERIFYING THAT THE AS-BUILT PIPE GRADE THE DEVELOPER'S EXPENSE. St. Charles, MO 63307 **GRATED INLET** G.I. MEETS THE DESIGN GRADE THROUGH THE SUBMITTAL OF SIGNED CUT SHEETS TO THE DISTRICT INSPECTOR ALL GRADES FOR THE BUILDING PADS SHALL BE WITHIN 0.1 FT. MORE OR LESS OF THOSE SHOWN ON THESE UPON REQUEST. THE CONTRACTOR WILL BE REQUIRED TO REMOVE AND REPLACE ANY SEWER REACH HAVING AN Ph 636-724-9872 THE DEVELOPER IS ADVISED THAT UTILITY COMPANIES WILL REQUIRE COMPENSATION FOR RELOCATION OF PLANS. ALL OTHER GRADES SHALL BE WITHIN 0.2 FT. MORE OR LESS. GAS METER AS-BUILT GRADE FLATTER THAN THE DESIGN GRADE BY MORE THAN 0.1 %. SEWERS WITH GRADES GREATER THAN THEIR UTILITY FACILITY WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. UTILITY RELOCATION COST SHALL BE Fx 636-724-9032 THE DESIGN GRADE MAY BE LEFT IN PLACE PROVIDED: NO OTHER SEWER GRADE IS REDUCED BY THIS VARIANCE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PADS. CONSIDERED THE DEVELOPER'S RESPONSIBILITY. THE DEVELOPER SHOULD ALSO BE AWARE OF EXTENSIVE IN THE AS-BUILT GRADES, DSD ALSO RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND GV GAS VALVE WWW.DOTECENGINEERING.COM DELAYS IN UTILITY COMPANY RELOCATION AND ADJUSTMENTS, SUCH DELAYS WILL NOT CONSTITUTE A CAUSE TO REPLACE ANY SEWER (AT ANY TIME PRIOR TO CONSTRUCTION APPROVAL) FOR WHICH THE AS-BUILT GRADE DOES ALG@DOTECENGINEERING.COM ALLOW OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS. ADJUSTMENTS WILL NOT CONSTITUTE A G.W. **GUY WIRE** NOT COMPLY WITH THE GRADE TOLERANCE STATED IN THE ABOVE PARAGRAPHS. FIELD SURVEYED VERIFICATION THE PROFESSIONAL ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND OR! FOLLOW THE PROFESSIONAL ENGINEER GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED. BUILDINGS TO BE CONSTRUCTED IN FULL CONFORMANCE WITH ALL APPLICABLE CODES AND RESTRICTIONS. PROFESSIONAL ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION. CAUSE TO ALLOW OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS. MUST BE MADE UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR OR REGISTERED ENGINEER THE SEWER H.G.L. HYDRAULIC GRADE LINE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COST ASSOCIATED WITH THE FIELD VERIFICATION OF THE SEWER ALL CONSTRUCTION SHALL BE PER MOST CURRENT DETAILS LOCATED IN THE SEDIMENT AND EROSION GRADE, OR REMOVAL AND REPLACEMENT OF THE SEWER PIPE OR ASSOCIATED APPURTENANCES. LIGHT STANDARD CONTROL MANUAL. L.S. REMOVE, REPLACE OR REHAB: ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION IN THE EVEN OF CODE REVISION OR CHANGES. MANHOLE THE REMOVAL AND REPLACEMENT, OR REHABILITATION OF THE EXISTING STRUCTURE WILL BE DETERMINED BY THE DSD FIELD INSPECTOR. IF THE STRUCTURE IS DETERMINED TO REMAIN IN RCP REINFORCED CONCRETE PIPE PLACE, THEN THE TOP SHALL BE ADJUSTED TO GRADE, IF NEEDED. U.P. UTILITY POLE FILL OR REMOVE, ABANDONED SEWER ABANDONED SEWERS SHALL BE REMOVED OR COMPLETELY FILLED WITH GROUT. W.M. WATER METER W.V. WATER VALVE **GAS LINE** OVERHEAD ELECTRIC STORM SEWERS OVERHEAD UTILITIES TELEPHONE LINE ALL SEWER CONSTRUCTION, METHODS AND MATERIAL'S, SHALL BE IN ACCORDANCE WITH THE SEWER DISTRICTS FINISHED FLOOR STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES. TOP OF CURB ALL TRENCH BACKFILLS UNDER PAVEMENT SHALL BE COMPACTED GRANULAR BACKFILL. BOTTOM OF CURB ALL STORM SEWERS SHOWN ON THE PLANS ARE TO BE CONSTRUCTED OF REINFORCED CONCRETE PIPE A.S.T.M. C-76 CLASS III, MINIMUM, REGARDLESS OF DIAMETER, UNLESS OTHERWISE SHOWN ON THE PLANS. TOP OF PAVEMENT All STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. INTERIM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORM WATER SYSTEMS IN ACCORDANCE WITH M.S.D. STANDARDS. PERMIT WILL BE REQUIRED FOR ROOF DRAIN CONNECTIONS. PUBLIC SEWER MAINTENANCE: MAINTENANCE OF THE SEWERS DESIGNATED AS "PUBLIC" SHALL BE THE RESPONSIBILITY OF THE SEWER DISTRICT UPON DEDICATION OF THE SEWERS TO THE DISTRICT SHEET NAME: **GENERAL NOTES PAVING** THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AND NOTIFY THE AHJ AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION. DATE: 4-11-2022 CONSTRUCTION EQUIPMENT SHALL BE LOCATED ON THE PAVEMENT SURFACE SO AS TO MAINTAIN AT LEAST ONE LANE OF TRAFFIC DURING WORKING HOURS. SUCH EQUIPMENT SHALL BE SHIELDED WITH BARRICADES, CONES, ETC. NO EXCAVATED MATERIALS SHALL BE STORED ON THE ROADWAY SURFACE OVERNIGHT. ROAD PAVEMENTS SHALL BE KEPT CLEAN AND FREE OF MUD, ROCK AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE BARRICADES, FLASHERS AND/OR OTHER SAFETY DEVICES. FOLLOWING COMPLETION OF CONSTRUCTION, ALL TEMPORARY MATERIALS SHALL BE REMOVED AND RIGHT-OF-WAY RESTORED TO ITS ORIGINAL CONDITION. EXISTING IMPROVEMENTS DAMAGED WITHIN THE RIGHT-OF-WAY SHALL BE REPLACED. ALL DISTURBED AREAS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE REGRADED/RESTORED BY SODDING. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS. SHEET NUMBER: PROJECT NUMBER: ----DRAWN BY: CHECKED BY: PRELIMINARY DRAWING









# ESTIMATED EARTHWORK QUANTITIES

..98.65 C.Y.± BULK FILL (INCL.15% SHRINKAGE). ..269.95 C.Y. ± ....171.30 C.Y. ±

THE ENGINEER HAS CALCULATED THE ABOVE QUANTITIES OF EARTHWORK TO BE REGARDED AS AN ESTIMATE OF THE BULK MOVEMENT OR REDISTRIBUTION OF SOILS IN THIS PROJECT. AS AN ESTIMATE, THESE QUALITIES ARE INTENDED .FOR GENERAL USE, AND THE ENGINEER ASSUMES NO LIABILITY FOR COST OVERRUNS DUE TO EXCESS EXCAVATED MATERIALS OR

THE ENGINEER'S EARTHWORK ESTIMATE DOES NOT INCLUDE ANY OF THE FOLLOWING ITEMS REQUIRING EARTHWORK THAT MAY BE NECESSARY FOR COMPLETION OF THE PROJECT: MISCELLANEOUS UNDERGROUND CONDUITS, INCLUDING SEWER LINES AND WATER MAINS LESS THAN TWENTY-FOUR INCHES IN DIAMETER, STANDARD MANHOLES; PROCESS OR TRANSFER PIPING; ELECTRICAL OR TELEPHONE CONDUITS; BASES FOR LIGHT STANDARDS; BUILDING FOOTINGS AND FOUNDATIONS, ETC.

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL SIZE OF THE FIELD EXCAVATION MADE FOR THE INSTALLATION OF UNDERGROUND STRUCTURES, AND AS SUCH, THE ACTUAL QUANTITIES OF EARTHWORK FROM SUCH ITEMS MAY VARY FROM THE ESTIMATE SHOWN

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR COSTS INCURRED DUE TO REMOVAL OF UNSUITABLE MATERIAL, IF ANY, WHICH MUST BE REMOVED FROM SITE.

# EARTHWORK DETERMINATION NOTE

THE ENGINEER HAS CALCULATED THE LISTED QUANTITIES OF EARTHWORK., TO BE REGARDED AS STRICTLY AN ESTIMATE, AND NOT A GUARANTEE OF THE BULK MOVEMENT AND REDISTRIBUTION OF SOILS ON THIS SITE. THE OWNER AND/OR ANY CONTRACTORS PREPARING BIDS FOR EARTHWORK ON THIS PROJECT ARE NOTIFIED THAT THE ABOVE-LISTED QUANTITIES CONSIDER ONLY THE VARIATIONS BETWEEN EXISTING AND PROPOSED GRADES, BASED UPON THE HORIZONTAL AND VERTICAL LOCATIONS OF THE IMPROVEMENTS AS SHOWN UPON THESE PLANS, AND NO ATTEMPT HAS BEEN MADE BY THE ENGINEER TO IDENTIFY, WITHIN THE ABOVE LISTED QUANTITIES, OTHER WORK ITEMS THE CONTRACTOR MAY BE REQUIRED TO PERFORM, INCLUDING BUT NOT LIMITED TO STRIPPING, REMOVAL, STOCKPILING OR REDISTRIBUTION OF TOPSOIL, VOLUMETRIC LOSS DUE TO CLEARING AN GRUBBING OPERATIONS; EXCAVATION AND REPLACEMENT FOR EXPANSIVE, SOFT OR OTHER MATERIALS THAT MAY BE CONSIDERED "UNSUITABLE" FOR USE ON THIS PROJECT; THE REDISTRIBUTION OF EXCESSIVE EXCAVATED MATERIALS GENERATED FROM THE INSTALLATION OF MISCELLANEOUS UNDERGROUND IMPROVEMENTS INCLUDING SEWER LINES, WATER LINES, UTILITIES SERVICES AND MANHOLES, PROCESS AND TRANSFER LINES, BUILDING FOOTPRINTS, FOUNDATIONS, PIERS, STORAGE TANKS, CURBING, WALKS AND OTHER STRUCTURES, UNLESS SPECIFICALLY LISTED ABOVE AS HAVING BEEN CALCULATED BY THE ENGINEER. THE ENGINEER ASSUMES NO LIABILITY FOR GRADING COST OVERRUNS DUE TO CHANGE IN SHRINKAGE FACTORS, TOPOGRAPHIC VARIATIONS, OR EXCESS EXCAVATED MATERIALS. THE GRADING CONTRACTOR SHOULD PREPARE HIS BID UPON THE BASIS THAT HE/SHE IS RESPONSIBLE FOR COMPLETING THE EARTHWORK TO THE FINISH GRADES SHOWN UPON THE DRAWINGS, IRREGARDLESS OF THE ENGINEERS CALCULATIONS AS TO THE RELATIVE

ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT ARE

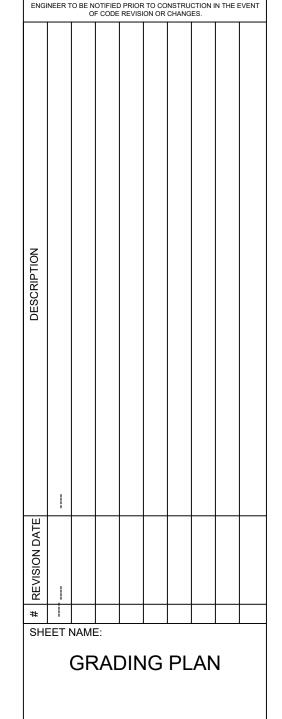
BW=FINISHED GROUND AT FACE OF WALL



THIS DRAWING IS PRELIMINARY UNTIL SIGNED AND SEALED BY THE LICENSED PROFESSIONAL NOTED BELOW. PROFESSIONAL SEAL

DOTec Engineering 424 Jefferson Street St. Charles, MO 63301 Ph 636-724-9872 Fx 636-724-9032 WWW.DOTECENGINEERING.COM ALG@DOTECENGINEERING.COM THE PROFESSIONAL ENGINEER WAIVES ANY AND ALL RESPONSIBILITY
AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO
FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY
CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE
TO OBTAIN AND OR! FOLLOW THE PROFESSIONAL ENGINEER
GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS,
INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE
ALLEGED. BUILDINGS TO BE CONSTRUCTED IN FULL CONFORMANCE
WITH ALL APPLICABLE CODES AND RESTRICTIONS. PROFESSIONAL
ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION.

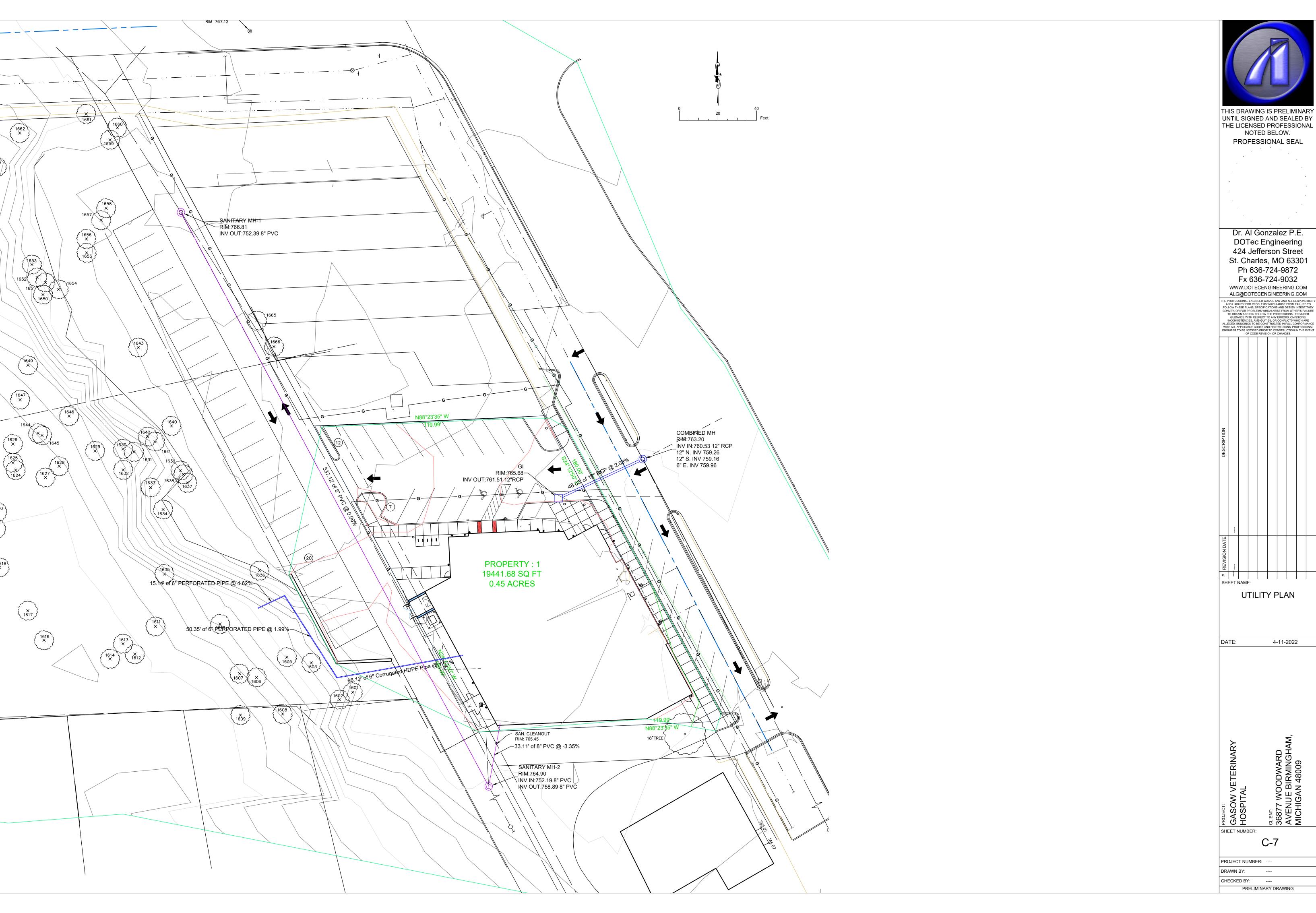
Dr. Al Gonzalez P.E.



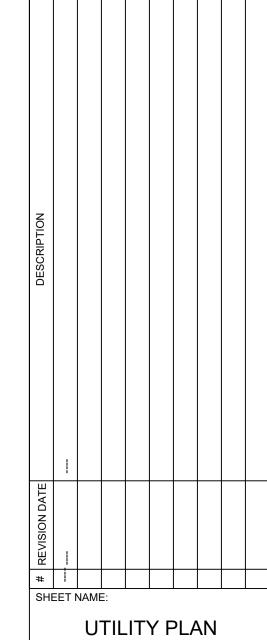
4-11-2022

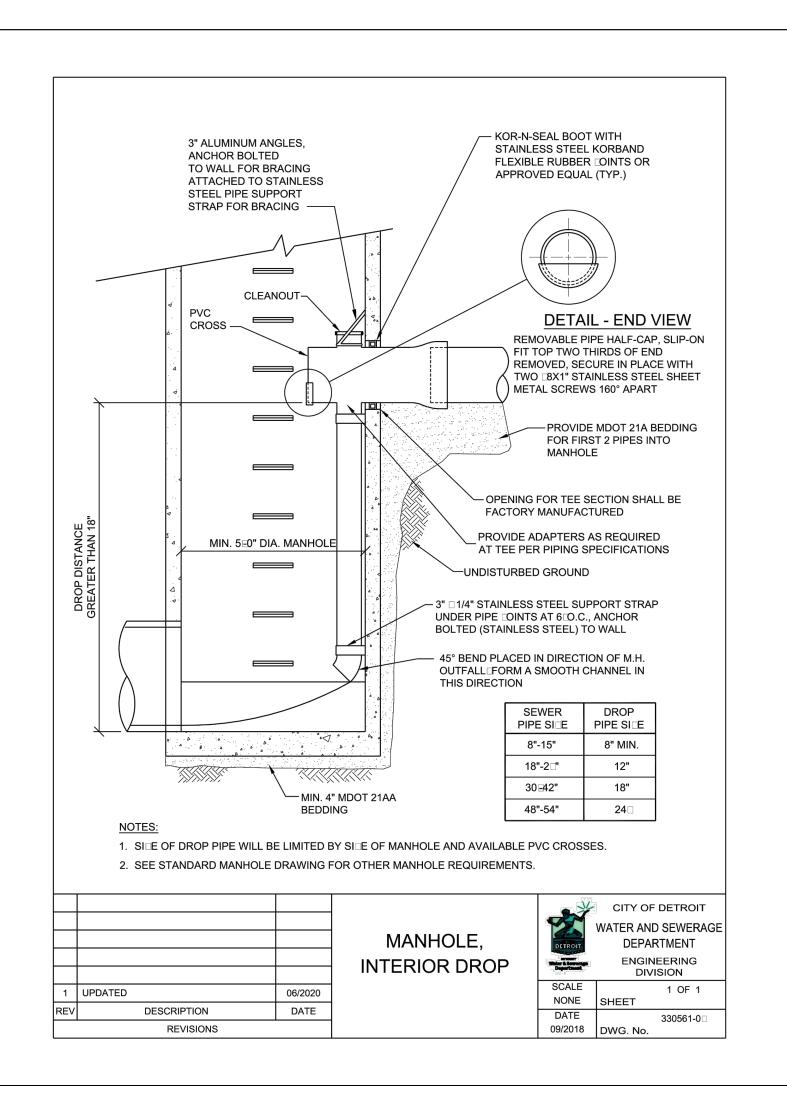
SHEET NUMBER:

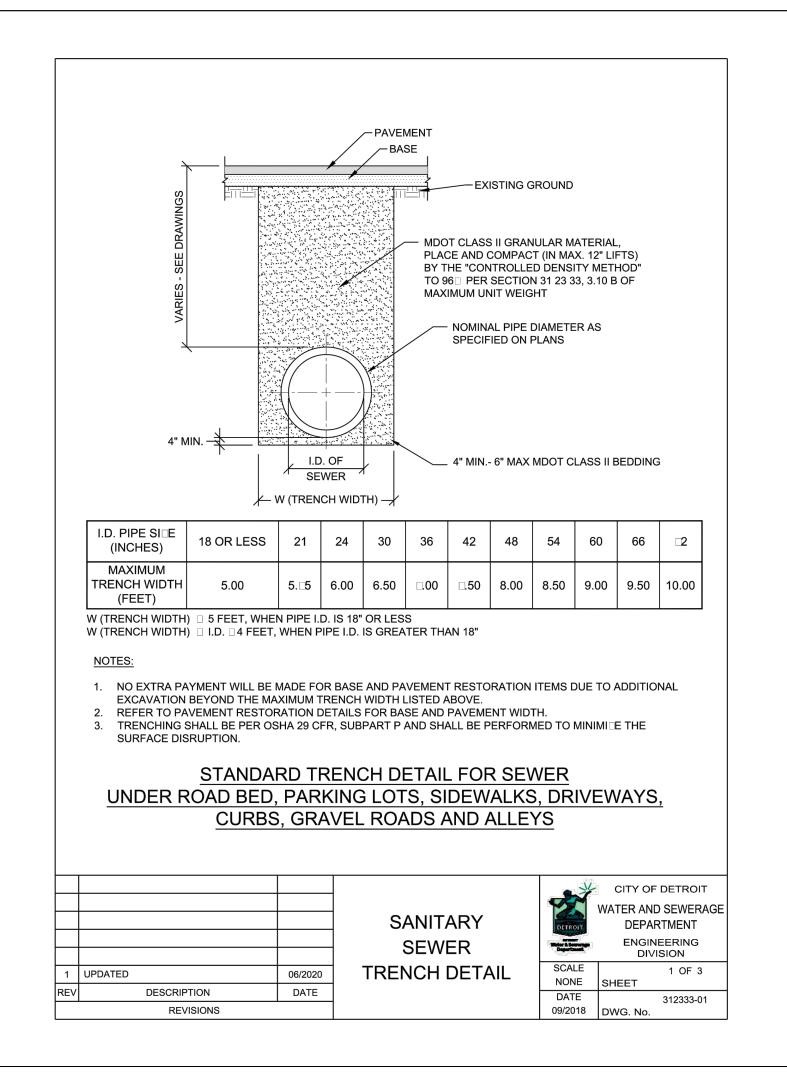
PROJECT NUMBER: ----DRAWN BY: ----

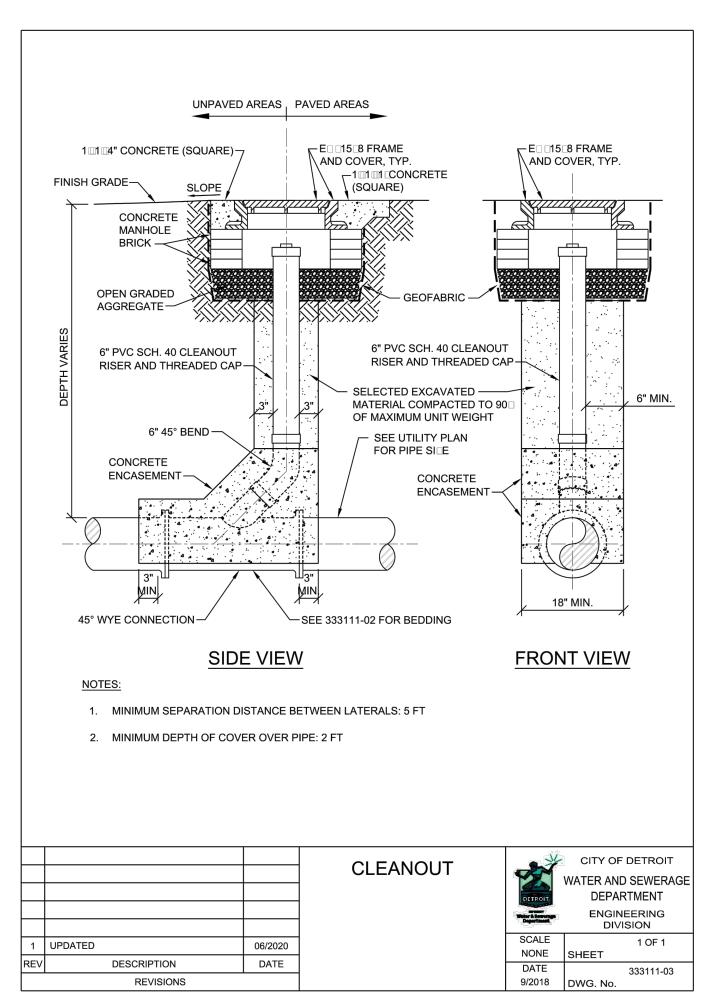


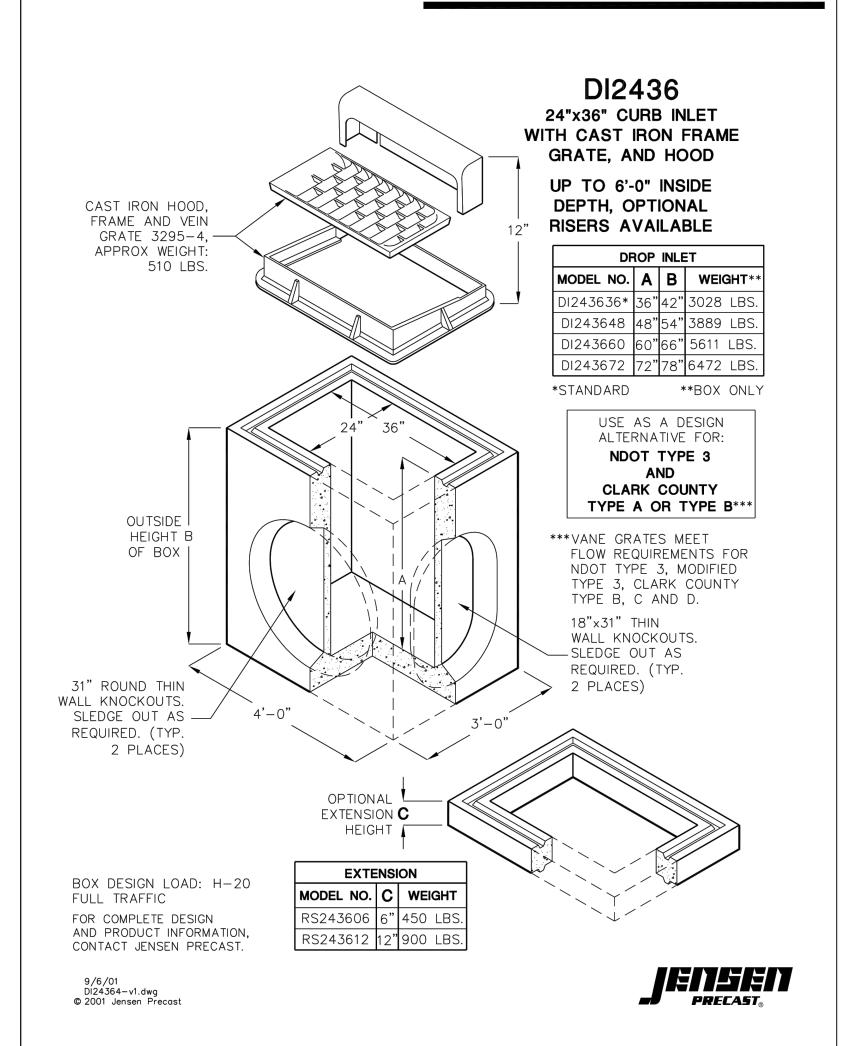










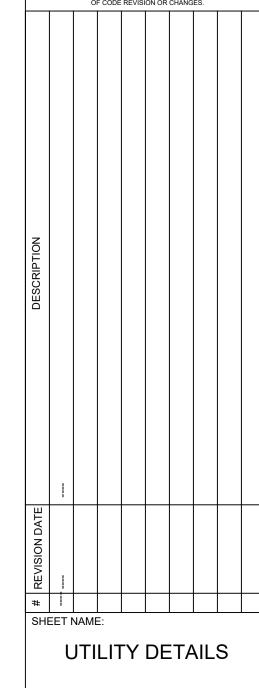




THIS DRAWING IS PRELIMINARY
UNTIL SIGNED AND SEALED BY
THE LICENSED PROFESSIONAL
NOTED BELOW.
PROFESSIONAL SEAL

Dr. Al Gonzalez P.E. DOTec Engineering

A24 Jefferson Street
St. Charles, MO 63301
Ph 636-724-9872
Fx 636-724-9032
WWW.DOTECENGINEERING.COM
ALG@DOTECENGINEERING.COM
ALG@DOTECENGINEERING.COM
THE PROFESSIONAL ENGINEER WAIVES ANY AND ALL RESPONSIBILITY
AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO
FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY
CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS FAILURE
TO OBTAIN AND ORF FOLLOW THE PROFESSIONAL ENGINEER
GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS,
INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE
ALLEGED BUILDINGS TO BE CONSTRUCTED IN FULL CONFORMANCE
WITH ALL APPLICABLE CODES AND RESTRICTIONS. PROFESSIONAL
ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION IN THE EVENT
OF CODE REVISION OR CHANGES.



ATE: 4-11-2022

ASOW VETERINARY
OSPITAL
6877 WOODWARD
VENUE BIRMINGHAM,

SHEET NUMBER:

C-8

PROJECT NUMBER: ---DRAWN BY: ----





THIS DRAWING IS PRELIMINARY UNTIL SIGNED AND SEALED BY THE LICENSED PROFESSIONAL NOTED BELOW. PROFESSIONAL SEAL

Dr. Al Gonzalez P.E.

424 Jefferson Street St. Charles, MO 63301 Ph 636-724-9872 Fx 636-724-9032 WWW.DOTECENGINEERING.COM ALG@DOTECENGINEERING.COM THE PROFESSIONAL ENGINEER WAIVES ANY AND ALL RESPONSIBILITY
AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO
FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY
CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE
TO OBTAIN AND OR! FOLLOW THE PROFESSIONAL ENGINEER
GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS,
INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE
ALLEGED. BUILDINGS TO BE CONSTRUCTED IN FULL CONFORMANCE
WITH ALL APPLICABLE CODES AND RESTRICTIONS. PROFESSIONAL

EROSION CONTROL NOTES

NECESSARY FOR GRADING PURPOSES.

REMOVED PRIOR TO ACCEPTANCE.

NECESSARY TO BE EFFECTIVE.

REDUCED, OR AS DIRECTED.

13. TOPSOIL MATERIAL AND SEEDING

GERMINATION.

NOT CAUSE WATER TO ENTER ONTO ROADWAY.

FROZEN OR MUDDY CONDITION.

SHALL BE REMOVED.

1. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS

2. TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED,

MINIMUM, ALL DISTURBED AREAS ARE TO BE SEEDED AND MULCHED. 4. CUT AND FILL SLOPES ARE NOT TO EXCEED 2.5:1 UNLESS OTHERWISE NOTED 5. CONSTRUCT EROSION CONTROL DEVICES AS SHOWN AND WHERE DESIGNATED

6. ALL NEW STRUCTURES AND EXISTING STRUCTURES SHALL HAVE ALL SEDIMENT

7. ALL DIMENSIONS AND LOCATIONS OF TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS

DEVICES ARE NO LONGER REQUIRED FOR THE INTENDED PURPOSE THEY

9. SILT FENCES ARE TO BE REPLACED WHEN EFFECTIVENESS IS SIGNIFICANTLY

10. EROSION CONTROL MEASURES SHALL MEET OR EXCEED MINIMUM CRITERIA, STANDARDS AND SPECIFICATIONS SET BY THE CITY OF CASA GRANDE. 11. CONTRACTOR SHALL ENSURE THAT ANY EROSION CONTROL MEASURES DO

12. CONTRACTOR IS RESPONSIBLE TO PERFORM ALL REQUIRED INSPECTIONS AND TO SUBMIT ALL REQUIRED DOCUMENTATION TO THE LOCAL AUTHORITY

CONSTRUCTION NOT TO BE PAVED OR BUILT UPON.

PREP FOR AND PERFORM ALL PERMANENT SEEDING.

FLARED END PROTECTION

TEMPORARY VEGETATION

PERMANENT VEGETATION

CONCRETE WASHOUT

CONSTRUCTION EXIT

INLET PROTECTION

LIMITS OF DISTURBED AREA

Total Disturbed Area =

 $\pm 0.45$  acres

GRAVEL AREA

SILT FENCE

D. THE SEED SHALL COMPLY WITH ALL PROVISIONS OF THE U.S. DEPARTMENT OF AGRICULTURE AS TO LABELING, PURITY, AND

A. TOPSOIL MATERIAL (STOCKPILED, AS SPECIFIED IN SECTION 02200) HAS BEEN SAVED FOR USE IN FINISH GRADING. AFTER SIFTING OUT ALL PLANT GROWTH, RUBBISH, AND STONES, USE FOR AREAS DESIGNATED TO RECEIVE GRASS. IF STOCKPILED TOPSOIL IS NOT SUFFICIENT QUANTITY TO COMPLETE WORK, FURNISH ACCEPTABLE TOPSOIL FOR GRASS AREAS UNLESS NOTED OTHERWISE ON THE DRAWINGS. GRASS AREAS SHALL BE DEFINED AS THAT GRADED AREA DISTURBED DURING

B. ACCEPTABLE TOPSOIL MATERIAL SHALL BE DEFINED AS NATURAL FERTILE AGRICULTURAL SOIL, CAPABLE FOR SUSTAINING VIGOROUS PLANT

SUBSOIL, FREE OF STONES, LUMPS, PLANTS AND THEIR ROOTS,

C. GRASS SEED SHALL BE OF THE PREVIOUS SEASON'S CROP AND THE DATE OF ANALYSIS SHOWN ON EACH BAG FOR TESTING. GRADING

CONTRACTOR SHALL HIRE A QUALIFIED LANDSCAPE CONTRACTOR TO

E. PERMANENT STAND OF GRASS SHALL BE ESTABLISHED 30 DAYS PRIOR TO GRAND OPENING. ALL WATERING, MAINTENANCE, MOWING, ETC. SHALL BE PERFORMED BY THE SITE CONTRACTOR WITH ACCEPTANCE BY

CONCRETE

WASHOUT

—— SF ——

GROWTH, UNIFORM COMPOSITION THROUGHOUT, WITHOUT ADMIXTURE OF

STICKS,OR OTHER EXTRANEOUS MATTER; DO NOT DELIVER WHILE IN A

8. WHEN THE TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL

AND REDISTRIBUTED OVER ALL GRADED AREAS TO A MINIMUM OF 4". ALL AREAS NOT COVERED BY BUILDINGS OR PAVING TO RECEIVE TOPSOIL. 3. ALL GRADED AREAS INCLUDING SLOPES ARE TO BE STABILIZED WITHIN 14 DAYS AFTER GRADING IS COMPLETED. COORDINATE WITH LANDSCAPING DRAWINGS AS TO TYPE OF PERMANENT GROUND COVER TO BE USED. AT A DOTec Engineering

ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION IN THE EVEN OF CODE REVISION OR CHANGES.

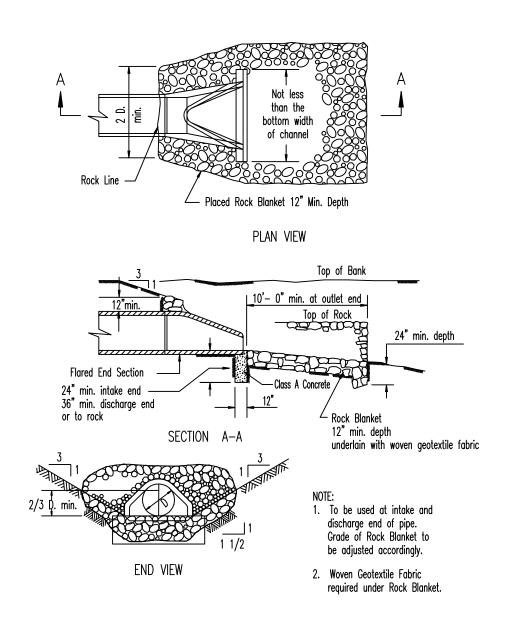
**EROSION CONTROL** PLAN

SHEET NAME:

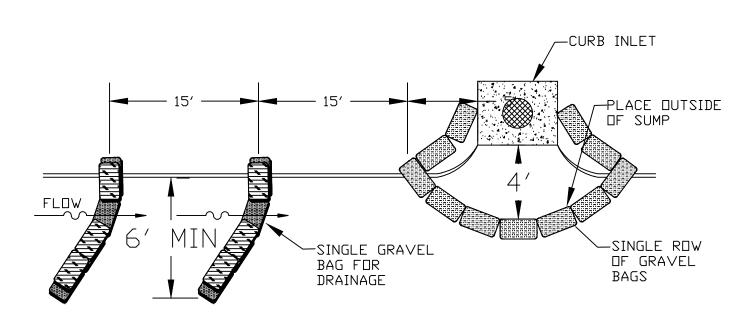
4-11-2022

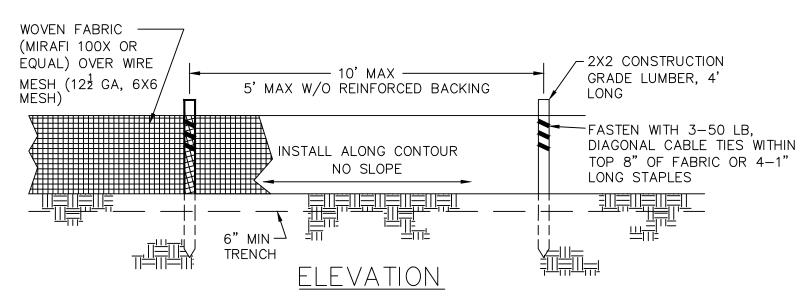
SHEET NUMBER:

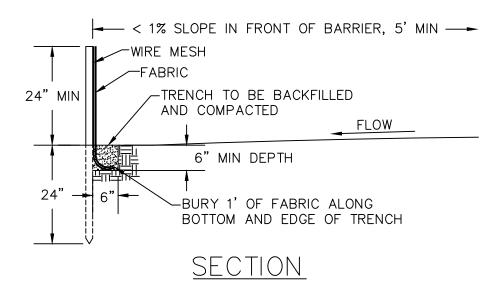
PROJECT NUMBER: ----DRAWN BY:



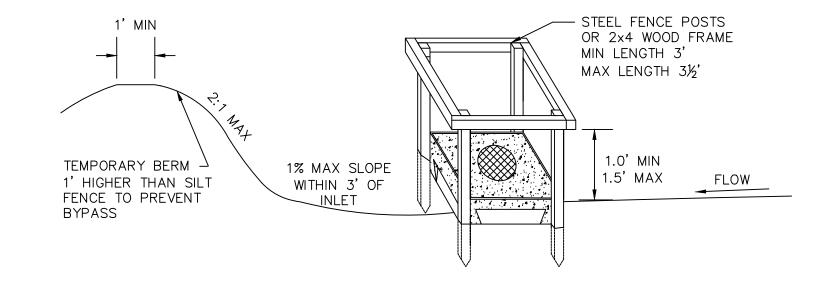












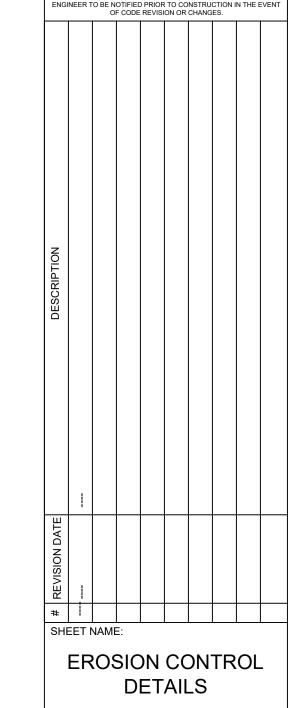
SS INLET PROTECTON



THIS DRAWING IS PRELIMINARY
UNTIL SIGNED AND SEALED BY
THE LICENSED PROFESSIONAL
NOTED BELOW.
PROFESSIONAL SEAL

Dr. Al Gonzalez P.E.

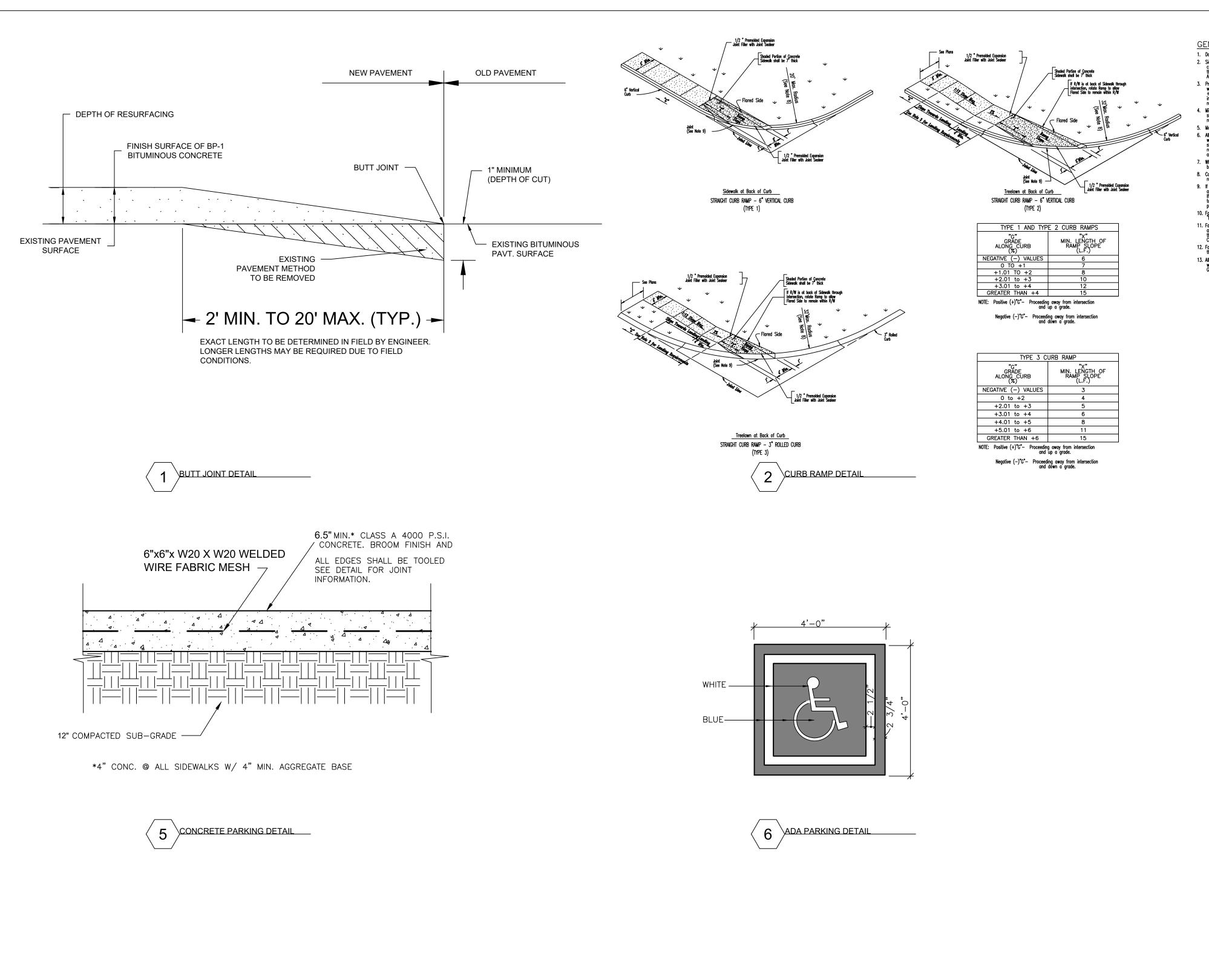
DOTec Engineering
424 Jefferson Street
St. Charles, MO 63301
Ph 636-724-9872
Fx 636-724-9032
WWW.DOTECENGINEERING.COM
ALG@DOTECENGINEERING.COM
THE PROFESSIONAL ENGINEER WAIVES ANY AND ALL RESPONSIBILITY
AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO
FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY
CONVEY, OR FOR PROBLEMS WHICH ARISE FROM THER'S FAILURE
TO OBTAIN AND ONF FOLLOW THE PROFESSIONAL ENGINEER
GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS,
INCONSISTENCIES, AMBIGUITIES, OR CONFILITS WHICH ARE
ALLEGED. BUILDINGS TO BE CONSTRUCTED IN FULL CONFORMANCE
WITH ALL APPLICABLE CODES AND RESTRICTIONS. PROFESSIONAL
ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION IN THE EVENT
OF CODE REVISION OR CHANGES.



DATE: 4-11-2022

SASOW VETERINARY
IOSPITAL
6877 WOODWARD
VENUE BIRMINGHAM,

PROJECT NUMBER: ---DRAWN BY: ----



GENERAL NOTES  ${\it 1.} \quad {\it Do \ not \ scale \ drawing.} \quad {\it Follow \ dimensions.}$ 

- Sidewalks and sidewalk curb ramps shall be constructed in accordance with these details and the current approved "Americans with Disabilities Act Accessibility Guidelines" (ADAAG)

- 5. Maximum sidewalk cross slope 0.02'/ft.. All sidewalk sections shall be 4" thick, except where indicated as 7" thick by shaded portions shown on details. All sidewalk sections and curb ramps, regardless of thickness, shall be poid for as "Concrete Sidewalk."
- 7. Where curb ramp meets povement, bullnose will not be permitted.
- 8. Construct a diagonal ramp when the maximum corner radius allowed for a straight ramp is exceeded.

  9. If monolithic concrete curb is constructed, strike a dummy joint across bottom of ramp at curb line. If concrete curb is doweled-on, block out pavement to provide full depth curb across ramp from outer point of curb taper to outer point of curb taper.

  10. For sidewalk locations on Cul-De-Sacs, refer to Pavement Construction Details.

- For payement longitudinal and transverse joints and tie bar requirements and dimensions, refer to the Payement Construction Details for "Joints and Curbs," Std. Dwg. C502.03. 12. For roadway cross slopes, pavement types, and thicknesses, refer to "Standard Typical Section".
- GENERAL NOTES
- 1. Do not scale drawing. Follow dimensions. Construction joint and tie bars may be omitted when curb is poured integral with povement.
- 3. Minimum Thickness for Pavement is: Bituminous Concrete Pavement Thickness = Concrete Pavement Thickness =
- For Subdivision or Minor Streets having 6" concrete payement 1/2 "o deformed tie bars 30" long at 30" centers shall be used for Type "B" Longitudinal Joints and 1/2" op deformed tie bars 18" long at 30 " centers shall be used for Type "F" Longitudinal Joints.
- Length of the tie bars shall equal the thick-ness of povement plus the height of curb less 3°. Tie bars shall be placed at 24 centers.
- 8. All dowel bars 18"lg. @ 12"ctrs. shall be epoxy



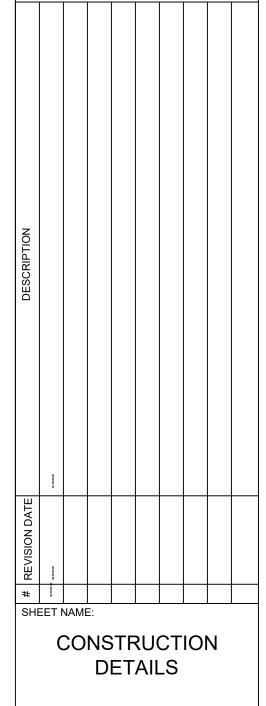


THIS DRAWING IS PRELIMINARY UNTIL SIGNED AND SEALED BY THE LICENSED PROFESSIONAL NOTED BELOW. PROFESSIONAL SEAL

Dr. Al Gonzalez P.E. DOTec Engineering 424 Jefferson Street St. Charles, MO 63301 Ph 636-724-9872 Fx 636-724-9032

SAWED JOINT WITH TIE BARS

WWW.DOTECENGINEERING.COM ALG@DOTECENGINEERING.COM THE PROFESSIONAL ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND OR! FOLLOW THE PROFESSIONAL ENGINEER GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED. BUILDINGS TO BE CONSTRUCTED IN FULL CONFORMANCE WITH ALL APPLICABLE CODES AND RESTRICTIONS, PROFESSIONAL ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION.



4-11-2022

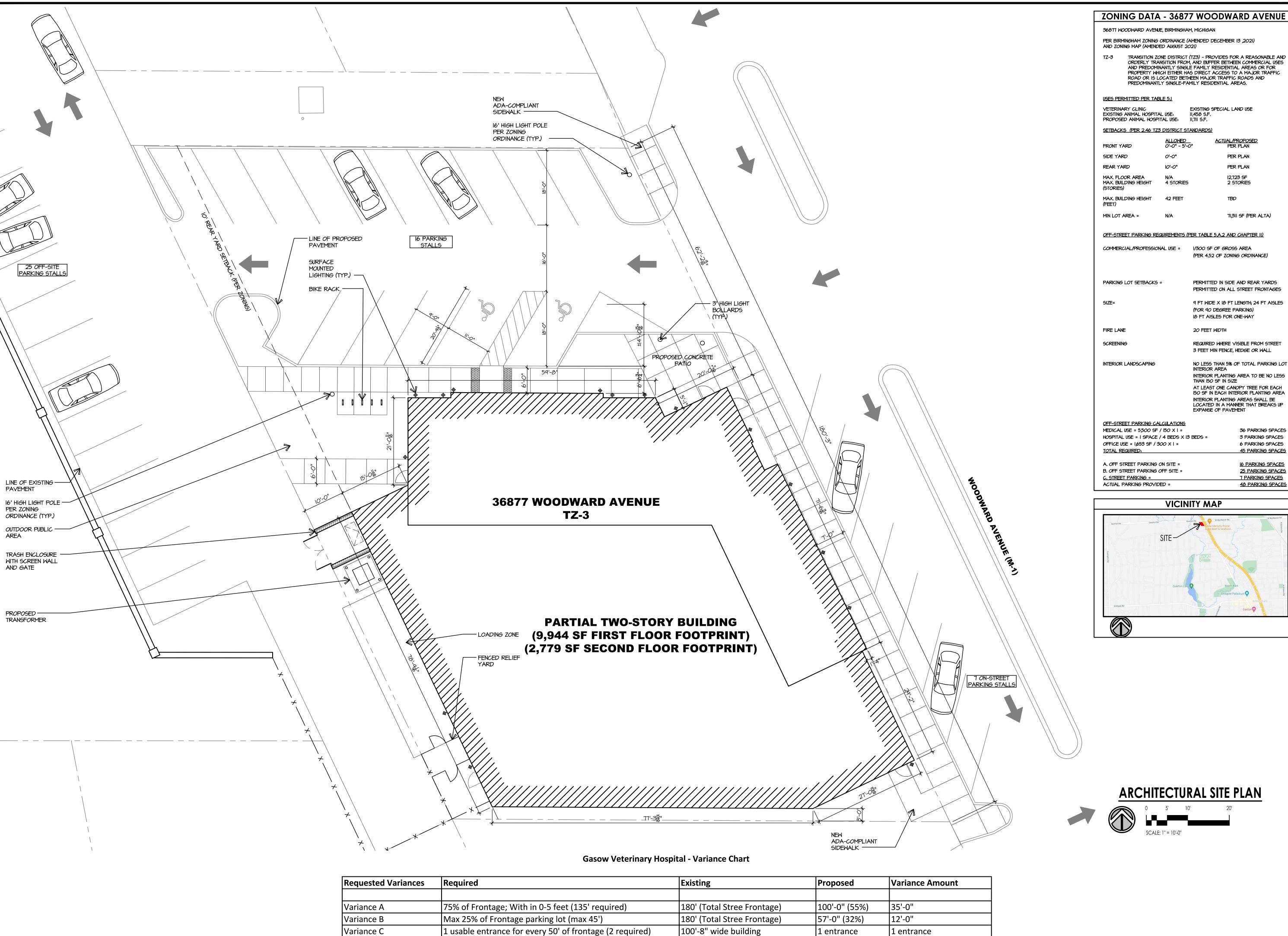
SHEET NUMBER:

PROJECT NUMBER: ----DRAWN BY: ----

CHECKED BY: ----PRELIMINARY DRAWING

C-11







PER BIRMINGHAM ZONING ORDINANCE (AMENDED DECEMBER 13, 2021)

TZ-3 TRANSITION ZONE DISTRICT (TZ3) - PROVIDES FOR A REASONABLE AND ORDERLY TRANSITION FROM, AND BUFFER BETWEEN COMMERCIAL USES AND PREDOMINANTLY SINGLE FAMILY RESIDENTIAL AREAS OR FOR PROPERTY WHICH EITHER HAS DIRECT ACCESS TO A MAJOR TRAFFIC

EXISTING SPECIAL LAND USE

PER PLAN PER PLAN 2 STORIES

(PER 4.52 OF ZONING ORDINANCE)

LINDENGROUP

ARCHITECTURE

LAND PLANNING

INTERIOR ARCHITECTURE

LANDSCAPE ARCHITECTURE

10100 ORLAND PARKWAY SUITE 110

ORLAND PARK, ILLINOIS 60467

(708) 799-4400

WWW.LINDENGROUPINC.COM

1303 Ogden Ave.

Downers Grove, IL 60515 (630) 734-0883

36877 WOODWARD AVENUE IRMINGHAM, MICHIGAN 48009

₩O HO

PERMITTED IN SIDE AND REAR YARDS PERMITTED ON ALL STREET FRONTAGES

9 FT WIDE X I& FT LENGTH; 24 FT AISLES

(FOR 90 DEGREE PARKING) 18 FT AISLES FOR ONE-WAY

REQUIRED WHERE VISIBLE FROM STREET 3 FEET MIN FENCE, HEDGE OR WALL

> INTERIOR PLANTING AREA TO BE NO LESS THAN 150 SF IN SIZE AT LEAST ONE CANOPY TREE FOR EACH 150 SF IN EACH INTERIOR PLANTING AREA INTERIOR PLANTING AREAS SHALL BE

> > 7 PARKING SPACES

<u>48 PARKING SPACES</u>

LOCATED IN A MANNER THAT BREAKS UP EXPANSE OF PAVEMENT 36 PARKING SPACES 3 PARKING SPACES

6 PARKING SPACES 45 PARKING SPACES <u>16 PARKING SPACES</u> 25 PARKING SPACES



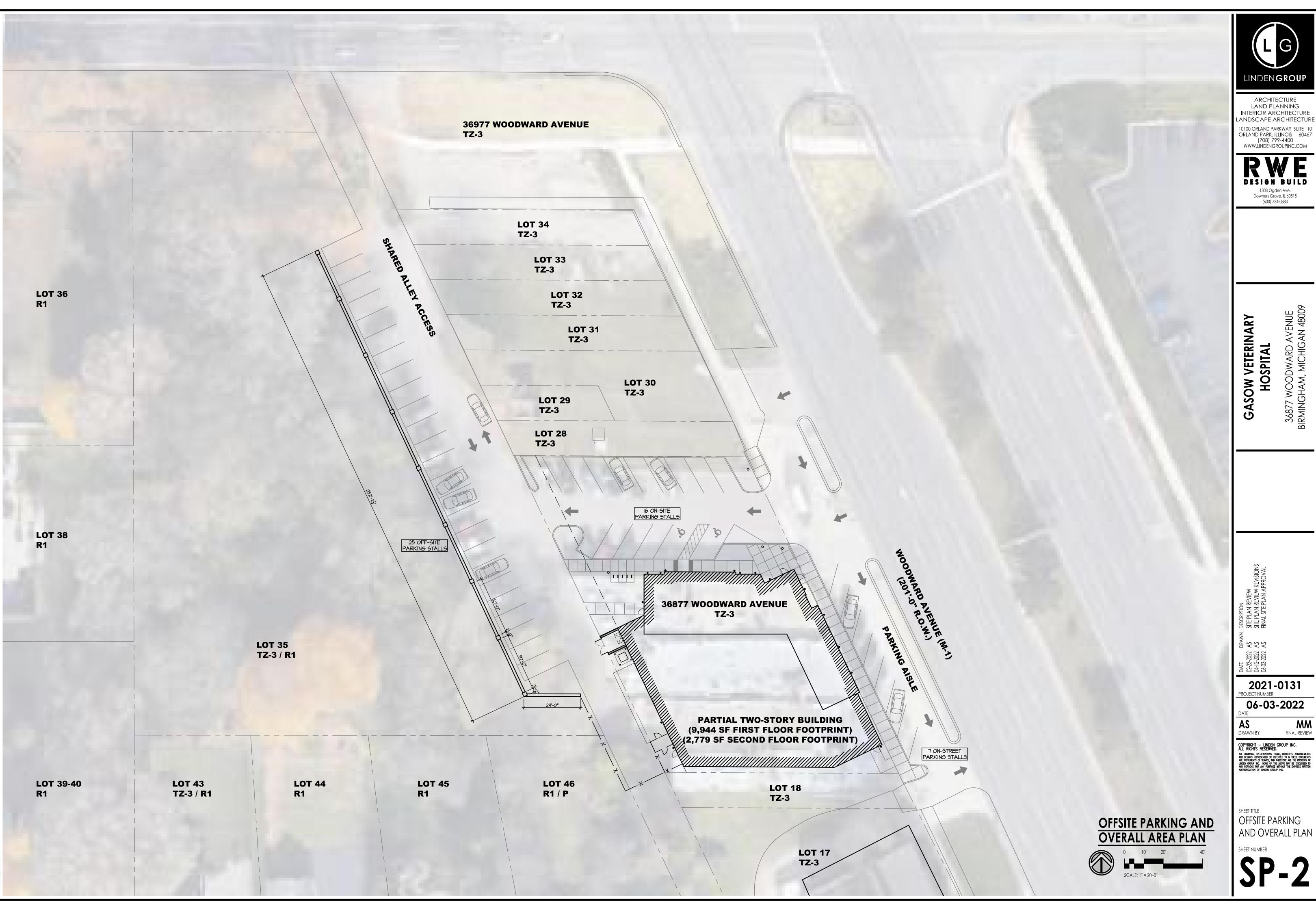
SHEET TITLE
ARCHITECTURAL SITE PLAN

DRA AS AS

2021-0131

06-03-2022

COPYRIGHT — LINDEN GROUP INC.
ALL RIGHTS RESERVED.
ALL DRAWINGS, SPECIFICATIONS, PLANS, CONCEPTS, ARRANGEMENTS
AND DESIGNS REPRESENTED OR REFERRED TO IN THESE DOCUMENTS
ARE INSTRUMENTS OF SERME, AND THEREFORE ARE THE PROPERTY OF
LINDEN GROUP INC. NOTE OF THE ABOVE MAY BE DISCLOSED TO
ANY PERSONS FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN
AUTHORIZATION OF LINDEN GROUP INC.

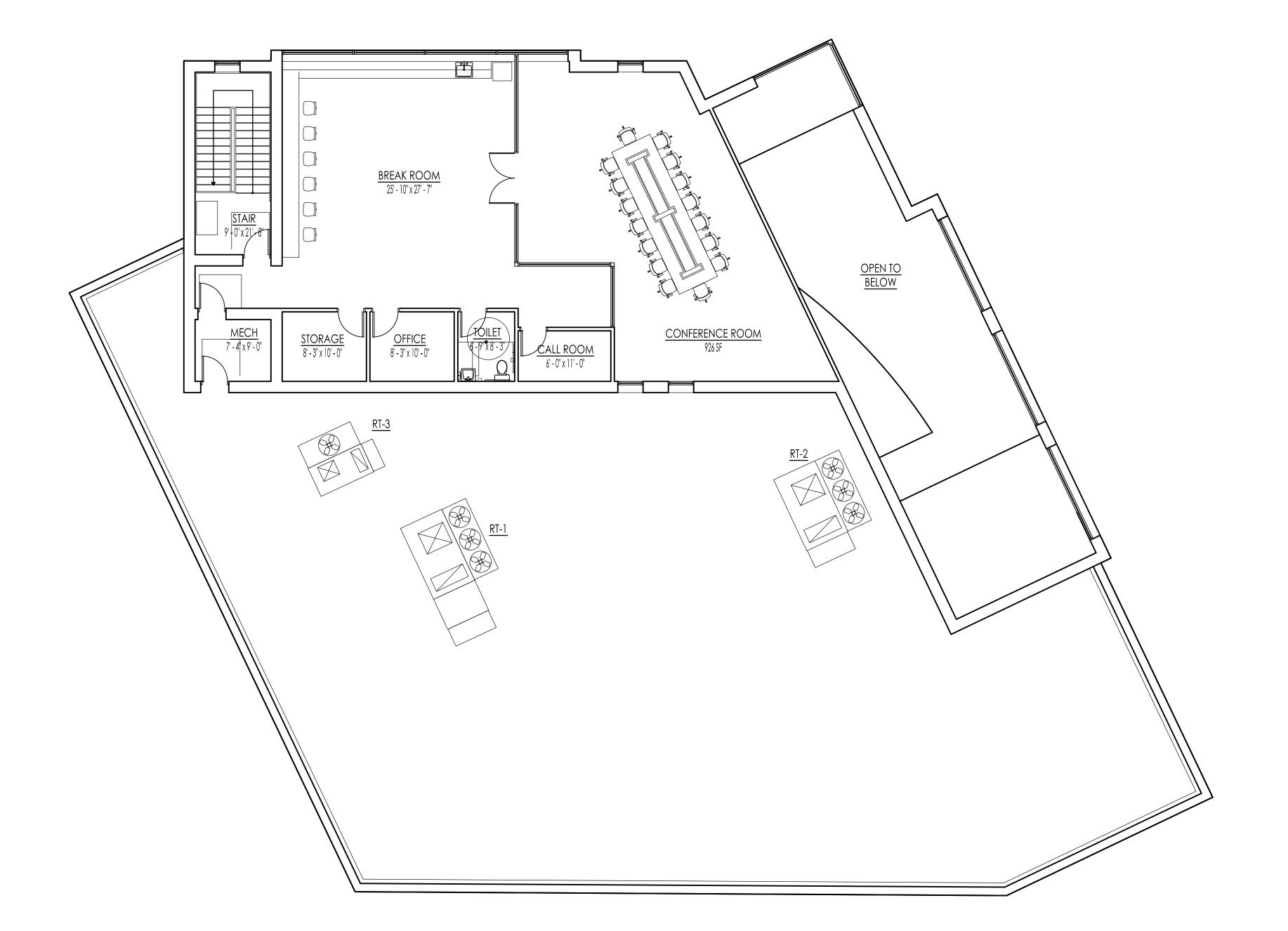








	AIR HANDLING UNIT SCHEDULE																						
TAG MANUFACTURER		TONG	SEER		FAN	DATA			CEILING	G DATA		HTG.	DATA		ELECTRIC	CAL DATA		MIN O/A	GAS	DRAIN	UNIT WT.	DELLARIZA	
	MODEL	TONS	/EER	CFM	ESP	RPM	HP	TOT. MBH	SENS MBH	EAT (db)	EAT (wb)	MBH IN	MBH OUT	MCA	MOC P	VOLT	PH	(%)	CONN. SIZE	CONN. SIZE	(LB.)	REMARKS	
RT-I	AAON	RN01680EB093C9	3.5	12.2			1760	5									208	3				3574	
RT-2	AAON	RN01380EA092F2	1.9	12			1760	5									208	3				1936	
RT-3	AAON	RN00880EA092K2	1.2	11.4			1760	2									208	3				1223	



ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE 10100 ORLAND PARKWAY SUITE 110 ORLAND PARK, ILLINOIS 60467 (708) 799-4400 WWW.LINDENGROUPINC.COM



36877 WOODWARD AVENUE BIRMINGHAM, MICHIGAN 48009

GASOW VETERINARY HOSPITAL

Date Drawn Description 02-23-2022 AS SITE PLAN REVIEW 04-12-2022 AS SITE PLAN REVIEW REVISIONS 06-03-2022 AS FINAL SITE PLAN APPROVAL

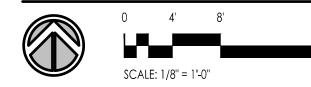
**2021-0131** PROJECT NUMBER

06-03-2022

MM FINAL REVIEW

SHEET TITLE
SECOND FLOOR
PLAN

PRELIMINARY SECOND FLOOR PLAN









EXISTING NORTH BUILDING ELEVATION
PD1-5
NTS



EXISTING EAST BUILDING ELEVATION
PD1-5
NIS



ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINDENGROUPINC.COM

DESIGN BUILD

1303 Ogden Ave.
Downers Grove, IL 60515
(630) 734-0883

GASOW VETERINARY HOSPITAL

36877 WOODWARD AVENUE BIRMINGHAM, MICHIGAN 48009

awn description Site Plan Review Site Plan Review Revisions Final Site Plan Approval

**2021-0131**PROJECT NUMBER

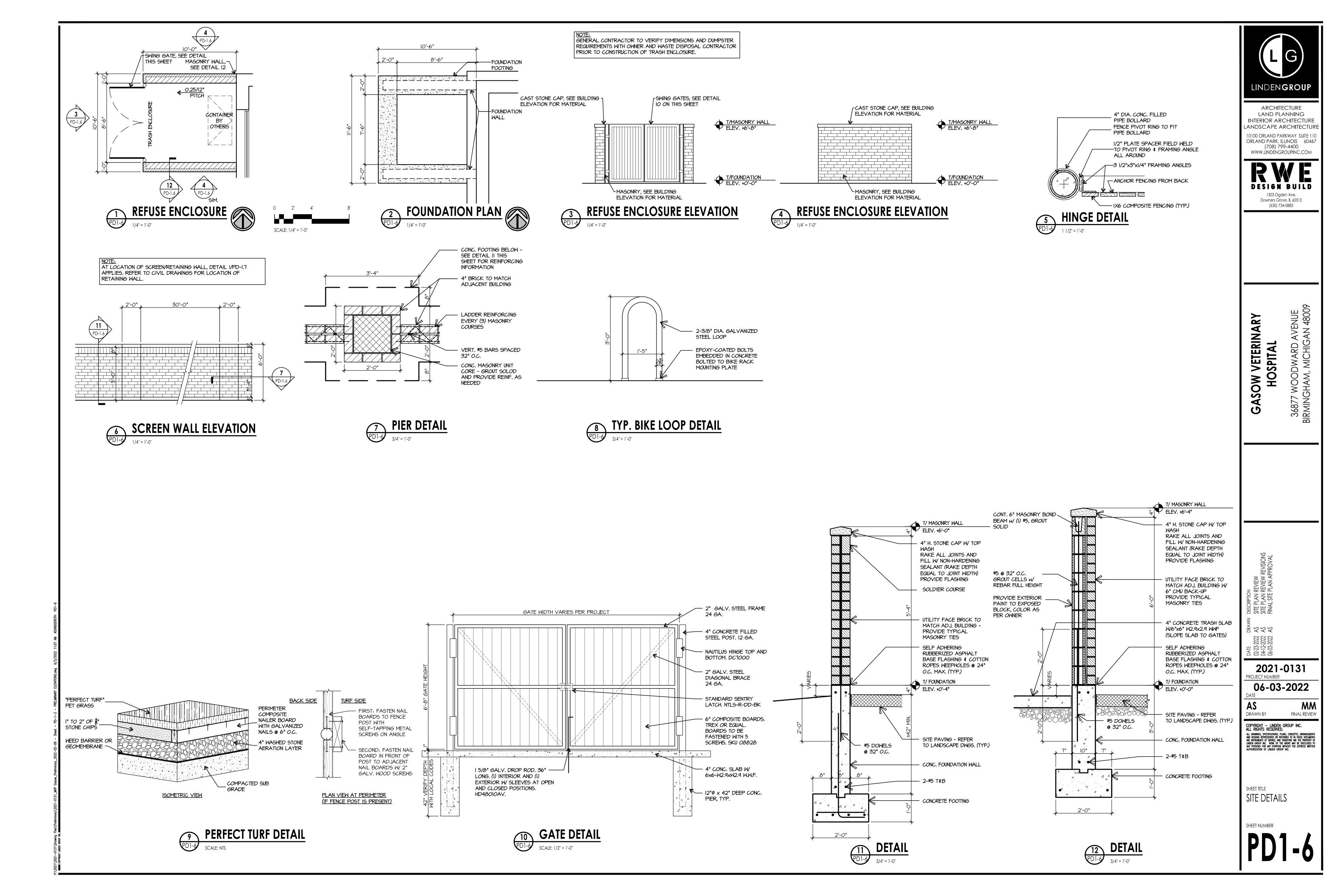
**06-03-2022**DATE

DRAWN BY FINAL REVI

COPYRIGHT — LINDEN GROUP INC.
ALL RIGHTS RESERVED.
ALL DRAWINGS, SPECIFICATIONS, PLANS, CONCEPTS, ARRANGEME AND DESIGNS REPRESENTED OR REFERRED TO IN THESE DOCUME ARE INSTRUMENTS OF SERVICE, AND THEREFORE ARE THE PROPERTY LINDEN GROUP INC. NONE OF THE ABOVE MAY BE DISCLOSED.

SHEET TITLE
EXISTING BUILDING
ELEVATIONS

PD1-5





ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINDENGROUPINC.COM

DESIGN BUILD

1303 Ogden Ave.

1303 Ogden Ave. Downers Grove, IL 60515 (630) 734-0883

GASOW VETERINARY HOSPITAL

HOSPITAL
36877 WOODWARD AVENUE
BIRMINGHAM, MICHIGAN 48009

drawn description AS SITE PLAN REVIEW AS SITE PLAN REVIEW REVISIONS AS FINAL SITE PLAN APPROVAL

**2021-0131**PROJECT NUMBER

06-03-2022

COPYRIGHT — LINDEN GROUP INC.
ALL RIGHTS RESERVED.

ALL DRAWINGS, SPECIFICATIONS, PLANS, CONCEPTS, ARRANGEMENTS
AND DESIGNS REPRESENTED OR REFERRED TO IN THESE DOCUMENTS
ARE INSTRUMENTS OF SERVICE, AND THEREFORE ARE THE PROPERTY OF
LINDEN GROUP INC. NOWE OF THE ARONE MAY BE DISCLOSED TO
ANY PERSONS FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN
AUTHORIZATION OF LINDEN GROUP INC.

SHEET TITLE
SITE DETAILS

SHEET NUMBER

TO LANDSCAFE DIVES

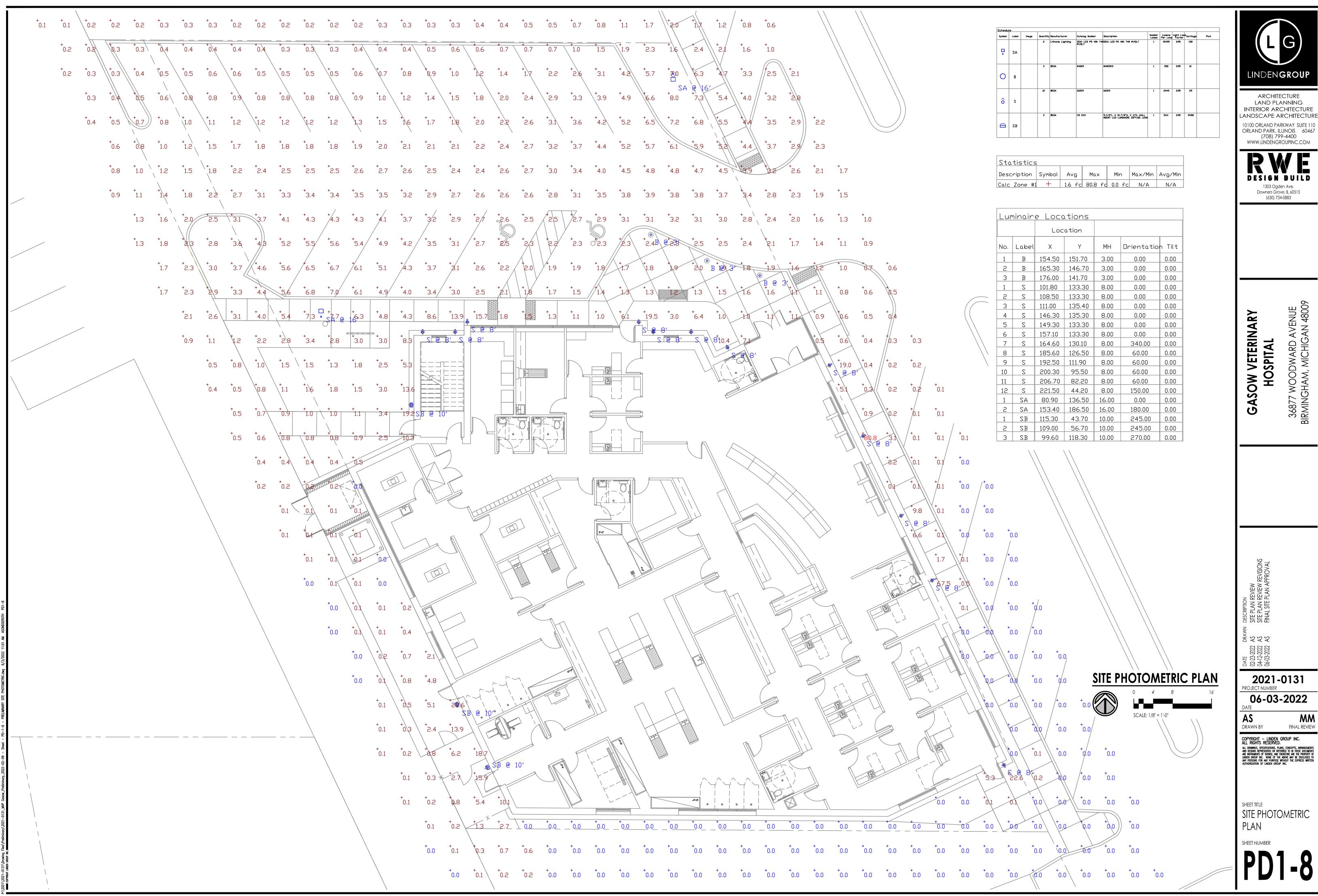
STE PAVING - REFER
TO LANDSCAFE DIVES

STE PAVING - REFER
TO LANDSCAFE DIVES

CONC. FOUNDATION MALL

CONCRETE FOOTING

STORY OF THE STORY OF





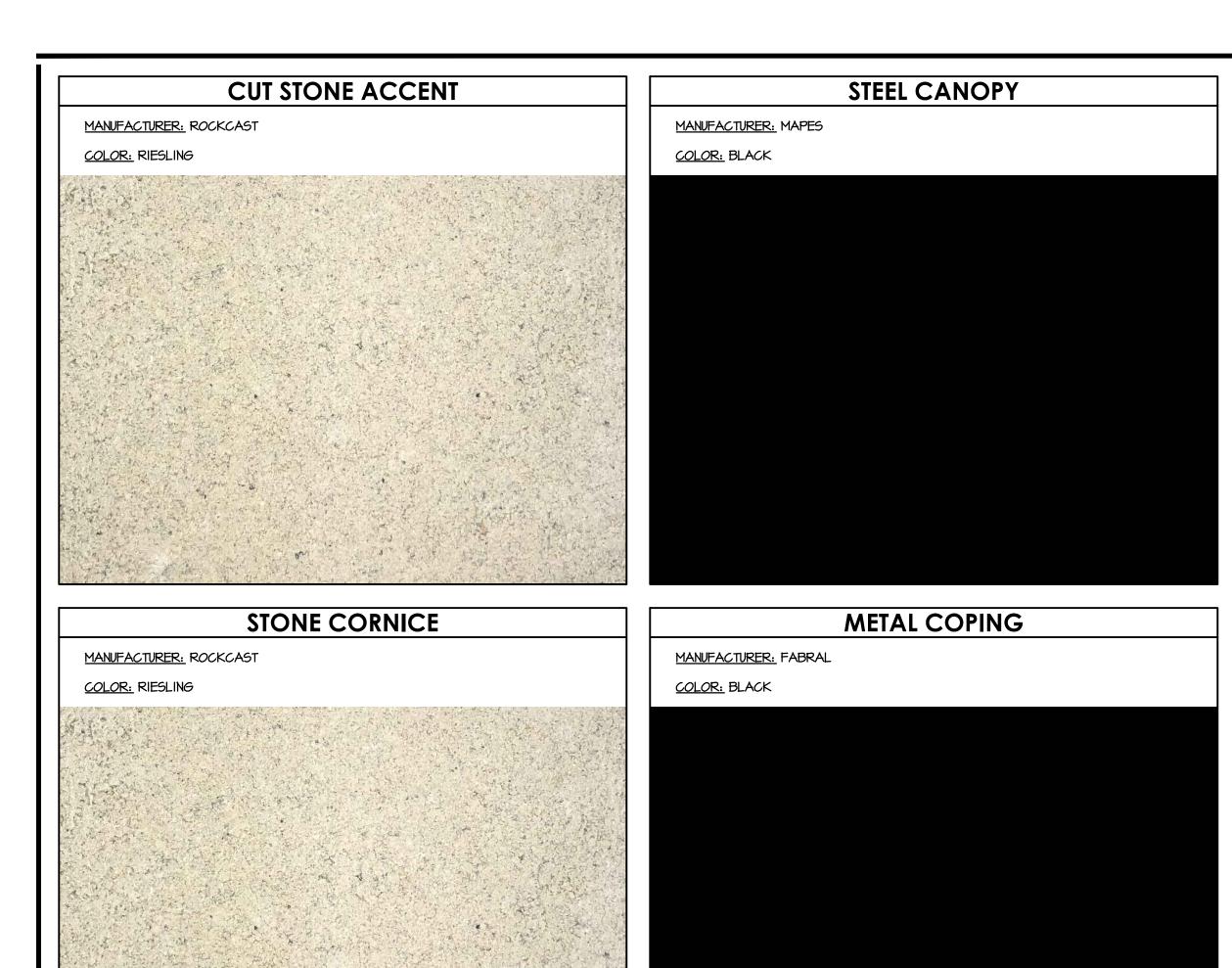
ARCHITECTURE LAND PLANNING INTERIOR ARCHITECTURE LANDSCAPE ARCHITECTUR 10100 ORLAND PARKWAY SUITE 110

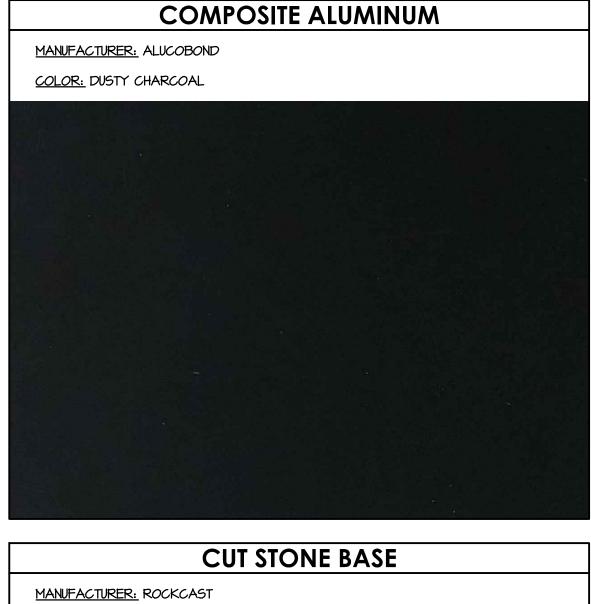
DESIGN BUILD

2021-0131

06-03-2022

SITE PHOTOMETRIC



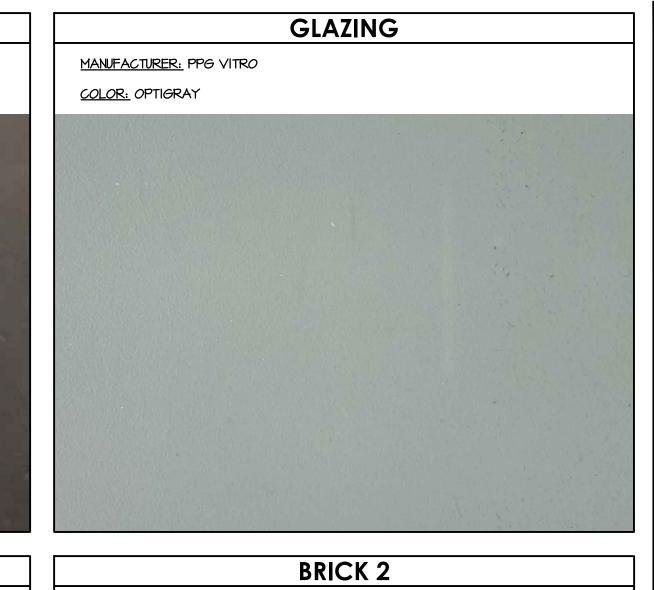


COLOR: RIESLING



MANUFACTURER: GLEN-GERY

COLOR: MODULAR WALNUT VELOUR







36877 WOODWARD AVENUE BIRMINGHAM, MICHIGAN 48009

GASOW VETERINARY HOSPITAL





MANUFACTURER: BELDEN



DATE DRAWN C 02-23-2022 AS 04-12-2022 AS 06-03-2022 AS

**2021-0131** PROJECT NUMBER

06-03-2022

MM FINAL REVIEW COPYRIGHT — LINDEN GROUP INC.
ALL RIGHTS RESERVED.

ALL DRAWINGS, SPECIFICATIONS, PLANS, CONCEPTS, ARRANGEMENTS
AND DESIGNS REPRESENTED OR REFERRED TO IN THESE DOCUMENTS
ARE INSTRUMENTS OF SERVICE, AND THEREFORE ARE THE PROPERTY OF
LINDEN GROUP INC. NONE OF THE ABOVE MAY BE DESIGNED TO
ANY PERSONS FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN
AUTHORIZATION OF LINDEN GROUP INC.

SHEET TITLE
MATERIAL

SELECTIONS

# **Gasow Veterinary Hospital**

Woodward Avenue—Birmingham





# Wall luminaires with directed light

Housing: One piece die-cast aluminum supplied with universal mounting bracket for direct attachment to 3½" or 4" octagonal wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

Enclosure: One piece die-cast aluminum cover frame secured by captive socket head, stainless steel screws threaded into stainless steel inserts. Semi-specular, anodized aluminum internal reflector. Stippled tempered clear glass. Fully gasketed for weather tight operation using a molded silicone rubber O-ring gasket.

**Electrical:** 29.8W LED luminaire, 35 total system watts, -20°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

**Note:** LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

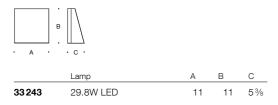
**Options:** Optional integral emergency battery pack available). Battery will operate the fixture at 62% of full light output for a minimum of 90 minutes. Ambient temperature must not go below -20°C and must not exceed 50°C. Specify EMPK operates at 120-277V AC.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order

 $\mbox{\bf CSA}$  certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

Weight: 8.4 lbs.

Luminaire Lumens: 4018



Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



# Wall luminaires - double-sided light output

**Housing:** Extruded and die cast aluminum. Mounts directly to a BEGA 19537 box (provided). Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

**Enclosure:** Tempered clear glass, the bottom and top diffuser are flush to the die casting to prevent water accumulation. Fully gasketed for weather tight operation using a 'U' channel molded silicone rubber gasket.

**Electrical:** 25W LED luminaire, 29 total system watts, -40°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

**Notes:** LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

**Finish:** All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

 $\mbox{\bf CSA}$  certified to U.S. and Canadian standards for wet locations. Protection class IP65

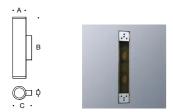
Weight: 11.5 lbs

Luminaire Lumens: 2465

# Mounting options:

79547 Surface-mount wiring box





These luminaires mount over a custom BEGA recessed box. This box can be shipped ahead of the luminaire.

Narro	w beam in be	oth directions						
Ĭ		Lamp	β	A	В	С	D	Wiring box*
	66 519*	25W LED	18°	57/8	215/8	77/8	15/8	19537

 $\beta$  = Beam angle \*Small opening wiring box included.

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



# Application

LED bollard luminaires with unshielded 360° light distribution and safety guard designed for use in the illumination of gardens and residential installations. Provided with mounting system that allows the luminaire to be adjusted independent of anchor bolt orientation.

### Materials

Luminaire housing, tube and base plate constructed of die-cast and extruded marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy

Three-ply opal glass

High temperature silicone gasket

Mechanically captive stainless steel fasteners

Anchorage constructed of galvanized steel

NRTL listed to North American Standards, suitable for wet locations

Protection class IP65 Weight: 13.3 lbs

Electrical

Operating voltage 120-277V AC Minimum start temperature -30° C LED module wattage 8.2 W System wattage 9.8 W

Controllability 0-10V, TRIAC and ELV dimmable.

Color rendering index Ra > 80

# LED color temperature

4000K - Product number + **K4** 3500K - Product number + **K35** 3000K - Product number + **K3** 2700K - Product number + **K27** 

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

# Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors Black (BLK) White (WHT) RAL:

Bronze (BRZ) Silver (SLV) CUS:

Type:

**BEGA Product:** 

Project:

Modified:



bollaru ·	Unshielded light	Δ	B	Anchorage
84 029	8 2 W	51/6	353/4	79817





# **D-Series Size 1**

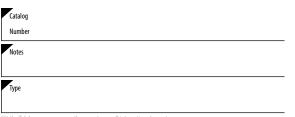
# LED Area Luminaire











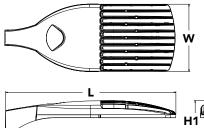
# **Specifications**

1.01 ft<sup>2</sup> EPA: 33" Length: (83.8 cm) 13" Width: (33.0 cm)

7-1/2" Height H1: (19.0 cm)

3-1/2" Height H2:

Weight 27 lbs (max):







# Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

# **Ordering Information**

# **EXAMPLE:** DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED					
Series	LEDs	Color temperature	Distribution Voltage Mounting		Mounting
DSX1 LED	Forward optics P1 P4¹ P7¹ P2 P5¹ P8 P3 P6¹ P9¹ Rotated optics P10² P12² P11² P13¹²	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T5VS Type V sery short 3 T2S Type II short T5M Type V medium 3 T2M Type II medium T5W Type V wide 3 T3S Type III short BLC Backlight control 4 T3M Type IV medium LCCO Left corner cutoff 4 T4M Type IV medium RCCO Right corner cutoff 4 TFTM Forward throw medium	MVOLT <sup>5</sup> 120 <sup>6</sup> 208 <sup>6</sup> 240 <sup>6</sup> 277 <sup>6</sup> 347 <sup>6</sup> 480 <sup>6</sup>	Shipped included  SPA Square pole mounting  RPA Round pole mounting 7  WBA Wall bracket 3  SPUMBA Square pole universal mounting adaptor 8  RPUMBA Round pole universal mounting adaptor 8  Shipped separately  KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) 9

Control op	Control options Ot				Other options		iired)
Shipped i NLTAIR2 PIRHN PER PER5 PER7 DMG	nstalled nLight AIR generation 2 enabled <sup>10</sup> Network, high/low motion/ambient sensor <sup>11</sup> NEMA twist-lock receptacle only (controls ordered separate) <sup>12</sup> Five-pin receptacle only (controls ordered separate) <sup>12,13</sup> Seven-pin receptacle only (controls ordered separate) <sup>12,13</sup> 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>14</sup> Dual switching <sup>15,16,17</sup>	PIRH PIR1FC3V PIRH1FC3V FAO	High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc <sup>17,18</sup> High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc <sup>17,18</sup> High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>17,18</sup> Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>17,18</sup> Field adjustable output <sup>17,19</sup>	HS SF DF L90 R90 HA	House-side shield 20 Single fuse (120, 277, 347V) 6 Double fuse (208, 240, 480V) 6 Left rotated optics 2 Right rotated optics 2 50°C ambient operations 1 ped separately Bird spikes 21 External glare shield	DDBXD DBLXD DNAXD DWHXD DDBTXD DBLBXD DNATXD DWHGXD	Dark bronze Black Natural aluminum White Textured dark bronze Textured black Textured natural aluminum Textured white

# **Ordering Information**

# Accessories

Ordered and shipped separately

DI I 127F 1.5 JU Photocell - SSL twist-lock (120-277V) 22 DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V) 22 DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V) 22

DSHORT SBK U Shorting cap 22

DSX1HS 30C U House-side shield for P1, P2, P3, P4 and P5<sup>20</sup> DSX1HS 40C U House-side shield for P6 and P7 20 House-side shield for P8 P9 P10 P11 and P12 20 DSX1HS 60C II

Square and round pole universal mounting bracket (specify finish) 23 PUMBA DDBXD U\*

Mast arm mounting bracket adaptor (specify finish)  $^9$ KMA8 DDBXD U

DSX1EGS (FINISH) U External glare shield

For more control options, visit DTL and ROAM online.

### NOTES

- HA not available with P4, P5, P6, P7, P9 and P13.
- P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- Any Type 5 distribution with photocell, is not available Not available with HS.

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).

  Single fuse (SP) requires 120V, 277V or 347V. Double fuse (DP) requires 208V, 240V or 480V.

  Suitable for mounting to round poles between 3.5" and 12" diameter.

  Universal mounting brackets intended for retrofit on existing, pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template
- 9 Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included). 10 Must be ordered with PIRHN. Sensor cover available only in dark bronze, black, white and natural aluminum colors.

- 11 Must be ordered with NLTAIR2. For more information on nLight Air 2 visit this link.
  12 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting cap included.
- 13 If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming. 14 DMG not available with PIRHN, PERS, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- 15 Provides 50/50fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3, P4 or P5.
  16 Requires (2) separately switched circuits with isolated neutrol.
  17 Reference Controls Option Default settings table on page 4.

- 17 Netrence Controls Option Default settings table on page 4.

  18 Reference Motion Sensor table on page 4 to see functionality.

  19 Not available with other dimming controls options

  20 Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.

  21 Must be ordered with fixture for factory pre-drilling.

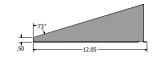
  22 Requires luminaire to be specified with PER, PERS or PER7 option. See Control Option Table on page 4.

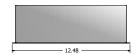
  23 For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8

# **Options**

# **EGS - External Glare Shield**

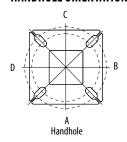


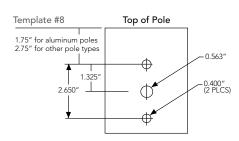




# **Drilling**

# HANDHOLE ORIENTATION





# **Tenon Mounting Slipfitter**

Tenon O.D.	Mounting	Single Unit	Single Unit 2 @ 180		3 @ 90	3 @120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

		-		L	_T_	*	+
Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4@90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

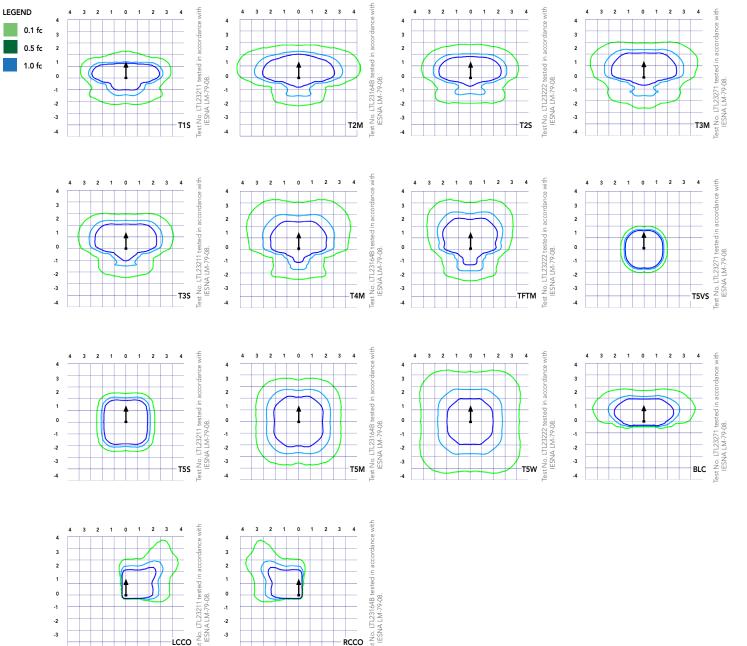
# **DSX1 Area Luminaire - EPA**

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type	-		₹	<del></del>	*	
DSX1 LED	1.013	2.025	1.945	3.038	2.850	3.749

	Drilling Template		Minimum Acceptable Outside Pole Dimension									
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"					
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"					
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"					
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"					

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').



© 2011-2020 Acuity Brands Lighting, Inc. All rights reserved.

# Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Amb	pient	Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15℃	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

# **Projected LED Lumen Maintenance**

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.96
50,000	0.92
100,000	0.85

ototcell Dwell Ramp-up Ramp-down						
eration Time Time Time						
ed @ 5FC 5 min 3 sec 5 min						
*PIR1FC3V or 3V (37%) 10V (100%) Enabled @ 1FC 5 min 3 sec 5 min						

# **Electrical Load**

							Curre	nt (A)		
	Performance Package	LED Count	Drive Current	Wattage	120	208	240	277	347	480
	P1	30	530	54	0.45	0.26	0.23	0.19	0.10	0.12
	P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
	P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
Forward Optics (Non-Rotated)	P4	30	1250	125	1.06	0.60	0.52	0.46	0.37	0.27
	P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
	P6	40	1250	163	1.36	0.78	0.68	0.59	0.47	0.34
	P7	40	1400	183	1.53	0.88	0.76	0.66	0.53	0.38
	P8	60	1050	207	1.74	0.98	0.87	0.76	0.64	0.49
	P9	60	1250	241	2.01	1.16	1.01	0.89	0.70	0.51
	P10	60	530	106	0.90	0.52	0.47	0.43	0.33	0.27
Rotated Optics	P11	60	700	137	1.15	0.67	0.60	0.53	0.42	0.32
(Requires L90 or R90)	P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
ŕ	P13	60	1250	231	1.93	1.12	0.97	0.86	0.67	0.49

		Controls Options		
Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PER5 or PER7	Twist-lock photocell recepticle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclypse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.

# **Performance Data**

# **Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts Contact factory for performance data on any configurations not shown here.

Forward O	ptics																		
150.6	Drive	Power	System	Dist.			30K					40K					50K		
LED Count	Current	Package	Watts	Туре	Lumens	(3000 B	K, 70 CRI U	)   G	LPW	Lumens	(4000 B	K, 70 CRI	G	LPW	Lumens	(5000 B	K, 70 CRI	) G	LPW
				T1S	6,457	2	0	2	120	6,956	2	0	2	129	7,044	2	0	2	130
				T2S	6,450	2	0	2	119	6,949	2	0	2	129	7,037	2	0	2	130
				T2M	6,483	1	0	1	120	6,984	2	0	2	129	7,073	2	0	2	131
				T3S T3M	6,279 6,468	1	0	2	116 120	6,764 6,967	1	0	2	125 129	6,850 7,056	1	0	2	127 131
				T4M	6,327	1	0	2	117	6,816	1	0	2	126	6,902	1	0	2	128
20	530	D4	5414	TFTM	6,464	1	0	2	120	6,963	1	0	2	129	7,051	1	0	2	131
30	530	P1	54W	T5VS	6,722	2	0	0	124	7,242	3	0	0	134	7,334	3	0	0	136
				T5S	6,728	2	0	1	125	7,248	2	0	1	134	7,340	2	0	1	136
				T5M T5W	6,711	3	0	2	124 123	7,229	3	0	2	134	7,321	3	0	2	136 135
				BLC	6,667 5,299	1	0	1	98	7,182 5,709	1	0	2	133 106	7,273 5,781	1	0	2	107
				LCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80
				RCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80
				T1S	8,249	2	0	2	118	8,886	2	0	2	127	8,999	2	0	2	129
				T2S T2M	8,240 8,283	2	0	2	118 118	8,877 8,923	2	0	2	127 127	8,989 9,036	2	0	2	128 129
				T3S	8,021	2	0	2	115	8,641	2	0	2	123	8,751	2	0	2	125
				T3M	8,263	2	0	2	118	8,901	2	0	2	127	9,014	2	0	2	129
				T4M	8,083	2	0	2	115	8,708	2	0	2	124	8,818	2	0	2	126
30	700	P2	70W	TFTM	8,257	2	0	2	118	8,896	2	0	2	127	9,008	2	0	2	129
				T5VS T5S	8,588 8,595	3	0	1	123 123	9,252 9,259	3	0	0	132 132	9,369 9,376	3	0	1	134 134
				T5M	8,573	3	0	2	123	9,239	3	0	2	132	9,353	3	0	2	134
				T5W	8,517	3	0	2	122	9,175	4	0	2	131	9,291	4	0	2	133
				BLC	6,770	1	0	2	97	7,293	1	0	2	104	7,386	1	0	2	106
				LCC0	5,038	1	0	2	72	5,427	1	0	2	78	5,496	1	0	2	79
				RCCO T1S	5,038 11,661	1 2	0	2	72 114	5,427 12,562	3	0	3	78 123	5,496 12,721	3	0	3	79 125
				T2S	11,648	2	0	2	114	12,548	3	0	3	123	12,721	3	0	3	125
				T2M	11,708	2	0	2	115	12,613	2	0	2	124	12,773	2	0	2	125
				T3S	11,339	2	0	2	111	12,215	3	0	3	120	12,370	3	0	3	121
				T3M T4M	11,680 11,426	2	0	3	115 112	12,582 12,309	2	0	3	123 121	12,742 12,465	2	0	3	125 122
				TFTM	11,420	2	0	2	114	12,575	2	0	3	123	12,734	2	0	3	125
30	1050	P3	102W	T5VS	12,140	3	0	1	119	13,078	3	0	1	128	13,244	3	0	1	130
				TSS	12,150	3	0	1	119	13,089	3	0	1	128	13,254	3	0	1	130
				T5M	12,119	4	0	2	119	13,056	4	0	2	128	13,221	4	0	2	130
				T5W BLC	12,040 9,570	1	0	2	118 94	12,970 10,310	1	0	3	127 101	13,134 10,440	1	0	3 2	129 102
				LCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76
				RCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76
				T1S	13,435	3	0	3	107	14,473	3	0	3	116	14,657	3	0	3	117
				T2S	13,421	3	0	3	107	14,458	3	0	3	116	14,641	3	0	3	117
				T2M T3S	13,490 13,064	3	0	3	108	14,532 14,074	3	0	3	116 113	14,716 14,252	3	0	3	118 114
				T3M	13,457	2	0	2	108	14,497	2	0	2	116	14,681	2	0	2	117
				T4M	13,165	2	0	3	105	14,182	2	0	3	113	14,362	2	0	3	115
30	1250	P4	125W	TFTM	13,449	2	0	3	108	14,488	2	0	3	116	14,672	2	0	3	117
				T5VS T5S	13,987 13,999	4	0	1	112	15,068	3	0	1	121	15,259	3	0	1	122
				T5M	13,963	3	0	2	112 112	15,080 15,042	4	0	2	121 120	15,271 15,233	4	0	2	122 122
				T5W	13,872	4	0	3	111	14,944	4	0	3	120	15,133	4	0	3	121
				BLC	11,027	1	0	2	88	11,879	1	0	2	95	12,029	1	0	2	96
				LCC0	8,205	1	0	3	66	8,839	1	0	3	71	8,951	1	0	3	72
				RCCO T1S	8,205 14,679	3	0	3	106	8,839 15,814	3	0	3	71 115	8,951 16,014	3	0	3	72 116
				T2S	14,679	3	0	3	106	15,797	3	0	3	114	15,997	3	0	3	116
				T2M	14,739	3	0	3	107	15,878	3	0	3	115	16,079	3	0	3	117
				T3S	14,274	3	0	3	103	15,377	3	0	3	111	15,572	3	0	3	113
				T3M	14,704	2	0	3	107	15,840	3	0	3	115	16,040	3	0	3	116
				T4M TFTM	14,384 14,695	2	0	3	104 106	15,496 15,830	3	0	3	112 115	15,692 16,030	3	0	3	114 116
30	1400	P5	138W	TSVS	15,283	4	0	1	111	16,464	4	0	1	119	16,672	4	0	1	121
				TSS	15,295	3	0	1	111	16,477	4	0	1	119	16,686	4	0	1	121
				T5M	15,257	4	0	2	111	16,435	4	0	2	119	16,644	4	0	2	121
				T5W	15,157	4	0	3	110	16,328	4	0	3	118	16,534	4	0	3	120
				BLC	12,048	1	0	2	87 65	12,979	1	0	2	94	13,143	1	0	2	95
				LCCO RCCO	8,965 8,965	1	0	3	65 65	9,657 9,657	1	0	3	70 70	9,780 9,780	1	0	3	71 71
				neco	0,703		U	,	0,5	ונטור		U	,	, 0	7,700		U		, ,



# **Performance Data**

# **Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward 0	orward Optics																		
	Drive	Power	System	Dist.			30K					40K					50K		
LED Count	Current	Package	Watts	Туре			K, 70 CRI		Low			K, 70 CRI		Low			K, 70 CRI)		1000
					Lumens	В	U	G	LPW	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW
				T1S	17,654	3	0	3	108	19,018	3	0	3	117	19,259	3	0	3	118
				T2S	17,635	3	0		108 109	18,998	3	0	3	117 117	19,238				118 119
				T2M T3S	17,726 17,167	3	0	3	109	19,096 18,493	3	0	3	117	19,337 18,727	3	0	3	115
				T3M	17,107	3	0	3	103	19,049	3	0	3	117	19,290	3	0	3	118
				T4M	17,003	3	0	3	106	18,635	3	0	4	114	18,871	3	0	4	116
				TFTM	17,672	3	0	3	108	19,038	3	0	4	117	19,279	3	0	4	118
40	1250	P6	163W	T5VS	18,379	4	0	1	113	19,800	4	0	1	121	20,050	4	0	1	123
				TSS	18,394	4	0	2	113	19,816	4	0	2	122	20,066	4	0	2	123
				T5M	18,348	4	0	2	113	19,766	4	0	2	121	20,016	4	0	2	123
				T5W	18,228	5	0	3	112	19,636	5	0	3	120	19,885	5	0	3	122
				BLC	14,489	2	0	2	89	15,609	2	0	3	96	15,806	2	0	3	97
				LCC0	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72
				RCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72
				T1S	19,227	3	0	3	105	20,712	3	0	3	113	20,975	3	0	3	115
				T2S	19,206	3	0	3	105	20,690	3	0	3	113	20,952	3	0	3	114
				T2M	19,305	3	0	3	105	20,797	3	0	3	114	21,060	3	0	3	115
				T3S	18,696	3	0	3	102	20,141	3	0	3	110	20,396	3	0	4	111
				T3M	19,258	3	0	3	105	20,746	3	0	3	113	21,009	3	0	3	115
				T4M	18,840	3	0	4	103	20,296	3	0	4	111	20,553	3	0	4	112
40	1400	P7	183W	TFTM	19,246	3	0	4	105	20,734	3	0	4	113	20,996	3	0	4	115
10	1100	.,	10311	T5VS	20,017	4	0	1	109	21,564	4	0	1	118	21,837	4	0	1	119
				T5S	20,033	4	0	2	109	21,581	4	0	2	118	21,854	4	0	2	119
				T5M	19,983	4	0	2	109	21,527	5	0	3	118	21,799	5	0	3	119
				T5W	19,852	5	0	3	108	21,386	5	0	3	117	21,656	5	0	3	118
				BLC	15,780	2	0	3	86	16,999	2	0	3	93	17,214	2	0	3	94
				LCC0	11,742	2	0	3	64	12,649	2	0	3	69	12,809	2	0	3	70
				RCCO	11,742	2	0	3	64	12,649	2	0	3	69	12,809	2	0	3	70
				T1S	22,490	3	0	3	109	24,228	3	0	3	117	24,535	3	0	3	119
				T2S T2M	22,466 22,582	3	0	4	109 109	24,202 24,327	3	0	3	117 118	24,509 24,635	3	0	3	118 119
				T3S	21,870	3	0	4	109	23,560	3	0	4	114	23,858	3	0	4	115
				T3M	22,527	3	0	4	109	24,268	3	0	4	117	24,575	3	0	4	119
				T4M	22,038	3	0	4	106	23,741	3	0	4	117	24,041	3	0	4	116
				TFTM	22,513	3	0	4	100	24,253	3	0	4	117	24,560	3	0	4	119
60	1050	P8	207W	T5VS	23,415	5	0	1	113	25,224	5	0	1	122	25,543	5	0	1	123
				TSS	23,434	4	0	2	113	25,244	4	0	2	122	25,564	4	0	2	123
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123
				T5W	23,221	5	0	4	112	25,016	5	0	4	121	25,332	5	0	4	122
				BLC	18,458	2	0	3	89	19,885	2	0	3	96	20,136	2	0	3	97
				LCC0	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
				RCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
				T1S	25,575	3	0	3	106	27,551	3	0	3	114	27,900	3	0	3	116
				T2S	25,548	3	0	4	106	27,522	3	0	4	114	27,871	3	0	4	116
				T2M	25,680	3	0	3	107	27,664	3	0	3	115	28,014	3	0	3	116
			241W	T3S	24,870	3	0	4	103	26,791	3	0	4	111	27,130	3	0	4	113
				T3M	25,617	3	0	4	106	27,597	3	0	4	115	27,946	3	0	4	116
				T4M	25,061	3	0	4	104	26,997	3	0	4	112	27,339	3	0	4	113
60	1250	P9		TFTM	25,602	3	0	4	106	27,580	3	0	4	114	27,929	3	0	4	116
00	1230	',		T5VS	26,626	5	0	1	110	28,684	5	0	1	119	29,047	5	0	1	121
				T5S	26,648	4	0	2	111	28,707	5	0	2	119	29,070	5	0	2	121
				T5M	26,581	5	0	3	110	28,635	5	0	3	119	28,997	5	0	3	120
				T5W	26,406	5	0	4	110	28,447	5	0	4	118	28,807	5	0	4	120
				BLC	20,990	2	0	3	87	22,612	2	0	3	94	22,898	2	0	3	95
				LCC0	15,619	2	0	4	65	16,825	2	0	4	70	17,038	2	0	4	71
				RCCO	15,619	2	0	4	65	16,825	2	0	4	70	17,038	2	0	4	71



# **Performance Data**

# **Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Op	otated Optics																		
LED Count	Drive	Power	System	Dist.			30K K, 70 CRI					40K K, 70 CRI	`				50K K, 70 CRI)		
LED Count	Current	Package	Watts	Туре	Lumens	(3000 B	U U	G	LPW	Lumens	(4000 B	U	G	LPW	Lumens	(3000 B	U	G	LPW
				T1S	13,042	3	0	3	123	14,050	3	0	3	133	14,228	3	0	3	134
				T2S	12,967	4	0	4	122	13,969	4	0	4	132	14,146	4	0	4	133
				T2M	13,201	3	0	3	125	14,221	3	0	3	134	14,401	3	0	3	136
				T3S	12,766	4	0	4	120	13,752	4	0	4	130	13,926	4	0	4	131
				T3M	13,193	4	0	4	124	14,213	4	0	4	134	14,393	4	0	4	136
				T4M	12,944	4	0	4	122	13,945	4	0	4	132	14,121	4	0	4	133
60	530	P10	106W	TFTM	13,279	4	0	4	125	14,305	4	0	4	135	14,486	4	0	4	137
				TSVS	13,372	3	0	1	126	14,405	4	0	1	136	14,588	4	0	1	138
				T5S T5M	13,260 13,256	3	0	2	125 125	14,284 14,281	3 4	0	2	135 135	14,465 14,462	3	0	2	136 136
				T5W	13,137	4	0	3	123	14,153	4	0	3	134	14,402	4	0	3	135
				BLC	10,906	3	0	3	103	11,749	3	0	3	111	11,898	3	0	3	112
				LCCO	7,789	1	0	3	73	8,391	1	0	3	79	8,497	1	0	3	80
				RCCO	7,779	4	0	4	73	8,380	4	0	4	79	8,486	4	0	4	80
				T1S	16,556	3	0	3	121	17,835	3	0	3	130	18,061	4	0	4	132
				T2S	16,461	4	0	4	120	17,733	4	0	4	129	17,957	4	0	4	131
				T2M	16,758	4	0	4	122	18,053	4	0	4	132	18,281	4	0	4	133
				T3S	16,205	4	0	4	118	17,457	4	0	4	127	17,678	4	0	4	129
				T3M	16,748	4	0	4	122	18,042	4	0	4	132	18,271	4	0	4	133
				T4M	16,432	4	0	4	120	17,702	4	0	4	129	17,926	4	0	4	131
60	700	P11	137W	TFTM T5VS	16,857	4	0	4	123	18,159	4	0	1	133 133	18,389	4	0	1	134 135
				T5S	16,975 16,832	4	0	1	124 123	18,287 18,133	4	0	2	132	18,518 18,362	4	0	2	134
				T5M	16,828	4	0	2	123	18,128	4	0	2	132	18,358	4	0	2	134
				T5W	16,677	4	0	3	122	17,966	5	0	3	131	18,193	5	0	3	133
				BLC	13,845	3	0	3	101	14,915	3	0	3	109	15,103	3	0	3	110
				LCC0	9,888	1	0	3	72	10,652	2	0	3	78	10,787	2	0	3	79
				RCCO	9,875	4	0	4	72	10,638	4	0	4	78	10,773	4	0	4	79
				T1S	22,996	4	0	4	111	24,773	4	0	4	120	25,087	4	0	4	121
				T2S	22,864	4	0	4	110	24,631	5	0	5	119	24,943	5	0	5	120
				T2M	23,277	4	0	4	112	25,075	4	0	4	121	25,393	4	0	4	123
				T3S	22,509	4	0	4	109	24,248	5	0	5	117	24,555	5	0	5	119
				T3M	23,263	4	0	4	112	25,061	4	0	4	121	25,378	4	0	4	123
				T4M TFTM	22,824 23,414	5	0	5	110 113	24,588 25,223	5	0	5	119 122	24,899 25,543	5	0	5	120 123
60	1050	P12	207W	T5VS	23,579	5	0	1	114	25,223	5	0	1	123	25,722	5	0	1	123
				TSS	23,380	4	0	2	113	25,187	4	0	2	122	25,722	4	0	2	123
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123
				T5W	23,165	5	0	4	112	24,955	5	0	4	121	25,271	5	0	4	122
				BLC	19,231	4	0	4	93	20,717	4	0	4	100	20,979	4	0	4	101
				LCC0	13,734	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
				RCCO	13,716	4	0	4	66	14,776	4	0	4	71	14,963	4	0	4	72
				T1S	25,400	4	0	4	110	27,363	4	0	4	118	27,709	4	0	4	120
				T2S	25,254	5	0	5	109	27,205	5	0	5	118	27,550	5	0	5	119
				T2M	25,710	4	0	4	111	27,696	4	0	4	120	28,047	4	0	4	121
				T3S T3M	24,862 25,695	5	0	5	108 111	26,783 27,680	5	0	5	116 120	27,122 28,031	5	0	5	117 121
				T4M	25,093	5	0	5	109	27,000	5	0	5	118	27,502	5	0	5	119
				TFTM	25,861	5	0	5	112	27,136	5	0	5	121	28,212	5	0	5	122
60	1250	P13	231W	T5VS	26,043	5	0	1	113	28,056	5	0	1	121	28,411	5	0	1	123
				TSS	25,824	4	0	2	112	27,819	5	0	2	120	28,172	5	0	2	122
				T5M	25,818	5	0	3	112	27,813	5	0	3	120	28,165	5	0	3	122
				T5W	25,586	5	0	4	111	27,563	5	0	4	119	27,912	5	0	4	121
				BLC	21,241	4	0	4	92	22,882	4	0	4	99	23,172	4	0	4	100
				LCC0	15,170	2	0	4	66	16,342	2	0	4	71	16,549	2	0	4	72
				RCCO	15,150	5	0	5	66	16,321	5	0	5	71	16,527	5	0	5	72



### **FEATURES & SPECIFICATIONS**

### **INTENDED USE**

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

# CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.01 ft²) for optimized pole wind loading.

# **FINISH**

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

# OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly product, meaning it is consistent with the LEED and Green Globes criteria for eliminating wasteful uplight.

# **ELECTRICAL**

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

# STANDARD CONTROLS

The DSX1 LED area luminaire has a number of control options. DSX Size 1, comes standard with 0-10V dimming drivers. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programing and are suitable for mounting heights up to 30 feet.

### **nLIGHT AIR CONTROLS**

The DSX1 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaries can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclypse. Additional information about nLight Air can be found here.

# INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern (template #8). NEMA photocontrol receptacle are also available.

# LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at <a href="https://www.designlights.org/QPL">www.designlights.org/QPL</a> to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

# WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25  $^{\circ}\mathrm{C}$ 

Specifications subject to change without notice.







2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094

AAONEcat32 Ver. 4,318 (SN: 6918384-U92O964W)

RN-016-8-0-EB09-3C9: VELF-D0B-DQF-FFA-0DEBMKE-00-000000VX

Tag: RT-1

(Values do not account for changes described in SPA) Job Information

Job Name: Gasow Veterinary Hospital

Job Number: Design 4-12-22

Site Altitude: 600 ft
Refrigerant R-410A

Static Pressure

External: 0.80 in. wg.
Evaporator: 0.22 in. wg.
Filters Clean: 0.20 in. wg.
Dirt Allowance 0.35 in. wg.
Re-Heat Coil 0.03 in. wg.

Cooling Section

 Gross
 Net

 Equivalent Total Capacity:
 347.45 MBH
 338.41 MBH

 Total Capacity:
 194.89
 185.85 MBH

 Sensible Capacity:
 143.88
 134.84 MBH

Latent Capacity: 51.00 MBH
HW Total Cooling Capacity: 152.56 MBH

 HW Total Cooling Capacity:
 152.56 MBH

 Mixed Air Temp:
 80.73 °F DB
 66.35 °F WB

 Entering Air Temp:
 80.73 °F DB
 66.35 °F WB

 Lv Air Temp (Coil):
 52.91 °F DB
 52.76 °F WB

 Lv Air Temp (Unit)
 54.60 °F DB
 53.46 °F WB

Digital Comp. Capacity Ratio: 100%

Supply Air Fan: 1 x 270D60 @ 3.18 BHP

SA Fan RPM / Width: 1212 / 3.643"

Exhaust Air Fan: 1 x RM220AB70 @ 2.97 BHP

EA Fan RPM / Width: 1744 / 3.450"

Evaporator Coil: 19.9 ft<sup>2</sup> / 6 Rows / 12 FPI

Evaporator Face Velocity: 251.7 fpm
Energy Recovery: 1 x ERC-5262C

Rating Information

Cooling Capacity (MBH):194.0Cooling EER:12.2Cooling IEER:14.2

Rated in accordance with AHRI 340/360

Application EER @ Op. Conditions: 16.7

Electrical Data

Rating: 208/3/60 Minimum Circuit Amp: 104
Unit FLA: 98 Maximum Overcurrent: 125
SCCR: 5 KAIC

	Qty	HP	VAC	Phase	RPM	FLA	RLA
Compressor 1:	1		208	3			24
Compressor 2:	1		208	3			25
Condenser Fans:	2	1.00	208	1	1110	7.0	
Supply Fan:	1	5.00	208	3	1760	16.7	
Exhaust Fan:	1	5.00	208	3	1760	16.7	
Combustion:	2	0.25	208	1	3210	1.7	
Energy Recovery:	1	0.1667	208	1	1075	1.2	

Cabinet Sound Power Levels\*

# Unit Information \*\*WEIGHT AND PERFORMANCE DO NOT INCLUDE SPA

Approx. Op./Ship Weights: 3574 / 3574 lbs. (±5%) Supply CFM/ESP: 5000 / 0.8 in. wg.

Pre-Filter FV / Qty: 240.00 fpm / 6 Final Filter FV / Qty: 240.00 fpm / 6

Exhaust CFM/ESP/TSP: 5000 / 0.60 / 1.78 in. wg.

Outside CFM: 5000

Ambient Temperature: 95 °F DB / 75 °F WB Return Temperature: 75 °F DB / 62 °F WB

 Economizer:
 0.11 in. wg.

 Heating:
 0.14 in. wg.

 Cabinet:
 0.05 in. wg.

 Energy Recovery:
 0.82 in. wg.

 Total:
 2.73 in. wg.

Heating Section

PreHeat Type: Std (No Preheat)

Heating Type: Nat. Gas Heat

Heating CFM: 5000
Total Capacity: 432.0 MBH

OA Temp: -10.0 °F DB / -10.0 °F WB
RA Temp: 75.0 °F DB / 62.0 °F WB
Entering Air Temp: 0.0 °F DB / 0.0 °F WB
Leaving Air Temp: 79.9 °F DB / 49.7 °F WB

Input: 540.0 MBH

Heater Qty:

Consumption: 540.0 MBH

Total Turndown Ratio: 3:1

Re-Heat Coil:

Capacity: 90 MBH

LA DB / WB: 70.00 °F / 59.40 °F

RH: 54%

# **Unit Rating**

Octave Bands:	63	125	250	500	1000	2000	4000	8000
Discharge LW(dB):	90	89	94	89	85	85	84	80
Return LW(dB):	94	90	92	83	81	79	77	72

<sup>\*</sup>Sound power levels are given for informational purposes only. The sound levels are not guaranteed.



# **Energy Recovery Rating**

2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92Q964W)

10 TB 

Total

ERC-5262C

# RN-016-8-0-EB09-3C9: VELF-D0B-DQF-FFA-0DEBMKE-00-000000VX Tag: RT-1

Job Name Gasow Veterinary Hospital

Job Number Design 4-12-22

600' Energy Recovery Qty: Site Altitude Energy Recovery Software Version: Net Supply Air (SCFM) Sum/Win: 4846/4846 1.0.1.0

Purge Angle: 10°

Application Rating is outside the scope of the AHRI ERV Certification Program but is rated in accordance with AHRI Standard 1060

Damper

### **Summer Conditions** Bypass: 0 SCFM **Outside Air** Supply Air Recovery 5000 SCFM 5098 SCFM 80.73 °F DB 80.73 °F 95.00 °F DB 66.35 °F WB 66.40 °F 75.00 °F WB 76.25 gr/lb 0.70 in wg 101.93 gr/lb OACF: 1.02 From Space **Exhaust Air** 5098 SCFM

71.34 °F

0.70 in wg

Ex Bypass: 0 SCFM

Energy Recovery Type:

Energy Recovery Model:

**Return Air** 0 SCFM 75.00 °F DB 62.00 °F WB 64.28 gr/lb

Mixed Air

5000 SCFM

80.73 °F DB

66.35 °F WB

76.25 gr/lb

Cooling/Dehumidification

Heating/Humidification

**Effectiveness** 

88.99 °F DB

71.34 °F WB

88.56 gr/lb EATR: 3.1%

Total Capacity: Sensible Capacity: Latent Capacity:

152.56 MBH 70.17 MBH 82.40 MBH

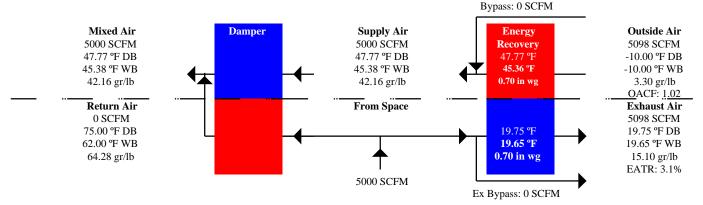
0.00 MBH 0.00 MBH 0.00 MBH

70.5% 66.2%

68.2%

# **Winter Conditions**

5000 SCFM



Frost Warning - Conditions for frost forming on the energy recovery exists. Outside air preheat is required to prevent frost formation. Optionally, the return air humidity ratio could be lowered to prevent frost formation. See AAON literature titled 'AAONAIRE ENERGY RECOVERY' for details.

	Cooling/Dehumidification	Heating/Humidification	Effectiveness
Total Capacity:	0.00 MBH	434.72 MBH	69.1%
Sensible Capacity:	0.00 MBH	303.35 MBH	67.0%
Latent Capacity:	0.00 MBH	131.38 MBH	63.0%





2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92Q964W)

# JOB INFORMATION:

Job Name: Gasow Veterinary Hospital

Job Tag:

Rep Firm:

Date: 04/12/2022

# WHEEL SPECIFICATION:

Max RPM: 1.800 Diameter x Qty: 27.4 in. x 1

Width%: 99

Tip Speed: 8.694 FPM Inertia: 16 WR2

# **OPERATING CONDITIONS:**

Air Flow: 5,000 CFM Static Pressure: 2.73 in. Wg. Plenum DP: 0.00 in. Wg. Inlet Grill DP: 0.00 in. Wg. TSP: 2.73 in. Wg. Site Altitude: 600.00 Ft TSP @ Sea Level: 2.79 in. Wg.

# MOTOR SELECTION:

Rated HP / Bypass: 5 / No Frame Size: 184T Nominal RPM: 1760 VAC/PH/HZ: 208/3/60

**Efficiency** Premium / 0.895

**Enclosure Type: ODP** Max Inertial Load: 52 WR<sup>2</sup>

# **FAN PERFORMANCE:**

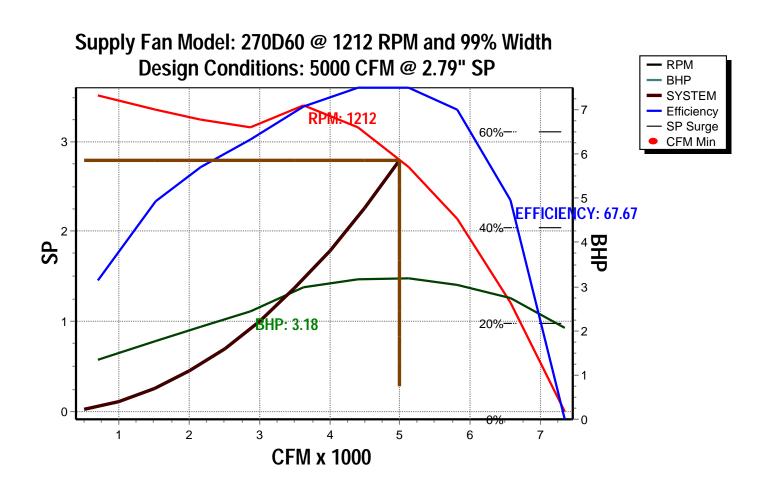
RPM: 1212 BHP: 3.18 Efficiency: 67.7% In/Out Velocity: 1305/1366 FPM

Plenum Out Velocity: 83 FPM

# FAN SOUND POWER (Inlet/Outlet):

Octave Band: (Re 10^-12 watts) 2 3 4 5 6 7 8 86 83 81 81 79 81 81 80 89 87 83 88 87 89 87 88 SOUND POWER A-Weighted: 90 / 94 dB

Max Duct SP with Blocked Airway: 3.4 in. Wg. @ 1212 rpm







2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92Q964W)

# JOB INFORMATION:

Job Name: Gasow Veterinary Hospital

Job Tag: RT-

Rep Firm:

**Date**: 04/12/2022

# **OPERATING CONDITIONS:**

Air Flow:5,000 CFMStatic Pressure:1.45 in. Wg.Relief Dampers DP:0.33 in. Wg.

TSP: 1.78 in. Wg. Site Altitude: 600.00 Ft TSP @ Sea Level: 1.82 in. Wg.

# **FAN PERFORMANCE:**

RPM: 1744 BHP: 2.97 Efficiency: 47.1%

In/Out Velocity: 1529/1684 FPM

Plenum Out Velocity: 83 FPM

# WHEEL SPECIFICATION:

 Max RPM:
 2,200

 Diameter x Qty:
 22.0 in. x 1

 CFM:
 5000

 Tip Speed:
 10,045 FPM

 Inertia:
 5 WR²

# MOTOR SELECTION:

 Rated HP / Bypass:
 5 / No

 Frame Size:
 184T

 Nominal RPM:
 1760

 VAC/PH/HZ:
 208/3/60

 Efficiency
 Premium / 0.895

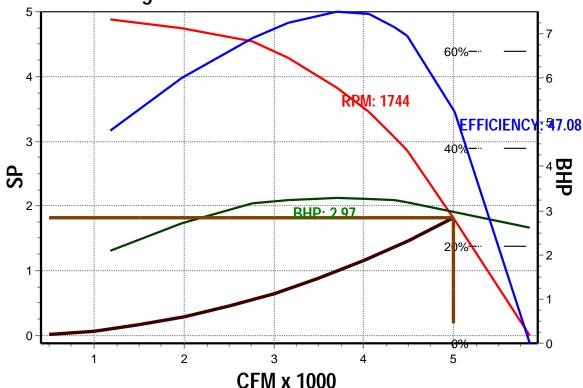
Enclosure Type: ODP
Max Inertial Load: 52 WR<sup>2</sup>

# FAN SOUND POWER (Inlet/Outlet):

Octave	Band:		(Re 10^-12 watts)								
1	2	3	4	5	6	7	8				
94	91	97	91	85	82	80	75				
94	91	97	91	<i>85</i>	82	80	75				

SOUND POWER A-Weighted: 95 / 95 dB

# Exhaust Fan Model: RM220AB70 @ 1744 RPM and 100% Width Design Conditions: 5000 CFM @ 1.82" SP





# **Unit Submittal**

Date Printed: 4/12/2022 1:53:18 PM

2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92O964W)

RN-016-8-0-EB09-3C9:VELF-D0B-DQF-FFA-0DEBMKE-00-000000VX
Tag: RT-1

Job Name:Gasow Veterinary HospitalUnit Submittal For:Job Number:Design 4-12-22Unit Submittal Date:April 12, 2022

	Base Option	Description
R	Series	Roof Top Unit
N	Generation	Ninth Generation
016	Unit Size	Sixteen
8	Voltage	208V/3Ø/60Hz
0	Interior Protection	Standard
E	Refrigerant Style	R-410A Variable Capacity Scroll Compressor (VCC)
В	Unit Configuration	Air-Cooled Cond. + 6 Row Evap. Coil
0	Coil Coating	Standard
9	Cooling/Heat Pump Staging	Modulating - 1 VCC + 1 On/Off Comp.
3	Heating Type	Natural Gas Stainless Steel
С	Heating Designation	Heat C - 540 MBtuh
9	Heating Staging	Modulating Gas - Temperature Control

	Feature Option	Description
V	1A. RA/OA Section	AAONAIRE® Energy Recovery Wheel + Bypass Damper - Total + High CFM
E	1B. RA/EA Blower Configuration	1 Blower + Premium Efficiency Motor + 1 VFD
L	1C. RA/EA Blower	22" Backward Curved Plenum - 70% Width with Banding
F	1D. RA/EA Blower Motor	5.0 hp - 1760 rpm
D	2. OA Control	Fully Modulating Actuator - Enthalpy Limit
0	3. Heat Options	Standard
В	4. Maintenance Options	115V Convenience Outlet - Factory Wired
D	5A. SA Blower Configuration	1 Blower + Premium Efficiency Motor + 1 VFD
Q	5B. SA Blower	27" Direct Drive Backward Curved Plenum - 60% Width
F	5C. SA Motor	5.0 hp - 1760 rpm
F	6A. Pre Filter Type	2" Pleated Pre Filter - 30% Eff + Energy Recovery Wheel 2" Pleated EA Filter - 30% Eff
F	6B. Unit Filter Type	4" Pleated - 65% Eff - MERV 11
Α	6C. Filter Options	Clogged Filter Switch
0	7. Refrigeration Control	Standard - Adj Comp. Cooling Lock Out Through Unit Controls
D	8. Refrigeration Options	Modulating Hot Gas Reheat
E	9. Refrigeration Accessories	ECM Condenser Fan - Head Pressure Control
В	10. Power Options	Non-fused Disconnect Power Switch - 150 Amps
M	11. Safety Options	RA and SA Smoke Detector + Remote Safety Shutdown Terminals
K	12. Controls	Phase & Brown Out Protection + ERW Defrost
E	13. Special Controls	Constant Volume (CV) Unit Controller - CV Cool + CV Heat
0	14A. Outside Air Configuration	Standard - None
0	14B. Preheat Sizing	Standard - None
0	15. Glycol Percent	Water or No WSHP with Polymer Energy Recovery Wheel
0	16. Interior Cabinet Options	Standard - Double Wall + R-13 Foam Insulation + Stainless Steel Drain Pan
0	17. Exterior Cabinet Options	Standard
0	18. Electrical Rating	Standard - 5 KAIC
0	19. Code Options	Standard - ETL U.S.A. Listing
0	20. Crating	Standard
0	21. Water-Cooled Cond.	Standard - None
V	22. Control Vendors	VCC-X Controls + Integrated BACnet MSTP
X	<b>23</b> . Type	Special Price Authorization + AAON Gray Paint



# **VCCX Components**

2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92Q964W)

RN-016-8-0-EB09-3C9: VELF-D0B-DQF-FFA-0DEBMKE-00-000000VX

Tag: RT-1 Job Name:

Gasow Veterinary Hospital VCCX For:

Job Number: Design 4-12-22 VCCX Date:

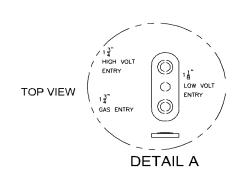
April 12, 2022

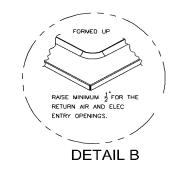
# Hardware Included For VCCX Controller

Part #	Included Parts	Assigned Channel	BACnet Point
ASM01698	VCCX2 CONTROLLER		
ASM01692	OSA Temp/Hum Sensor	EBUS2 communicating sensor	AI:16,AI:17,AI:18,AI:19
ASM01820	Space Digital Temp/Hum Sensor	EBUS3 communicating sensor	AI:12,AI:13
R82890	Supply Temp Sensor - Field Installed	VCCX control point AI 3	AI:9
R37030	Building Pressure Sensor	VCCX control point AI 5	AI:23
	Supply Fan Control Signal 0-10VDC	VCCX control point AO 1	AI:22
	Economizer	VCCX control point AO 2	AI:30
	Building Pressure Control Signal	VCCX control point AO 4	AI:24
R62330	Proof of Air Flow	VCCX control point BI 1	BI:6, BI:24
R64580	Dirty Filter Sensor	VCCX control point BI 2	BI:25
	Safety Shut Down	VCCX control point BI 8	BI:26
	Supply Fan	Configured Relay Point	BI:47
	Exhaust Fan	Configured Relay Point	BI:48
	Energy Recovery Wheel	Configured Relay Point	BI:49
ASM02201	DIGITAL REFRIGERATION MODULE	T T T T T T T T T T T T T T T T T T T	
R57800	Comp Discharge Temp A	RSMD point TEMP1	AI:66
V38391	Suction Pressure Sensor A	RSMD point SP-1	AI:48
V38410	Discharge Pressure Sensor A	RSMD point HP-1	AI:50
V38410	Discharge Pressure Sensor B	RSMD point HP-2	AI:75
R63950	Modulated Condenser Signal B	RSMD point AO2	AI:47
R63950	Modulated Condenser Signal A	RSMD point AO1	AI:46
	Comp Status Input A	RSMD point BIN1	BI:77
	Comp Status Input B	RSMD point BIN2	BI:78
	Emergency Shutdown	RSMD point BIN4	BI:83
	Comp Unload Signal A	RSMD point T1	AI:44
	Comp Enable A	RSMD Fixed Relay point	BI:84
	Comp Enable B	RSMD Fixed Relay point	BI:85
	Condenser Enable B	RSMD Fixed Relay point	BI:87
ASM01670	MODULATING HOT GAS REHEAT MODULE		
	Reheat HGR Valve	MHGRV-X	AI:42
ASM01695	MODULATING GAS MODULE		
	Gas Valve Signal 2	MODGAS-XWR Gas Valve 2	
	Gas Valve Signal 1	MODGAS-XWR Gas Valve 1	
	Proof of Ignition 2	MODGAS-XWR BI4	
<u> </u>	Proof of Ignition 1	MODGAS-XWR BI3	
	Mod Heat Stage 1 (IGN 2)	MODGAS-XWR Heat 2 Relay	
	Mod Heat Stage 1 (IGN 1)	MODGAS-XWR Heat 1 Relay	
	Low Speed Enable	MODGAS-XWR Low Speed Relay	

# RN SERIES C - CABINET WITH ECONOMIZER ~ 16-30 TON ENERGY RECOVERY SECTION RETURN AIR FILTER AND POWER EXHAUST

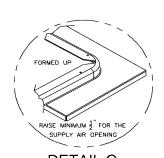
CLEAR	CLEARANCES						
LOCATION	• UNIT SIZE • 16 - 30 TON						
OUTSIDE AIR (BACK)	48						
CONTROLS SIDE (FRONT)	48						
LEFT SIDE	6						
RIGHT SIDE	60						
ТОР	UNOBSTRUCTED						





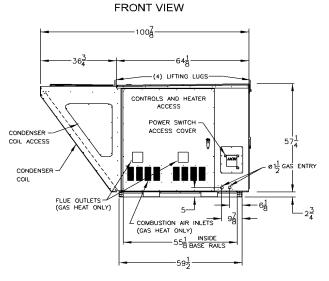
# NUMBER OF CONDENSER FANS

16,18 & 20 TON - 2 FANS 25 & 30 TON - 3 FANS

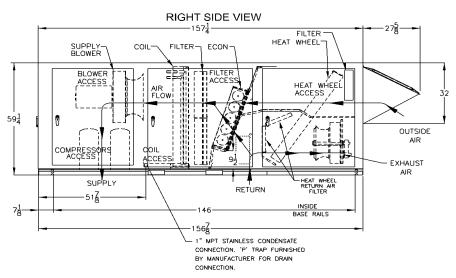


DETAIL C

# SEE DETAIL C SEE DETAIL A SEE DETAIL A 124 128 129 172 32 338 199



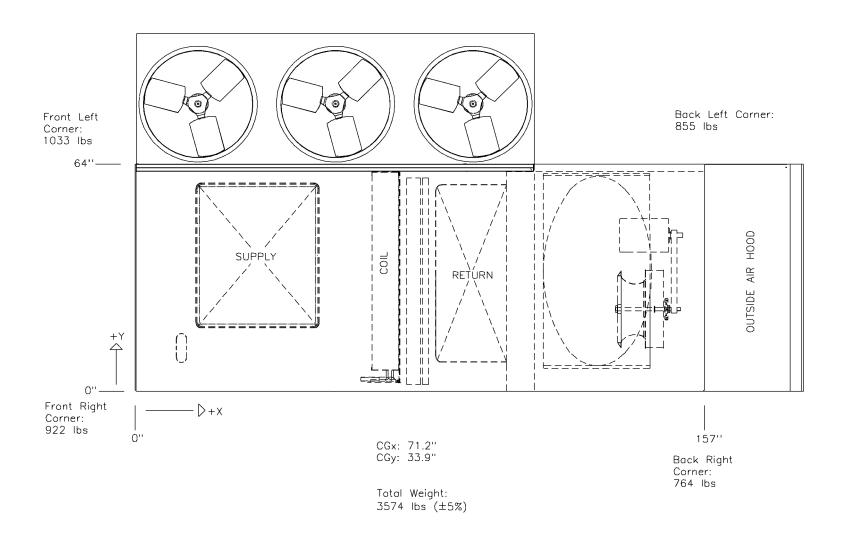
RNC-00138 NEW 07/02/12 JRL NOTE: ALL DIMENSIONS ARE IN INCHES



# RNC CABINET AIR COOLED CONDENSING UNIT WITH ENERGY RECOVERY SECTION



RN-016-8-0-EB09-3C9:VELF-D0B-DQF-FFA-0DEBMKE-00-0000000VX



Disclaimer:

This weight estimate does not account for any SPAs.





2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92O964W)

RN-013-8-0-EA09-2F2:A000-D0B-DSF-AFA-0DEAKBE-00-000000VB

Tag: RT-2

Job Information

Job Name: Gasow Veterinary Hospital

Job Number: Design 4-12-22

Site Altitude: 600 ft
Refrigerant R-410A

Static Pressure

External: 1.10 in. wg.
Evaporator: 0.32 in. wg.
Filters Clean: 0.38 in. wg.
Dirt Allowance 0.35 in. wg.

Cooling Section

Gross Net
Total Capacity: 149.98 140.33 MBH
Sensible Capacity: 123.10 113.44 MBH

Sensible Capacity: 123.10
Latent Capacity: 26.88 MBH

Mixed Air Temp: 77.00 °F DB 63.48 °F WB
Entering Air Temp: 77.00 °F DB 62.48 °F WB

 Entering Air Temp:
 77.00 °F DB
 63.48 °F WB

 Lv Air Temp (Coil):
 53.38 °F DB
 52.78 °F WB

 Lv Air Temp (Unit)
 55.18 °F DB
 53.52 °F WB

Digital Comp. Capacity Ratio: 100%

Supply Air Fan: 1 x 220D70 @ 3.39 BHP

SA Fan RPM / Width: 1719 / 3.450"

Evaporator Coil: 14.6 ft² / 4 Rows / 14 FPI

Evaporator Face Velocity: 342.9 fpm

Unit Information

Approx. Op./Ship Weights: 1936 / 1936 lbs.  $(\pm 5\%)$  Supply CFM/ESP: 5000 / 1.1 in. wg. Pre-Filter FV / Qty: 360.00 fpm / 4 Final Filter FV / Qty: 360.00 fpm / 4

Outside CFM: 500

Ambient Temperature: 95 °F DB / 75 °F WB Return Temperature: 75 °F DB / 62 °F WB

 Economizer:
 0.23 in. wg.

 Heating:
 0.10 in. wg.

 Cabinet:
 0.16 in. wg.

 Re-Heat Coil:
 0.06 in. wg.

 Total:
 2.70 in. wg.

Heating Section

PreHeat Type: Std (No Preheat)

Heating Type: Nat. Gas Heat

Heating CFM: 5000
Total Capacity: 156.0 MBH

OA Temp: -10.0 °F DB / -10.0 °F WB
RA Temp: 75.0 °F DB / 62.0 °F WB

Entering Air Temp: 66.5 °F DB / 57.6 °F WB
Leaving Air Temp: 95.4 °F DB / 67.5 °F WB

Input: 195.0 MBH Heater Qty: 1

Consumption: 195.0 MBH

Total Turndown Ratio: 1.4:1

Re-Heat Coil:

Capacity: 88 MBH

LA DB / WB: 70.00 °F / 59.25 °F

RH: 53%

Rating Information

Cooling Capacity (MBH): 138.0
Cooling EER: 12
Cooling IEER: 14.3

Rated in accordance with AHRI 340/360

Application EER @ Op. Conditions: 9.6

Electrical Data

Rating: 208/3/60 Minimum Circuit Amp: 79 Unit FLA: 74 Maximum Overcurrent: 100

SCCR: 5 KAIC

Qty HP VAC Phase **RPM** FLA RLA Compressor 1: 1 208 3 20.4 Compressor 2: 1 208 3 22.4 Condenser Fans: 2 1.00 208 7.0 1 1110 Supply Fan: 208 1 5.00 3 1760 16.7 0.09 Combustion: 208 3010 1.3 1

Cabinet Sound Power Levels\*

Octave Bands: 125 250 500 1000 2000 4000 8000 63 Discharge LW(dB): 94 91 97 88 82 78 76 71 Return LW(dB): 73 87 83 87 75 66 56 46

\*Sound power levels are given for informational purposes only. The sound levels are not guaranteed.





2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92Q964W)

# JOB INFORMATION:

Job Name: Gasow Veterinary Hospital

Job Tag: RT-2

Rep Firm:

**Date**: 04/12/2022

# WHEEL SPECIFICATION:

 Max RPM:
 2,200

 Diameter x Qty:
 22.0 in. x 1

 Width%:
 100

 Tip Speed:
 9,901 FPM

 Inertia:
 5 WR²

# MOTOR SELECTION:

 Rated HP / Bypass:
 5 / No

 Frame Size:
 184T

 Nominal RPM:
 1760

 VAC/PH/HZ:
 208/3/60

Efficiency Premium / 0.895

**Enclosure Type**: *ODP* **Max Inertial Load**: *52 WR*<sup>2</sup>

# **OPERATING CONDITIONS:**

 Air Flow:
 5,000 CFM

 Static Pressure:
 2.70 in. Wg.

 Plenum DP:
 0.00 in. Wg.

 Inlet Grill DP:
 0.00 in. Wg.

 TSP:
 2.70 in. Wg.

 Site Altitude:
 600.00 Ft

 TSP @ Sea Level:
 2.76 in. Wg.

# **FAN PERFORMANCE:**

RPM: 1719 BHP: 3.39 Efficiency: 62.7%

In/Out Velocity: 1529/1684 FPM

Plenum Out Velocity: 83 FPM

# FAN SOUND POWER (Inlet/Outlet):

Octave Band: (Re 10^-12 watts) 1 2 3 4 5 6 7 8 94 91 97 90 85 75 82 80 94 91 97 90 75 85 82 80

SOUND POWER A-Weighted: 95 / 95 dB

Max Duct SP with Blocked Airway: 4.4 in. Wg. @ 1719 rpm

# Supply Fan Model: 220D70 @ 1719 RPM and 100% Width Design Conditions: 5000 CFM @ 2.76" SP - RPM **BHP** 10 SYSTEM Efficiency RPM: 1719 9 SP Surge 60%-CFM Min 8 3 **EFFICIEN** 40% 3 20% BHP: 1 2 2 5 **CFM x 1000**



# **Unit Submittal**

Date Printed: 4/12/2022 1:53:30 PM

2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92O964W)

RN-013-8-0-EA09-2F2:A000-D0B-DSF-AFA-0DEAKBE-00-000000VB Tag: RT-2

Job Name:Gasow Veterinary HospitalUnit Submittal For:Job Number:Design 4-12-22Unit Submittal Date:April 12, 2022

	Base Option	Description	
R	Series	Roof Top Unit	
N	Generation	Ninth Generation	
013	Unit Size	Thirteen	
8	Voltage	208V/3Ø/60Hz	
0	Interior Protection	Standard	
E	Refrigerant Style	R-410A VCC - High Efficiency	
Α	Unit Configuration	Air-Cooled Cond. + Std Evap. Coil	
0	Coil Coating	Standard	
9	Cooling/Heat Pump Staging	Modulating - 1 VCC + 1 On/Off Comp.	
2	Heating Type	Natural Gas Aluminized	
F	Heating Designation	Heat F - 195 MBtuh	
2	Heating Staging	2 Stage	

	Feature Option	Description
Α	1A. RA/OA Section	Economizer
0	1B. RA/EA Blower Configuration	Standard - None
0	1C. RA/EA Blower	Standard - None
0	1D. RA/EA Blower Motor	Standard - None
D	2. OA Control	Fully Modulating Actuator - Enthalpy Limit
0	3. Heat Options	Standard
В	4. Maintenance Options	115V Convenience Outlet - Factory Wired
D	5A. SA Blower Configuration	1 Blower + Premium Efficiency Motor + 1 VFD
S	5B. SA Blower	22" Direct Drive Backward Curved Plenum - 70% Width
F	5C. SA Motor	5.0 hp - 1760 rpm
Α	<b>6A</b> . Pre Filter Type	2" Pleated Pre Filter - 30% Eff
F	6B. Unit Filter Type	4" Pleated - 65% Eff - MERV 11
Α	6C. Filter Options	Clogged Filter Switch
0	7. Refrigeration Control	Standard - Adj Comp. Cooling Lock Out Through Unit Controls
D	8. Refrigeration Options	Modulating Hot Gas Reheat
E	9. Refrigeration Accessories	ECM Condenser Fan - Head Pressure Control
Α	10. Power Options	Non-fused Disconnect Power Switch - 100 Amps
K	11. Safety Options	RA Smoke Detector + Remote Safety Shutdown Terminals
В	12. Controls	Phase & Brown Out Protection
E	13. Special Controls	Constant Volume (CV) Unit Controller - CV Cool + CV Heat
0	14A. Outside Air Configuration	Standard - None
0	14B. Preheat Sizing	Standard - None
0	15. Glycol Percent	Water or No WSHP
0	16. Interior Cabinet Options	Standard - Double Wall + R-13 Foam Insulation + Stainless Steel Drain Pan
0	17. Exterior Cabinet Options	Standard
0	18. Electrical Rating	Standard - 5 KAIC
0	19. Code Options	Standard - ETL U.S.A. Listing
0	20. Crating	Standard
0	21. Water-Cooled Cond.	Standard - None
V	22. Control Vendors	VCC-X Controls + Integrated BACnet MSTP
В	<b>23</b> . Type	Standard - Includes AAON Gray Paint



# **VCCX Components**

2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92Q964W)

RN-013-8-0-EA09-2F2:A000-D0B-DSF-AFA-0DEAKBE-00-000000VB

Tag: RT-2 Job Name:

Gasow Veterinary Hospital VCCX For:

Job Number: Design 4-12-22 VCCX Date:

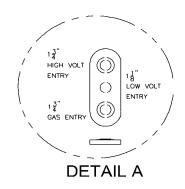
April 12, 2022

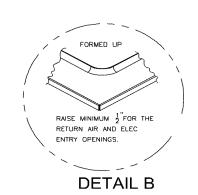
# Hardware Included For VCCX Controller

Part #	Included Parts	Assigned Channel	BACnet Point
ASM01698	VCCX2 CONTROLLER		
ASM01692	OSA Temp/Hum Sensor	EBUS2 communicating sensor	AI:16,AI:17,AI:18,AI:19
ASM01820	Space Digital Temp/Hum Sensor	EBUS3 communicating sensor	AI:12,AI:13
R82890	Supply Temp Sensor - Field Installed	VCCX control point AI 3	AI:9
	Supply Fan Control Signal 0-10VDC	VCCX control point AO 1	AI:22
	Economizer	VCCX control point AO 2	AI:30
R62330	Proof of Air Flow	VCCX control point BI 1	BI:6, BI:24
R64580	Dirty Filter Sensor	VCCX control point BI 2	BI:25
	Safety Shut Down	VCCX control point BI 8	BI:26
	Supply Fan	Configured Relay Point	BI:47
	Heat 1	Configured Relay Point	BI:48
	Heat 2	Configured Relay Point	BI:49
ASM02201	DIGITAL REFRIGERATION MODULE		
R57800	Comp Discharge Temp A	RSMD point TEMP1	AI:66
V38391	Suction Pressure Sensor A	RSMD point SP-1	AI:48
V38410	Discharge Pressure Sensor A	RSMD point HP-1	AI:50
V38410	Discharge Pressure Sensor B	RSMD point HP-2	AI:75
R63950	Modulated Condenser Signal B	RSMD point AO2	AI:47
R63950	Modulated Condenser Signal A	RSMD point AO1	AI:46
	Comp Status Input A	RSMD point BIN1	BI:77
	Comp Status Input B	RSMD point BIN2	BI:78
	Emergency Shutdown	RSMD point BIN4	BI:83
	Comp Unload Signal A	RSMD point T1	AI:44
	Comp Enable A	RSMD Fixed Relay point	BI:84
	Comp Enable B	RSMD Fixed Relay point	BI:85
	Condenser Enable B	RSMD Fixed Relay point	BI:87
ASM01670	MODULATING HOT GAS REHEAT MODULE		
	Reheat HGR Valve	MHGRV-X	AI:42

# RN SERIES B - CABINET WITH ECONOMIZER ~ 9-15 TON

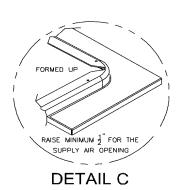
CLEARANCES				
LOCATION	• UNIT SIZE • 9 - 15 TON			
OUTSIDE AIR (BACK)	48			
CONTROLS SIDE (FRONT)	48			
LEFT SIDE	6			
RIGHT SIDE	48			
ТОР	UNOBSTRUCTED			

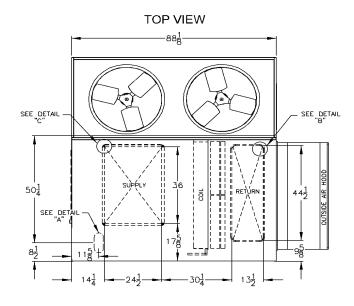


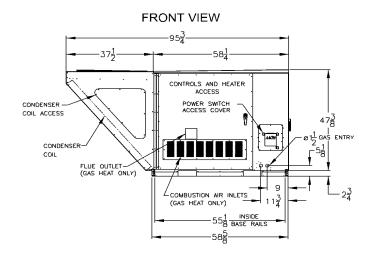


# NUMBER OF CONDENSER FANS

9 & 11 TON - 1 FAN 13 & 15 TON - 2 FANS







SUPPLY BLOWER

SUPPLY BLOWER

ACCESS

ARCCESS

A

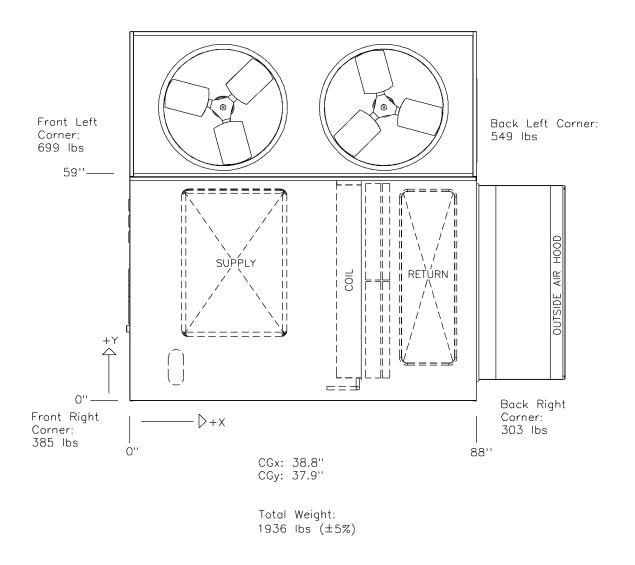
RIGHT SIDE VIEW

RNB-00002 REV:B 08/30/11 JRL NOTE: ALL DIMENSIONS ARE IN INCHES

# RNB CABINET AIR COOLED CONDENSING UNIT



RN-013-8-0-EA09-2F2:A000-D0B-DSF-AFA-0DEAKBE-00-000000VB



Disclaimer:

This weight estimate does not account for any SPAs.





2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094

AAONEcat32 Ver. 4.318 (SN: 6918384-U92Q964W)

RN-008-8-0-EA09-2K2:A000-D0B-DCD-AFA-0DEAKBE-00-000000VB

Tag: RT-3

Job Information

Job Name: Gasow Veterinary Hospital

Job Number: Design 4-12-22

Site Altitude: 600 ft
Refrigerant R-410A

Static Pressure

External: 1.10 in. wg.
Evaporator: 0.25 in. wg.
Filters Clean: 0.30 in. wg.
Dirt Allowance 0.35 in. wg.

Cooling Section

Gross Net
Total Capacity: 89.92 84.74 MBH
Sensible Capacity: 71.53 66.35 MBH

Latent Capacity: 18.39 MBH

 Mixed Air Temp:
 77.00 °F DB
 63.48 °F WB

 Entering Air Temp:
 77.00 °F DB
 63.48 °F WB

 Lv Air Temp (Coil):
 54.12 °F DB
 52.78 °F WB

 Lv Air Temp (Unit)
 55.73 °F DB
 53.45 °F WB

Digital Comp. Capacity Ratio: 100

Supply Air Fan: 1 x RNA185 @ 1.76 BHP

SA Fan RPM / Width: 1674 / 4.140"

Evaporator Coil: 8.5 ft<sup>2</sup> / 3 Rows / 14 FPI

Evaporator Face Velocity: 352.7 fpm

**Unit Information** 

Approx. Op./Ship Weights: 1223 / 1223 lbs.  $(\pm 5\%)$  Supply CFM/ESP: 3000 / 1.1 in. wg. Pre-Filter FV / Qty: 337.50 fpm / 4

Outside CFM: 300

Ambient Temperature: 95 °F DB / 75 °F WB Return Temperature: 75 °F DB / 62 °F WB

 Economizer:
 0.08 in. wg.

 Heating:
 0.06 in. wg.

 Cabinet:
 0.12 in. wg.

 Re-Heat Coil:
 0.06 in. wg.

 Total:
 2.33 in. wg.

Heating Section

PreHeat Type: Std (No Preheat)

Heating Type: Nat. Gas Heat

Heating CFM: 3000

Total Capacity: 120.0 MBH

OA Temp: -10.0 °F DB / -10.0 °F WB
RA Temp: 75.0 °F DB / 62.0 °F WB
Entering Air Temp: 66.5 °F DB / 57.6 °F WB
Leaving Air Temp: 103.5 °F DB / 70.0 °F WB

Input: 150.0 MBH

Heater Qty:

Consumption: 150.0 MBH Total Turndown Ratio: 1.4:1

Re-Heat Coil:

Capacity: 50 MBH

LA DB / WB: 70.00 °F / 58.97 °F

RH: 52%

Rating Information

Cooling Capacity (MBH): 91.0
Cooling EER: 11.4
Cooling IEER: 13.4

Rated in accordance with AHRI 340/360

Application EER @ Op. Conditions: 9.4

Electrical Data

Rating: 208/3/60 Minimum Circuit Amp: 45 Unit FLA: 39 Maximum Overcurrent: 60

SCCR: 39

HP VAC Phase **RPM** FLA RLA Qty Compressor 1: 1 208 3 24 Condenser Fans: 1 1.00 208 1 1110 7.0 Supply Fan: 2.00 208 1 3 1760 7.5 3010 Combustion: 0.09 208 1 1 1.3

Cabinet Sound Power Levels\*

Octave Bands: 63 125 250 500 1000 2000 4000 8000 Discharge LW(dB): 85 83 87 82 74 72 69 63 Return LW(dB): 80 78 77 69 65 60 49 39

\*Sound power levels are given for informational purposes only. The sound levels are not guaranteed.



# 18.5" STAR Plenum

3 WR2

2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92Q964W)

JOB INFORMATION:

Job Name: Gasow Veterinary Hospital

Job Tag: RT-

**OPERATING CONDITIONS:** 

Rep Firm:

Air Flow:

TSP:

Static Pressure:

Site Altitude:

TSP @ Sea Level:

Relief Dampers DP:

**Date**: 04/12/2022

WHEEL SPECIFICATION:

Inertia:

 Max RPM:
 2,200

 Diameter x Qty:
 18.5 in. x 1

**CFM**: 3000 **Tip Speed**: 8,108 FPM

MOTOR SELECTION:

 Rated HP / Bypass:
 2 / No

 Frame Size:
 145T

 Nominal RPM:
 1760

 VAC/PH/HZ:
 208/3/60

Efficiency Premium / 0.865

Enclosure Type: ODP
Max Inertial Load: 27 WR<sup>2</sup>

FAN PERFORMANCE:

RPM: 1674 BHP: 1.76 Efficiency: 62.6%

In/Out Velocity: 1714/1796 FPM

Plenum Out Velocity: 50 FPM

FAN SOUND POWER (Inlet/Outlet):

Octave Band: (Re 10^-12 watts) 1 2 3 4 5 6 7 8 85 83 87 84 77 75 73 67 85 83 87 84 77 75 73 67

SOUND POWER A-Weighted: 87 / 87 dB

Max Duct SP with Blocked Airway: 3.2 in. Wg. @ 1674 rpm

3,000 CFM

2.33 in. Wg.

0.00 in. Wg.

2.33 in. Wg.

2.38 in. Wg.

600.00 Ft



# **Unit Submittal**

Date Printed: 4/12/2022 1:53:40 PM

2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92O964W)

RN-008-8-0-EA09-2K2:A000-D0B-DCD-AFA-0DEAKBE-00-000000VB Tag: RT-3

Job Name:Gasow Veterinary HospitalUnit Submittal For:Job Number:Design 4-12-22Unit Submittal Date:April 12, 2022

	Base Option	Description	
R	Series	Roof Top Unit	
N	Generation	Ninth Generation	
800	Unit Size	Eight	
8	Voltage	208V/3Ø/60Hz	
0	Interior Protection	Standard	
E	Refrigerant Style	R-410A VCC - High Efficiency	
Α	Unit Configuration	Air-Cooled Cond. + Std Evap. Coil	
0	Coil Coating	Standard	
9	Cooling/Heat Pump Staging	Modulating - 1 Variable Capacity Compressor	
2	Heating Type	Natural Gas Aluminized	
K	Heating Designation	Heat K - 150 MBtuh	
2	Heating Staging	2 Stage	

	Feature Option	Description		
Α	1A. RA/OA Section	Economizer		
0	1B. RA/EA Blower Configuration	Standard - None		
0	1C. RA/EA Blower	Standard - None		
0	1D. RA/EA Blower Motor	Standard - None		
D	2. OA Control	Fully Modulating Actuator - Enthalpy Limit		
0	3. Heat Options	Standard		
В	4. Maintenance Options	115V Convenience Outlet - Factory Wired		
D	5A. SA Blower Configuration	1 Blower + Premium Efficiency Motor + 1 VFD		
С	5B. SA Blower	18.5" Direct Drive Backward Curved Plenum		
D	5C. SA Motor	2.0 hp - 1760 rpm		
Α	6A. Pre Filter Type	2" Pleated Pre Filter - 30% Eff		
F	6B. Unit Filter Type	4" Pleated - 65% Eff - MERV 11		
Α	6C. Filter Options	Clogged Filter Switch		
0	7. Refrigeration Control	Standard - Adj Comp. Cooling Lock Out Through Unit Controls		
D	8. Refrigeration Options	Modulating Hot Gas Reheat		
E	9. Refrigeration Accessories	ECM Condenser Fan - Head Pressure Control		
Α	10. Power Options	Non-fused Disconnect Power Switch - 100 Amps		
K	11. Safety Options	RA Smoke Detector + Remote Safety Shutdown Terminals		
В	12. Controls	Phase & Brown Out Protection		
E	13. Special Controls	Constant Volume (CV) Unit Controller - CV Cool + CV Heat		
0	14A. Outside Air Configuration	Standard - None		
0	14B. Preheat Sizing	Standard - None		
0	15. Glycol Percent	Water or No WSHP		
0	16. Interior Cabinet Options	Standard - Double Wall + R-13 Foam Insulation + Stainless Steel Drain Pan		
0	17. Exterior Cabinet Options	Standard		
0	18. Electrical Rating	Standard - 5 KAIC		
0	19. Code Options	Standard - ETL U.S.A. Listing		
0	20. Crating	Standard		
0	21. Water-Cooled Cond.	Standard - None		
V	22. Control Vendors	VCC-X Controls + Integrated BACnet MSTP		
В	<b>23</b> . Type	Standard - Includes AAON Gray Paint		



# **VCCX Components**

2425 South Yukon Ave - Tulsa, Oklahoma 74107-2728 - Ph. (918) 583-2266 Fax (918) 583-6094 AAONEcat32 Ver. 4.318 (SN: 6918384-U92Q964W)

RN-008-8-0-EA09-2K2:A000-D0B-DCD-AFA-0DEAKBE-00-000000VB

Tag: RT-3 Job Name:

Gasow Veterinary Hospital VCCX For:

Job Number: Design 4-12-22 VCCX Date: April 12, 2022

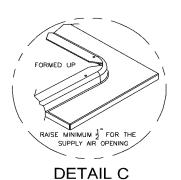
#### Hardware Included For VCCX Controller

Part #	Included Parts	Assigned Channel	BACnet Point
ASM01698	VCCX2 CONTROLLER		
ASM01692	OSA Temp/Hum Sensor	EBUS2 communicating sensor	AI:16,AI:17,AI:18,AI:19
ASM01820	Space Digital Temp/Hum Sensor	EBUS3 communicating sensor	AI:12,AI:13
R82890	Supply Temp Sensor - Field Installed	VCCX control point AI 3	AI:9
	Supply Fan Control Signal 0-10VDC	VCCX control point AO 1	AI:22
	Economizer	VCCX control point AO 2	AI:30
R62330	Proof of Air Flow	VCCX control point BI 1	BI:6, BI:24
R64580	Dirty Filter Sensor	VCCX control point BI 2	BI:25
	Safety Shut Down	VCCX control point BI 8	BI:26
	Supply Fan	Configured Relay Point	BI:47
	Heat 1	Configured Relay Point	BI:48
	Heat 2	Configured Relay Point	BI:49
ASM02201	DIGITAL REFRIGERATION MODULE		
R42680	Comp Discharge Temp A	RSMD point TEMP1	AI:66
V38391	Suction Pressure Sensor A	RSMD point SP-1	AI:48
V38410	Discharge Pressure Sensor A	RSMD point HP-1	AI:50
R63950	Modulated Condenser Signal A	RSMD point AO1	AI:46
	Comp Status Input A	RSMD point BIN1	BI:77
	Emergency Shutdown	RSMD point BIN4	BI:83
	Comp Unload Signal A	RSMD point T1	AI:44
	Comp Enable A	RSMD Fixed Relay point	BI:84
ASM01670	MODULATING HOT GAS REHEAT MODULE		
	Reheat HGR Valve	MHGRV-X	AI:42

# RN SERIES A - CABINET ECONOMIZER ~ 6-10 TON

CLEARANCES		
LOCATION	• UNIT SIZE • 6 - 10 TON	
OUTSIDE AIR (BACK)	36	
CONTROLS SIDE (FRONT)	48	
LEFT SIDE	6	
RIGHT SIDE	48	
ТОР	UNOBSTRUCTED	

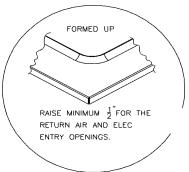
NOTE: THE RNA UNIT IS NOT COMPATIBLE WITH PREVIOUS GENERATIONS OF AAON CURBS. AN ADAPTER CURB IS AVAILABLE IN ECAT.



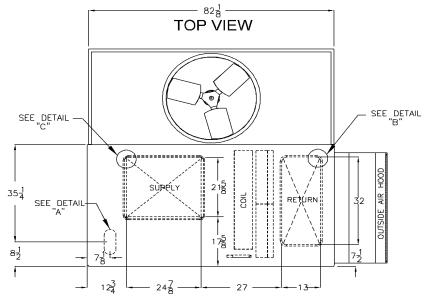
13"
HIGH VOLT
ENTRY

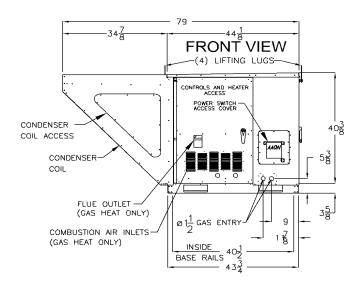
14"
GAS ENTRY

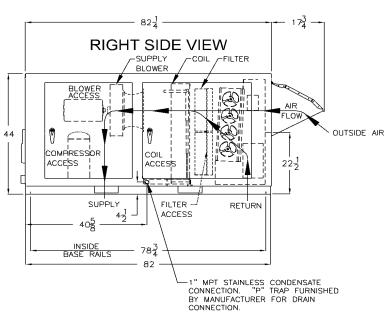
14"
GAS ENTRY



DETAIL A DETAIL B







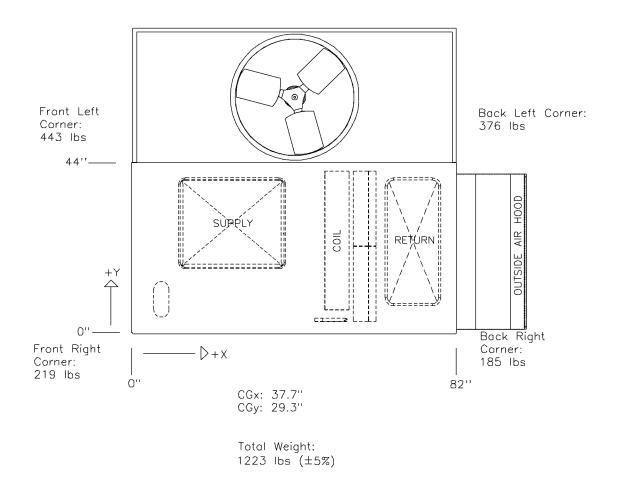
RNA-00013 NEW 09/15/09 JRL

NOTE: ALL DIMENSIONS ARE IN INCHES

# RNA CABINET AIR COOLED CONDENSING UNIT



RN-008-8-0-EA09-2K2:A000-D0B-DCD-AFA-0DEAKBE-00-000000VB



Disclaimer:

This weight estimate does not account for any SPAs.



# **Special Land Use Permit Application**

## **Planning Division**

Form will not be processed until it is completely filled out.

1.	Applicant Name: Address:	2. Property Owner  Name: Address:
	Phone Number:Fax Number:	Phone Number:
	Email address:	Fax Number:  Email address:
3.	Applicant's Attorney/Contact Person Name: Address:	4. Project Designer/Developer Name:
	Phone Number:	Phone Number:
	Fax Number: Email address:	Fax Number:
5.	Required Attachments  I. Two (2) paper copies and one (1) digital project plans including:  i. A detailed Existing Conditions including the subject site in its including all property lines, but structures, curb cuts, sidewalks ramps and all parking on site a street(s) adjacent to the site, and show the same detail for all adding properties within 200 ft. of the site's property lines;  ii. A detailed and scaled Site Plant accurately and in detail the proconstruction, alteration or repair.  iii. A certified Land Survey;  iv. Interior floor plans;	v. A Landscape Plan; vi. A Photometric Plan; vii. Colored elevation drawings for each entirety, ildings, s, drives, nd on the di must jacent subject v. A Landscape Plan; vii. Colored elevation drawings for each building elevation; ildings fixtures and mechanical equipment; samples of all proposed materials, lad must including all structures, parking areas, landscaping and adjacent structures; v. Current aerial photographs of the site and a depicting posed vI. Warranty Deed, or Consent of Property Owner if
6.	Project Information Address/Location of the property:  Name of development: Sidwell #: Current Use: Proposed Use: Area of Site in Acres: Current zoning: Is the property located in the floodplain? Name of Historic District Site is located in: Date of Historic District Commission Approval:	Date of Final Site Plan Approval:  Date of Application for Revised Final Site Plan:  Date of Revised Final Site Plan Approval:  Date of Design Review Board Approval:  Is there a current SLUP in effect for this site?  Date of Application for SLUP:  Date of SLUP Approval:  Date of Last SLUP Amendment:  Will proposed project require the division of platted lots?
	Date of Application for Preliminary Site Plan:	Will proposed project require the combination of platted lots?

Date of Preliminary Site Plan Approval:\_

nd Structures	
ldings on Site:	Use of Buildings:
lings & # of Stories:	Height of Rooftop Mechanical Equipment:
nd Area (in Square Feet)	
mmercial Structures:	
floor area:	Office Space:
are feet per upper floor:	Retail Space:
;	Industrial Space:
(total floor area ÷ total land area):	Assembly Space:
	Seating Capacity:
	Maximum Occupancy Load:
space:	
sidential Structures:	
f units:	Rental units or condominiums?
bearoom units:	Size of one hedroom linits'
bedroom units:	Size of two bedroom units:
e bedroom units:	Size of three bedroom units:
	Seating Capacity:
space:	Maximum Occupancy Load:
ditions:	
floor area, if any, of addition:	Use of addition:
rs to be added:	Height of addition:
added per floor:	Office space in addition:
loor area (including addition):	Retail space in addition:
(total floor area ÷ total land area):	Industrial space in addition:
	Assembly space in addition:
	• •
space:	
d Proposed Setbacks	
setback:	Proposed front setback:
etback:	Proposed rear setback
side setback:	Proposed total side setback:
	Second side setback:
d Proposed Parking	
	Proposed number of parking spaces:
f parking spaces:	Typical size of parking spaces:
of maneuvering lanes.	Number of spaces <180 sq. ft.:
king on site:	Number of handicap spaces:
king off site:	Shared parking agreement?
t standards in parking area.	Height of light standards in parking area:
i standarus ili parking arca.	11cignt of right standards in parking area
	sidential Structures: f units: bedroom units: bedroom units: e bedroom units:  space:  ditions: floor area, if any, of addition: rs to be added: added per floor: floor area (including addition): (total floor area ÷ total land area):  space:  dProposed Setbacks setback: etback: side setback:

Location of landscape areas:	Proposed landscape material:
Location of fundscape areas	
	<u> </u>
	<u> </u>
13. Streetscape	
Sidewalk width:	Description of benches or planters:
Number of benches:	
Number of planters:	Species of existing trees:
Number of existing street trees:	
Number of proposed street trees:	Species of proposed trees:
Streetscape plan submitted?	<u> </u>
14. Loading	
Required number of loading spaces:	Proposed number of loading spaces:
Typical angle of loading spaces:	Typical size of loading spaces:
Screenwall material:	Height of screenwall:
Location of loading spaces on site:	Typical time loading spaces are used:
15. Exterior Waste Receptacles	
Required number of waste receptacles:	Proposed number of waste receptacles:
Location of waste receptacles:	Size of waste receptacles:
Screenwall material:	Height of screenwall:
16. Mechanical Equipment	
Utilities and Transformers:	
Number of ground mounted transformers:	Location of all utilities & easements:
Size of transformers (L•W•H):	
Number of utility easements:	
Screenwall material:	Height of screenwall:
Ground Mounted Mechanical Equipment:	
Number of ground mounted units:	Location of all ground mounted units:
Number of ground mounted units:  Size of ground mounted units (L•W•H):	
Screenwall material:	Height of screenwall:
Rooftop Mechanical Equipment:	
Number of rooftop units:	Location of all rooftop units:
Type of rooftop units:	Size of rooftop units (L•W•H):
	Percentage of rooftop covered by mechanical units:
Screenwall material:	Height of screenwall:  Distance from rooftop units to all screenwalls:
Location of screenwall:	
17. Accessory Buildings	Size of accessory buildings:
Number of accessory buildings:  Location of accessory buildings:	Height of accessory buildings:
Location of accessory buildings.	ricigii or accessory bullulligs

8. Building Lighting	
Number of light standards on building:	Type of light standards on building:
Size of light fixtures (L•W•H):	
Maximum wattage per fixture:	Height from grade:
Light level at each property line:	Proposed wattage per fixture:
9. Site Lighting	T C1' 14 C 4
Number of light fixtures:	Type of light fixtures:
Size of light fixtures (L•W•H):	Height from grade:
Maximum wattage per fixture:	Proposed wattage per fixture:
Light level at each property line:	Holiday tree lighting receptacles:
0. Adjacent Properties	
Number of properties within 200 ft.:	
Property #1	
Number of buildings on site:	Property Description:
Zoning district:	
Use type:	
Use type:Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property?
Number of parking spaces:	North, south, east of west of property:
Property #2	
Number of buildings on site:	Property Description:
Zoning district:	
Use type:	
Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property?
- value of or paraming oparetor	
Property #3	
Number of buildings on site:	Property Description:
Zoning district:	
Use type:	
Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property?
Property #4	
Number of buildings on site:	Property Description:
Zoning district:	Troperty Description
Zoning district:	
Use type:Square footage of principal building:	
Square rootage of principal building:	
Square footage of accessory buildings:	N. ddd.
Number of parking spaces:	North, south, east or west of property?
Property #5	
Number of buildings on site:	Property Description:
Zoning district:	
Use type:	
Use type:Square footage of principal building:	
Square footage of accessory buildings:	
Number of parking spaces:	North, south, east or west of property?
1 01	

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

By providing your e-mail to the City, you agree to receive news notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner:		Date:
Print Name:		
Signature of Applicant:		Date:
Print Name:		
Signature of Architect:		
Print Name:		
	Office Use Only	,
Application #:	Date Received:	Fee:
Date of Approval:	Date of Denial:	Accepted by:



### SPECIAL LAND USE PERMIT APPLICATION CHECKLIST - PLANNING DIVISION

Applicant: Project:		Case #: Date:		
		:		
applicab	le requist be	quirements of the City of Birmingham. If more than legible and of sufficient quality to provide for qual	n one page is u lity reproduction	accordance with the following specifications and other sed, each page shall be numbered sequentially. All on or recording. Plans must be no larger than 24" x learly noted on all plans and supporting documentation.
A full S	Site P	or Special Land Use Permit lan detailing the proposed changes for which a nless the drawing will not fit on one 24" X 36"		quested shall be drawn at a scale no smaller than nall include:
	1.	Name and address of applicant and proof of o	ownership;	
	2.	Name of Development (if applicable);		
	3.	Address of site and legal description of the re	al estate;	
	4.	Name and address of the land surveyor;		
	5.	Legend and notes, including a graphic scale,	north point, a	nd date;
	6.	A separate location map;		
	7.	A map showing the boundary lines of adjacen developed as well as the adjacent land;	nt land and th	e existing zoning of the area proposed to be
	8.	Aerial photographs of the subject site and sur	rounding pro	perties;
	9.	A detailed and scaled Site Plan depicting accrepair;	urately and in	detail the proposed construction, alteration or
	10.	A detailed Existing Conditions Plan including buildings, structures, curb cuts, sidewalks, dr adjacent to the site, and must show the same site's property lines;	ives, ramps a	
	11.	Interior floor plans;		
	12.	A chart indicating the dates of any previous a Design Review Board, or the Historic Distric		

	13. Existing and proposed layout of streets, open space and other basic elements of the plan;
	14. Existing and proposed utilities and easements and their purpose;
	15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
	16. General description, location, and types of structures on site;
	17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
	18. Details of existing or proposed lighting, signage and other pertinent development features;
	19. Elevation drawings showing proposed design;
	20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
	21. Location of all exterior lighting fixtures;
	22. A Photometric Plan depicting proposed illuminance levels at all property lines;
	23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
	24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.
Elevation	on Drawings
_	te elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:
	25. Color elevation drawings showing the proposed design for each façade of the building;
	26. List of all materials to be used for the building, marked on the elevation drawings;
	27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
	28. Details of existing or proposed lighting, signage and other pertinent development features;
	29. A list of any requested design changes;
	30. Itemized list and specification sheets of all materials, light fixtures and mechanical equiptment to be used, including exact size specifications, color, style, and the name of the manufacturer;
	31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
	32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



# Notice Signs - Rental Application Community Development

1. Applicant		Property Owner Name: 36877 WOODWARD AVENUE LLC/ROMEO PLANK PROPERTIES	
Name: Midwest Veterinary Partners PLLC		Address: 36877 WOODWARD AVENUE	
Address: 20450 Civic Center Dr. Southfield MI 48076		Adultss.	
		Phone Number: (248) 644-7171	
Fax Number:			
Email address: kevin.collett@mvetpartners.		Email Address: mbailey@mtbpartnersllc.com	
Eman address.			
2. Project Information			
Address/Location of Property: 36877	WOODWARD AVENUE	Name of Historic District site is in, if any:	
Name of Development: GASOW VETER	RINARY HOSPITAL	Current Use: VETERINARY CLINIC	
Area in Acres: 1.64 ACRES		Current Zoning: MZ3	
O Date of Decard Decisions			
3. Date of Board Review		Board of Zoning Appeals:	
Board of Building Trades Appeals:		Design Review Roard:	
City Commission:		Design Review Board:  Housing Board of Appeals:	
Historic District Commission:			
Planning Board:		<del>-</del>	
project will be reviewed by remains posted during the pay a rental fee and securit immediately following the could be refunded when the	the appropriate board entire 15 day mandatory deposit for the Notic late of the hearing at whotice Sign(s) are return the Notice Sign(s) a	sign(s) at least 15 days prior to the date on which the or commission, and to ensure that the Notice Sign(s) ry posting period. The undersigned further agrees to e Sign(s), and to remove all such signs on the day which the project was reviewed. The security deposit and undamaged to the Community Development and/or damage to the Notice Sign(s) will result in	
Signature of Applicant:		Date: 2/1/32	
		e Use Only	
Application #:	Date Received:	Fce:	
Date of Annroval:	Date of Denial:	Reviewed by:	



#### **FEE SCHEDULE**

Application	Fees
Administrative Approval	\$100
Administrative Sign Approval	\$100
Board of Zoning Appeals*	
Single Family Residential	\$310
All Other Zoning Districts	\$510
Community Impact Study Review*	\$2,050
Design Review*	\$350
Division/Combination of Platted Lots	\$200
Historic District Review*	
Single Family Residential	No Charge
All Other Zoning Districts	\$350
Public Notice Sign	
Notice Sign Rental	\$50
Returnable Sign Bond	\$100
	→ \$150 total
Preliminary/Final Site Plan Review	
• R4 – R8 Zoning District	\$850, plus \$50 per dwelling unit
Nonresidential Districts	\$1,050, plus \$50 per acre or portion of acre
Special Land Use Permit*	\$800
Plus Site Plan Review	\$1,050
Plus Design Review	\$350
Plus Publish of Legal Notice	\$450
Plus Sign Rental and Deposit	\$150
	→ \$2,800 total
Special Land Use Permit Annual Renewal	\$200
Temporary Use Permit	\$100
Zoning Compliance Letter	\$50

\*The fees for Board of Zoning Appeals, Community Impact Study Review, Design Review, Site Plan Review, Historic District Review and Special Land Use Permits shall be double the listed amounts in the event the work is commenced prior to the filing of an application for review by the City of Birmingham.

#### City Of Birmingham Regular Meeting Of The Planning Board Wednesday, March 23, 2022

City Commission Room 151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on March 23, 2022. Chair Scott Clein convened the meeting at 7:36 p.m.

#### A. Roll Call

**Present:** Chair Scott Clein; Board Members Robin Boyle, Bert Koseck, Daniel Share, Janelle

Whipple-Boyce; Student Representatives MacKinzie Clein, Andrew Fuller

**Absent:** Board Member Stuart Jeffares, Bryan Williams; Alternate Board Members Jason

Emerine, Nasseem Ramin

#### **Administration:**

Nick Dupuis, Planning Director Leah Blizinski, City Planner Brooks Cowan, Senior Planner Laura Eichenhorn, City Transcriptionist

# 1. 36877 Woodward – Gasow – Preliminary Site Plan request for a new 2-story building and associated site improvements

SP Cowan presented the item.

In reply to Mr. Koseck's comments about the number of conditions, PD Dupuis noted that approximately a third of the items were topics that the Board does not usually address until final site plan and design review.

Mike Matthys, architect, and Mike Bailey, owner of the property, spoke on behalf of the project. Mr. Matthys said adding sufficient screening to the north parking spots, accommodating the 14 foot floor-to-floor minimum, adjusting the sidewalks to meet the zoning requirements, and providing the materials for refuse container screening would be no issue.

Mr. Matthys said he was hoping to hear Board comment about screening in the rear of the building, screening on the south side of the parking lot, and access to the parking lot from Woodward. He added that the plans could likely meet the glazing requirements without issue.

Mr. Koseck said he would like to see the applicant modify the site plan to come closer to having 75% of the building façade within zero to five feet of the front lot line. He recommended that the lobby area be within zero to five feet of the front lot line with the exam room areas being further back. He said he was excited to see a new building with quality materials in this location, but that aspects of it could come further into compliance with the ordinance.

Mr. Bailey noted the site's conditions are difficult since it is bound by Consumers, DTE, and extant MDOT curb cuts. He said that the site could not accommodate more parking in the rear because of the alley and the topography. He opined that while requiring the building façade to be within zero to five feet of the lot line makes sense to prevent a gap in retail in a pedestrian-heavy area, this site does not have those conditions and so the requirement may not be as relevant in this case.

#### **Public Comment**

Brady Blaine, neighbor of Gasow, summarized his letter to the Board requesting a few areas of additional screening on-site.

Robert Runco, neighbor of Gasow, concurred with Mr. Blaine's comments. He added that the alley to the south should remain closed and that the 16-foot light should be shielded appropriately.

Messrs. Blaine and Runco were both in favor of the general designs and plans for the project.

Ms. Whipple-Boyce said that in this condition she understood why the plans did not comply with TZ-3, and expressed support for the planned improvements to the site. She continued that she would be supportive of having a six-foot masonry screening wall across the rear parking given the comments of the neighbors. She said some creativity would be required to create some screening beyond the parking to the south. She said it did make sense for the wall to be in the southwest portion of the main parking lot, but that landscaping would be adequate in the area facing Woodward.

In reply to an inquiry from Ms. Whipple-Boyce, the applicant confirmed that the lack of a sidewalk from the rear entry to the main parking lot is because only staff would be using the rear entry and would be parking in the alley.

In reply to Mr. Boyle, PD Dupuis noted the applicant would be obligated to improve the alley if they continue using it. He also acknowledged Mr. Boyle's recommendation that Staff see how they might facilitate other improvements to the area surrounding the property, including the utilities uses, in order to make the area to the north more attractive to potential tenants.

Mr. Koseck recommended the applicant consider eliminating a few of the parking spaces on-site in favor of increased landscaping if at all possible.

Chair Clein thanked the applicant for agreeing to install a screening wall according to the neighbors' requests, and advised the applicant that projects that work with the neighbors produce better results. The Chair continued that the screening in the rear will be useful and that he did not see a need to change the screening in the front. He said he would prefer to see evergreen screening along the north property line rather than a masonry wall. He said he felt to some extent that the applicant was trying to skirt the ordinance by characterizing the project as a rebuild. He said he was not sure whether he would support a variance relating to that.

Mr. Matthys said that given the feedback from the neighbors and the Board the applicant would not be seeking a variance for the screening wall. He said he would work with neighbors to design a screen wall they would support. He said the applicant would pursue a variance from the requirement that 75% of the building façade be within zero to five feet of the front lot line. He stated that if the variance is not granted the applicant would attempt to comply with the ordinance.

#### Motion by Ms. Whipple-Boyce

Seconded by Mr. Share to approve the Preliminary Site Plan for 36877 Woodward Ave, Gasow Veterinary Clinic, with the following conditions:

- 1. The applicant apply for a lot combination to consolidate the parcels where the updated veterinary clinic is proposed;
- The applicant modify the site plan to have 75% of the building façade within 0-5 feet of the front lot line, or obtain a variance from the Board of Zoning Appeals;
- 3. The applicant reduce the parking lot frontage to 25% or less of the front lot line, or obtain a from the Board of Zoning Appeals;
- 4. The applicant satisfy all parking lot screening and buffer requirements of Article 4, Section 4.53 and 4.54 of the Zoning Ordinance for the proposed onsite and off-site parking lots through an understanding with the neighbors regarding satisfying to lot screening, or obtain a variance from the Board of Zoning Appeals;
- 5. The applicant indicate materials and dimensions for mechanical units and refuse container screening;
- 6. The applicant obtain approval from the Police Department to count on-street parking spaces towards their parking requirement;
- 7. The applicant modify the site plan to have 6 foot wide sidewalks on-site and a 7 foot wide sidewalk along Woodward Ave;
- 8. The applicant modify the site plan to incorporate two (2) entrances facing Woodward Ave;
- 9. The applicant modify the site plan to eliminate large blank walls on both floors of the southern and western elevations;
- 10. The applicant provide 5 bike racks to service the building;
- 11. The applicant submit material specifications, samples, dimensions, and all other required information for the proposed building to complete the Design Review at Final Site Plan and SLUP review; and,
- 12. The applicant comply with the requests of all City Departments.

Ms. Whipple-Boyce said she was comfortable moving the item since discussion clarified that many of the items would either be resolved or addressed at the BZA.

Mr. Koseck said he would vote no on the motion until the Board can gain more insight on the curb cuts from Woodward and the related on-site traffic flow. He said he would like to hear from the City's traffic engineer on the safety of that aspect of the design.

Chair Clein directed Staff to ensure that all outstanding issues between the applicant and the City's traffic engineer, BZA, MDOT, neighbors, and other potentially relevant parties are resolved before the project returns to the Board for final site plan and design review.

## Motion carried, 4-1.

ROLL CALL VOTE

Yeas: Share, Boyle, Whipple-Boyce, Clein

Nays: Koseck



## DRAFT

#### Board of Zoning Appeals Minutes May 10th, 2022

36877 WOODWARD 22-19

SP Cowan presented the item.

Mike Matthys, architect, reviewed the letter describing why these variances were being sought. The letter was included in the evening's agenda packet.

In reply to Chair Morganroth, Mr. Matthys said variance A was being sought because complying with the ordinance would make the building less architecturally pleasant, especially when viewed from Woodward heading north. He added that meeting the ordinance and maintaining the extant access points would also be problematic. He said he was unsure if he could move the parking to the building's rear if he lengthened the building to the north while making the building shallower.

Chair Morganroth noted that the petitioner was not restrained by the existing footprint since the proposal was for a complete demolition and rebuild.

Mr. Matthys acknowledged that to be the case, but said the plans were constrained by efforts to maintain the same access points, efforts to maximize parking on-site, and the utility on the southern boundary of the site. He said the petitioner has pushed to meet the intent of the ordinance while accommodating the restraints of the site.

In reply to the Chair, Mr. Matthys said variance A could be lessed by approximately 15 feet if the southern trapezoidal corner were eliminated.

BO Johnson confirmed for Mr. Reddy that the locations of the site's curb cuts are determined by MDOT.

#### Motion by Mr. Canvasser

Seconded by Mr. Hart with regard to Appeal 22-19, A. Chapter 126, Article 4, Section 2.46.2 of the Zoning Ordinance requires the minimum front yard setback for the building façade to be built within 5 feet of the front lot line for a minimum of 75% of the street frontage length. The applicant is proposing a building façade within 5 feet of the front lot line for 55% of the street frontage length, therefore a dimensional variance of 35 feet is being requested; B. Chapter 126, Article 4, Section 4.53(A)(1) of the Zoning Ordinance requires that no more than 25% of a property's frontage, or 60 feet, whichever is less, shall be occupied by parking lot. The applicant is proposed 32% of their frontage line to be occupied by parking a parking lot; therefore, a dimensional variance of 12 feet is being requested; and, C. Chapter 126, Article 4, Section 4.83(B)(3) of the Zoning Ordinance requires that buildings longer than 100 feet to have one (1) usable entrance for every full 50 feet of frontage along the front public sidewalk. The applicant is proposing a building width of 100'8" with one door facing the frontage, therefore a dimensional variance of 1 door is being requested.

Mr. Canvasser moved to approve all three variances and tied the approvals to the plans as submitted. He stated that the property had unique circumstances that would render compliance

with the ordinance unnecessarily burdensome. He said the plans would do substantial justice to other property owners and to the City as a whole, especially given the site's gateway location.

Mr. Canvasser said that while the petitioner could meet the ordinance instead of seeking the eight inch variance C, he noted that asking the petitioner to do so would have cascading effects that would change the entire proposal. He said he found the proposed plans reasonable overall, that the door is almost on the frontage, and that the grade of the property also impacted this aspect of the plans.

Mr. Hart said the petitioner worked to make the plans as ordinance-compliant as possible. He noted that there are specific architectural challenges with veterinary medicine that the plans address.

Chair Morganroth said he would not support the motion. He said the requirements of TZ-3 zoning were designed intentionally, and that this proposal could do more to come closer to compliance. He noted that removing the trapezoidal design of the southern corner could lower the request for Variance A to about 20 feet.

Motion carried, 4-2.

**ROLL CALL VOTE** 

Yeas: Canvasser, Hart, Reddy, Miller

Nays: Kona, Morganroth



#### **MEMORANDUM**

Planning Division

**DATE:** June 2<sup>nd</sup>, 2022

TO: Planning Board Members

FROM: Leah Blizinski, City Planner

APPROVED BY: Nick Dupuis, Planning Director

SUBJECT: Accessory Structures - Air Conditioning Units

Air conditioning is an important cooling and adaptation strategy for citizens. The most efficient air conditioner operation is achieved through the shortest lines between the furnace and the outdoor condenser unit. Installing air conditioners on the outside wall directly adjacent to the furnace provides for the shortest lines and maximum operational efficiency. Birmingham, like many of its neighboring communities has a number of principal structures built before its modern Zoning Ordinance was adopted. As such, there are a number of homes in the city with nonconforming side-yard condenser units to this day.

The City of Birmingham does not explicitly disallow condensers in side yards, but has established a precedence of regulating ac condenser units as Accessory Structures. Article 4.03 (A) states that "No accessory buildings or structures shall be erected in the required front open space or side open space, except as may otherwise be provided in this section." Therefore, in practice, air conditioner condensers are allowed only in the rear yard and those seeking to install or replace a condenser in the side yard must seek a variance from the BZA —as many do.

For someone seeking to replace an air conditioner that is located in their side yard, it is a lengthier process than someone who is replacing an air conditioner in the rear yard. They must either apply and wait for a determination from the BZA or move the lines and construct a new pad (or both if denied), which may mean additional contractors, time and cost.

Article 1 of the Zoning Ordinance, section 1.06 states "The interpretation and application of the provisions in this Zoning Ordinance are the minimum requirements necessary to promote public health, morals, safety, comfort, convenience, or general welfare." Therefore, it is necessary to consider whether a gap exists in the current ordinances as far as protecting the health, safety and welfare of residents and whether zoning practices that hinder the quick replacement of air conditioning in hot summer months may be considered detrimental to health, safety and welfare.

At the request of the City Attorney, Planning Division staff has looked at ways to ensure all residents have access to a swift process for maintaining and replacing air conditioning units on single-family homes, including reviewing ordinances of surrounding communities.

As technology improvements have drastically reduced the amount of noise produced by a running condenser some cities are revising their position on side-yard condensers. Birmingham can look to nearby neighbors, Ferndale, Berkley and Plymouth as examples of communities who have done just that in recent years.

Thanks to improvements in compressor technology and a fan-blade shape, modern models generate only about 1/20<sup>th</sup> of the noise generated by many older units. According to Energy.gov, "the most efficient air conditioners use 30% to 50% less energy to produce the same amount of cooling as air conditioners made in the mid-1970s. Even if your air conditioner is only 10 years old you may save 20% to 40% of your cooling energy costs by replacing it with a newer, more efficient model...Improper unit location, lack of insulation, and improper duct installation can greatly diminish efficiency." A properly working air conditioner should run for 15 minutes at a time on warm days, no more than a couple of times within an hour.

Additionally, the Energy Star and EnergyGuide labelling programs assist consumers in choosing high efficiency models. From the energy.gov website: "Central air conditioners are rated according to their season energy efficiency ratio (SEER). SEER indicates the relative amount of energy needed to provide a specific cooling output. Many newer systems have SEER ratings as high as 26. This rating system was updated in 2015 and the lowest SEER rated unit manufacturers are now allowed to sell is 13. For comparison, older units average between 8 and 9.

#### City of Ferndale

Ferndale updated their Zoning Ordinance in June of 2018 to allow certain features to project into required yard setbacks. This update included the following section related to placement of air conditioners:

"Equipment used for central air conditioning, heating or water filtration purposes and installed outside of single-family or two-family dwellings and their attached structures shall be located in the rear yard. The community development department may allow units to be located within the side yard in those instances where such location does not adversely impact an abutting dwelling, conditioned upon screening of the equipment with appropriate landscaping to reasonably conceal the equipment from view."

Ferndale Building staff confirmed that in practice, this means that when a permit to install air conditioning is applied for, the desired location of the unit is collected on the form. Staff then considers several factors in determining the appropriate location for the unit and is able to administratively approve side-yard ac installation when they determine it does not adversely impact an abutting dwelling. Factors they consider when making this determination are:

- 1) All applicable building codes.
- 2) A 5ft. setback from the lot line.
- 3) House foundation (and difficulty of cutting through slab)

- 4) Placement of furnace and length of lines needed to reach the rear yard; a drastic increase in the length of lines to reach the rear yard vs. side yard decreases efficiency of the unit.
- 5) New construction vs. existing; They will absolutely allow replacement of an existing side-yard ac on an existing house (and waive the 5ft setback under 'continuing the nonconformity,' if necessary, to allow replacement).
- 6) Required to screen all side-yard placed ac units from the street and the abutting property at least 4 inches above the unit itself.

Staff felt the ordinance was extremely successful and stated they have not had any issues since its adoption in 2018. It was especially successful at eliminating the requirement for applicants seeking to replace an existing nonconforming side-yard ac units to have to seek a variance from the Board of Zoning appeals. The Board of Zoning Appeals, while sympathetic to applicants, felt that they were not able to grant these variances under the specific criteria they are allowed to consider. Under the administrative process, staff can consider criteria the BZA cannot such as; cost, efficiency and timeliness of replacement. They have not had to send a side-yard ac application to the BZA since adopting the current ordinance.

#### City of Berkley

In 2017, the ZBA heard a number of appeals related to generators in which they determined they would consider and regulate them as accessory structures. Though the zoning ordinance defined several types of Accessory Structure, neither air conditioning units or generators was included in the definitions. During the discussion, air conditioners were brought into the mix; because air conditioning units had not been defined as accessory structures, they were previously allowed to be placed in the side yard as long as the adjacent property owner signed off on a form.

The City of Berkley adopted a new ordinance to define and regulate exterior appliances in February of 2021. This new ordinance provides definitions for several types of appliance including 'Air Conditioning Unit.' It also includes the following related to location of Residential Air Conditioning Units;

"Air Conditioning Units may be permitted in the side yard under the following conditions:

- a. The unit must be at least 18 inches from side property line;
- b. The unit must be at least 12 feet from adjacent dwelling;
- c. The unit must be screened on at least three (3) sides by opaque fencing or landscaping, measuring at least four (4) feet in height from grade.
  - 1. The principal structure may be considered one side of screening.
  - 2. Screening must be provided from street view and facing the closest adjacent property.
  - 3. Chain link fencing is not permissible as a screening material for exterior appliances."

They also include a section to provide guidance for Non-Conforming Exterior Appliances:

"Non-conforming exterior appliances include appliances that were lawfully installed but are no longer in compliance with the provisions of this chapter. Non-conforming exterior appliances may be continued, maintained and replaced provided there is no increase or enlargement of the area occupied or devoted to such use. If the structure that is served by a non-conforming exterior appliance is damaged or partially destroyed by less than 50 percent of its market value, the exterior

appliance may be restored and its previous use continued. If the structure that is served by a non-conforming exterior appliance is damaged or partially destroyed by 50 percent or more than 50 percent of its market value, then any restoration or new construction must comply with all current building and zoning codes."

#### City of Plymouth

Plymouth updated their ordinance in July of 2016. Previously they did not allow air conditioners to be installed in the side yard. Plymouth defines Accessory Use or Accessory and includes air conditioning units in the definition. Plymouth includes a table in their Zoning ordinance that specifies how much projection into each setback is permitted for each particular type of structure or feature. Air conditioning condensers are permitted to encroach 4ft into the side yard setback as well as the rear. As in Berkley and Ferndale, screening of the unit is required.

#### Study Session #1 Summary

On April 13<sup>th</sup>, 2022, the Planning Board discussed amending the Zoning Ordinance to consider allowing Air Conditioning Units within the side yard setback under certain conditions. The Planning Board discussed the variety of heating and cooling systems available and whether they were appropriate to be located within side yard setbacks in single-family residential neighborhoods. The planning board expressed a desire to provide relief for homeowners to replace Air Conditioning Units already located within side yard setbacks.

#### Study Session #2

The proposed ordinance language below was modified to reflect the Planning Board discussion from April 13<sup>th</sup>, 2022. The language was revised to limit the ordinance update to address only the specific urgent need to allow homeowners to replace air conditioning units in non-conforming locations. The ordinance update will allow these residents equal access to swiftly mitigate high temperatures should an air conditioning unit require replacement during the hot Summer months.

#### CITY OF BIRMINGHAM

<b>ORDINANCE</b>	NO.	
------------------	-----	--

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 4, SECTION 4.03, ACCESSORY STRUCTURE STANDARDS, TO ADD LANGUAGE TO PERMIT AIR CONDITIONING UNITS IN THE SIDE YARD UNDER CERTAIN CONDITIONS.

#### Article 4, Section 4.03 – Accessory Structure Standards

This Accessory Structure Standards section applies to the following districts:

#### R1 R1A R2 R3 R4 R5 R6 R7 R8 TZ1

The following accessory structure standards apply:

- A. <u>Front and Side Open Space Limitations</u>: No <u>accessory buildings</u> or structures shall be erected in the required front open space or side open space, except as may otherwise be provided in this section.
- B. Rear Open Space Limitations: Accessory buildings or structures may occupy a portion of the rear open space. They shall be at least 3 feet from any <u>lot</u> line, except as otherwise provided in this Article. If a lot has frontage on 2 <u>streets</u> so that the <u>rear lot line</u> abuts the street, accessory buildings or structures shall be set back from the rear lot line the same distance required in each two-page layout in <u>Article 2</u>, as a front <u>setback</u> for lots fronting on the street. An accessory building is not permitted closer to a <u>principal building</u> on an adjoining lot than the sum of the minimum required side setbacks as determined in Section 4.74(C).
- C. <u>Corner Lots</u>: On corner lots where a rear open space abuts a front or side open space, accessory buildings or structures on a corner lot shall have a minimum setback of 5 feet from the rear lot line.
- D. <u>Setback from Principal Building</u>: An accessory building or a swimming pool shall not be closer than 10 feet to the principal building located on the same lot.
- E. <u>Satellite Antennas</u>: Satellite antennas are permitted only in the rear open space. They are prohibited on the roof of any principal building or accessory building. They are limited to a maximum of 15 feet in height above <u>grade</u> and a minimum of 3 feet from the rear and <u>side</u> lot lines.
- F. <u>Basketball Apparatus</u>: A basketball apparatus may be placed within the required front open space and side open space of a single-family residential lot and only in conformance with the following conditions:
  - 1. No more than 1 basketball backboard, either garage or pole-mounted, may be located in the required front or side open space.
  - 2. A single basketball backboard may be mounted directly on the garage.
  - 3. A single, pole-mounted backboard may be located only within the one-third of the required front open space or side open space nearest the dwelling and contiguous to the driveway.

- G. <u>Maximum Building Height</u>: The maximum <u>eave</u> height on all accessory structures shall not exceed 12 feet. The maximum building heights for accessory structures are as follows:
  - 1. Gable, hip, gambrel, barrel or shed roofs:
    - a. R1A, R1: 15.5 feet to midpoint
    - b. R2: 15 feet to midpoint
    - c. R3: 14.5 feet to midpoint
    - d. The roof line on gambrel and barrel roofs may not project more than 2 feet past an imaginary plane drawn from the eave to the highest point on the roof. The highest point on an accessory structure with a shed roof must face the interior of the lot on which it is located.
  - 2. Flat roofs:

a. R1A, R1: 12 feet

b. R2: 12 feet

c. R3: 12 feet

- 3. Mansard roofs:
  - a. R1A, R1: 15.5 feet to deck line
  - b. R2: 15 feet to deck line
  - c. R3 14.5 feet to deck line
- H. <u>Area</u>: The maximum area of the first floor of any accessory structure or accessory structures in combination shall not exceed 10% of the lot area or 600 square feet in R1 and R1A, 550 square feet in R2, or 500 square feet in R3, whichever is less. Outdoor living area is prohibited above the first story on any accessory structure.
- I. <u>Proportionality Between Accessory Structures and Principal Structures</u>: The height of an accessory structure must be lower than the height of the principal structure on the same lot. The total area of habitable space in an accessory structure must not exceed 75% of the total area of habitable space in the principal structure on the same lot.
- J. <u>Dormers</u>: Dormers on accessory structures are limited to 50% or less of the width of the roof per elevation or a 10 foot interior dimension, whichever is greater. Dormers may not exceed the height of the roofline from which they are projecting. Dormers are not permitted on accessory structures with gambrel, barrel, flat or mansard roofs.
- K. <u>Windows</u>: On elevations adjacent to abutting property lines, a maximum of 8 square feet of glazing area is permitted per elevation on the second level of an accessory structure if located less than 6 feet above the floor of the second level of the accessory structure. Unlimited glazing is permitted if located at least 6 feet above the floor of the second level of the accessory structure.
- L. Exterior Staircases: Above grade exterior staircases are prohibited on accessory structures.
- M. <u>Air Conditioning Units</u>: All new and existing air conditioning units shall not count against lot coverage calculations. Non-conforming air conditioning units located within required side yard setbacks may be continued, maintained and replaced provided:
  - 1. The area occupied or devoted to such use is of similar size;
  - 2. The nonconforming unit(s) shall be subject to all applicable codes and building permits;
  - 3. The nonconforming unit(s) must be screened from street view and the abutting property by privacy fence, landscaping or landscape fence.

ORDAINED thispublication.	day of	, 2022 to become effective 7 days after
Therese Longe, Mayor		
Alex Bingham, City Cle	rk	



## **MEMORANDUM**

**Planning Division** 

**DATE:** April 8<sup>th</sup>, 2022

TO: Planning Board Members

FROM: Leah Blizinski, City Planner

**APPROVED BY:** Nick Dupuis, Planning Director

**SUBJECT:** Accessory Structures - Air Conditioning Units

Air conditioning is an important cooling and adaptation strategy for citizens. The most efficient air conditioner operation is achieved through the shortest lines between the furnace and the outdoor condenser unit. Installing air conditioners on the outside wall directly adjacent to the furnace provides for the shortest lines and maximum operational efficiency. Birmingham, like many of its neighboring communities has a number of principal structures built before its modern Zoning Ordinance was adopted. As such, there are a number of homes in the city with nonconforming side-yard condenser units to this day.

The City of Birmingham does not explicitly disallow condensers in side yards, but has established a precedence of regulating ac condenser units as Accessory Structures. Article 4.03 (A) states that "No accessory buildings or structures shall be erected in the required front open space or side open space, except as may otherwise be provided in this section." Therefore, in practice, air conditioner condensers are allowed only in the rear yard and those seeking to install or replace a condenser in the side yard must seek a variance from the BZA —as many do.

For someone seeking to replace an air conditioner that is located in their side yard, it is a lengthier process than someone who is replacing an air conditioner in the rear yard. They must either apply and wait for a determination from the BZA or move the lines and construct a new pad (or both if denied), which may mean additional contractors, time and cost.

Article 1 of the Zoning Ordinance, section 1.06 states "The interpretation and application of the provisions in this Zoning Ordinance are the minimum requirements necessary to promote public health, morals, safety, comfort, convenience, or general welfare." Therefore, it is necessary to consider whether a gap exists in the current ordinances as far as protecting the health, safety and welfare of residents and whether zoning practices that hinder the quick replacement of air conditioning in hot summer months may be considered detrimental to health, safety and welfare.

At the request of the City Attorney, Planning Division staff has looked at ways to ensure all residents have access to a swift process for maintaining and replacing air conditioning units on single-family homes, including reviewing ordinances of surrounding communities.

As technology improvements have drastically reduced the amount of noise produced by a running condenser some cities are revising their position on side-yard condensers. Birmingham can look to nearby neighbors, Ferndale, Berkley and Plymouth as examples of communities who have done just that in recent years.

Thanks to improvements in compressor technology and a fan-blade shape, modern models generate only about 1/20<sup>th</sup> of the noise generated by many older units. According to Energy.gov, "the most efficient air conditioners use 30% to 50% less energy to produce the same amount of cooling as air conditioners made in the mid-1970s. Even if your air conditioner is only 10 years old you may save 20% to 40% of your cooling energy costs by replacing it with a newer, more efficient model...Improper unit location, lack of insulation, and improper duct installation can greatly diminish efficiency." A properly working air conditioner should run for 15 minutes at a time on warm days, no more than a couple of times within an hour.

Additionally, the Energy Star and EnergyGuide labelling programs assist consumers in choosing high efficiency models. From the energy.gov website: "Central air conditioners are rated according to their season energy efficiency ratio (SEER). SEER indicates the relative amount of energy needed to provide a specific cooling output. Many newer systems have SEER ratings as high as 26. This rating system was updated in 2015 and the lowest SEER rated unit manufacturers are now allowed to sell is 13. For comparison, older units average between 8 and 9.

#### **City of Ferndale**

Ferndale updated their Zoning Ordinance in June of 2018 to allow certain features to project into required yard setbacks. This update included the following section related to placement of air conditioners:

"Equipment used for central air conditioning, heating or water filtration purposes and installed outside of single-family or two-family dwellings and their attached structures shall be located in the rear yard. The community development department may allow units to be located within the side yard in those instances where such location does not adversely impact an abutting dwelling, conditioned upon screening of the equipment with appropriate landscaping to reasonably conceal the equipment from view."

Ferndale Building staff confirmed that in practice, this means that when a permit to install air conditioning is applied for, the desired location of the unit is collected on the form. Staff then considers several factors in determining the appropriate location for the unit and is able to administratively approve side-yard ac installation when they determine it does not adversely impact an abutting dwelling. Factors they consider when making this determination are:

- 1) All applicable building codes.
- 2) A 5ft. setback from the lot line.
- 3) House foundation (and difficulty of cutting through slab)
- 4) Placement of furnace and length of lines needed to reach the rear yard; a drastic increase in the length of lines to reach the rear yard vs. side yard decreases efficiency of the unit.
- 5) New construction vs. existing; They will absolutely allow replacement of an existing side-yard ac on an existing house (and waive the 5ft setback under 'continuing the nonconformity,' if necessary, to allow replacement).

6) Required to screen all side-yard placed ac units from the street and the abutting property at least 4 inches above the unit itself.

Staff felt the ordinance was extremely successful and stated they have not had any issues since its adoption in 2018. It was especially successful at eliminating the requirement for applicants seeking to replace an existing nonconforming side-yard ac units to have to seek a variance from the Board of Zoning appeals. The Board of Zoning Appeals, while sympathetic to applicants, felt that they were not able to grant these variances under the specific criteria they are allowed to consider. Under the administrative process, staff can consider criteria the BZA cannot such as; cost, efficiency and timeliness of replacement. They have not had to send a side-yard ac application to the BZA since adopting the current ordinance.

#### **City of Berkley**

In 2017, the ZBA heard a number of appeals related to generators in which they determined they would consider and regulate them as accessory structures. Though the zoning ordinance defined several types of Accessory Structure, neither air conditioning units or generators was included in the definitions. During the discussion, air conditioners were brought into the mix; because air conditioning units had not been defined as accessory structures, they were previously allowed to be placed in the side yard as long as the adjacent property owner signed off on a form.

The City of Berkley adopted a new ordinance to define and regulate exterior appliances in February of 2021. This new ordinance provides definitions for several types of appliance including 'Air Conditioning Unit.' It also includes the following related to location of Residential Air Conditioning Units;

"Air Conditioning Units may be permitted in the side yard under the following conditions:

- a. The unit must be at least 18 inches from side property line;
- b. The unit must be at least 12 feet from adjacent dwelling;
- c. The unit must be screened on at least three (3) sides by opaque fencing or landscaping, measuring at least four (4) feet in height from grade.
  - 1. The principal structure may be considered one side of screening.
  - 2. Screening must be provided from street view and facing the closest adjacent property.
  - 3. Chain link fencing is not permissible as a screening material for exterior appliances."

They also include a section to provide guidance for Non-Conforming Exterior Appliances:

"Non-conforming exterior appliances include appliances that were lawfully installed but are no longer in compliance with the provisions of this chapter. Non-conforming exterior appliances may be continued, maintained and replaced provided there is no increase or enlargement of the area occupied or devoted to such use. If the structure that is served by a non-conforming exterior appliance is damaged or partially destroyed by less than 50 percent of its market value, the exterior appliance may be restored and its previous use continued. If the structure that is served by a non-conforming exterior appliance is damaged or partially destroyed by 50 percent or more than 50 percent of its market value, then any restoration or new construction must comply with all current building and zoning codes."

#### City of Plymouth

Plymouth updated their ordinance in July of 2016. Previously they did not allow air conditioners to be installed in the side yard. Plymouth defines Accessory Use or Accessory and includes air conditioning units in the definition. Plymouth includes a table in their Zoning ordinance that specifies how much projection into each setback is permitted for each particular type of structure or feature. Air conditioning condensers are permitted to encroach 4ft into the side yard setback as well as the rear. As in Berkley and Ferndale, screening of the unit is required.

#### CITY OF BIRMINGHAM

ORDINANCE NO.	
---------------	--

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 4, SECTION 4.03, ACCESSORY STRUCTURE STANDARDS, TO ADD LANGUAGE TO PERMIT AIR CONDITIONING UNITS IN THE SIDE YARD UNDER CERTAIN CONDITIONS.

#### **Article 4, Section 4.03 – Accessory Structure Standards**

This Accessory Structure Standards section applies to the following districts:

R1)R1A)R2)R3)R4)R5)R6)R7]R8(TZ1)

The following accessory structure standards apply:

- A. <u>Front and Side Open Space Limitations</u>: No <u>accessory buildings</u> or structures shall be erected in the required front open space or side open space, except as may otherwise be provided in this section.
- B. Rear Open Space Limitations: Accessory buildings or structures may occupy a portion of the rear open space. They shall be at least 3 feet from any <u>lot</u> line, except as otherwise provided in this Article. If a lot has frontage on 2 <u>streets</u> so that the <u>rear lot line</u> abuts the street, accessory buildings or structures shall be set back from the rear lot line the same distance required in each two-page layout in <u>Article 2</u>, as a front <u>setback</u> for lots fronting on the street. An accessory building is not permitted closer to a <u>principal building</u> on an adjoining lot than the sum of the minimum required side setbacks as determined in Section 4.74(C).
- C. <u>Corner Lots</u>: On corner lots where a rear open space abuts a front or side open space, accessory buildings or structures on a corner lot shall have a minimum setback of 5 feet from the rear lot line.
- D. <u>Setback from Principal Building</u>: An accessory building or a swimming pool shall not be closer than 10 feet to the principal building located on the same lot.
- E. <u>Satellite Antennas</u>: Satellite antennas are permitted only in the rear open space. They are prohibited on the roof of any principal building or accessory building. They are limited to a maximum of 15 feet in height above <u>grade</u> and a minimum of 3 feet from the rear and <u>side lot</u> lines.
- F. <u>Basketball Apparatus</u>: A basketball apparatus may be placed within the required front open space and side open space of a single-family residential lot and only in conformance with the following conditions:
  - 1. No more than 1 basketball backboard, either garage or pole-mounted, may be located in the required front or side open space.
  - 2. A single basketball backboard may be mounted directly on the garage.

- 3. A single, pole-mounted backboard may be located only within the one-third of the required front open space or side open space nearest the dwelling and contiguous to the driveway.
- G. <u>Maximum Building Height</u>: The maximum <u>eave</u> height on all accessory structures shall not exceed 12 feet. The maximum building heights for accessory structures are as follows:
  - 1. Gable, hip, gambrel, barrel or shed roofs:
    - a. R1A, R1: 15.5 feet to midpoint
    - b. R2: 15 feet to midpoint
    - c. R3: 14.5 feet to midpoint
    - d. The roof line on gambrel and barrel roofs may not project more than 2 feet past an imaginary plane drawn from the eave to the highest point on the roof. The highest point on an accessory structure with a shed roof must face the interior of the lot on which it is located.
  - 2. Flat roofs:
    - a. R1A, R1: 12 feet
    - b. R2: 12 feet
    - c. R3: 12 feet
- 3. Mansard roofs:
  - a. R1A, R1: 15.5 feet to deck line
  - b. R2: 15 feet to deck line
  - c. R3 14.5 feet to deck line
- H. <u>Area</u>: The maximum area of the first floor of any accessory structure or accessory structures in combination shall not exceed 10% of the lot area or 600 square feet in R1 and R1A, 550 square feet in R2, or 500 square feet in R3, whichever is less. Outdoor living area is prohibited above the first story on any accessory structure.
- I. <u>Proportionality Between Accessory Structures and Principal Structures</u>: The height of an accessory structure must be lower than the height of the principal structure on the same lot. The total area of habitable space in an accessory structure must not exceed 75% of the total area of habitable space in the principal structure on the same lot.
- J. <u>Dormers</u>: Dormers on accessory structures are limited to 50% or less of the width of the roof per elevation or a 10 foot interior dimension, whichever is greater. Dormers may not exceed the height of the roofline from which they are projecting. Dormers are not permitted on accessory structures with gambrel, barrel, flat or mansard roofs.
- K. <u>Windows</u>: On elevations adjacent to abutting property lines, a maximum of 8 square feet of glazing area is permitted per elevation on the second level of an accessory structure if located less than 6 feet above the floor of the second level of the accessory structure. Unlimited glazing is permitted if located at least 6 feet above the floor of the second level of the accessory structure.
- L. <u>Exterior Staircases</u>: Above grade exterior staircases are prohibited on accessory structures.
- M. <u>Air Conditioning Units</u>: Air conditioning units will not be included in lot coverage calculations and may be permitted in the side yard under the following conditions:
  - a) Subject to all applicable codes and building permits.
  - b) The unit must be a minimum 3 ft. from the property line.
  - c) The unit must be screened from street view and the abutting property by privacy fence, landscaping or landscape fence.

d) Non-conforming air conditioning units may be continued, maintained a replaced provided the area occupied or devoted to such use is of similar size.	and

ORDAINED this publication.	day of	, 2022 to become effective 7 days after
Therese Longe, Mayor		
Alex Bingham, City Cle	rk	

## **Appendices**

Appendix 1: Ordinance No. 1231 City of Ferndale Oakland County, Michigan Appendix 2: O-02-21 An Ordinance of the Council of the City of Berkley, Michigan

#### ORDINANCE NO. 1231

#### CITY OF FERNDALE OAKLAND COUNTY, MICHIGAN

AN ORDINANCE TO AMEND ARTICLE IX., SECTION 24-193 TO THE ZONING ORDINANCE, ORDINANCE NO. 1087, OF THE FERNDALE CODE OF ORDINANCES.

#### THE CITY OF FERNDALE ORDAINS:

#### Part I.

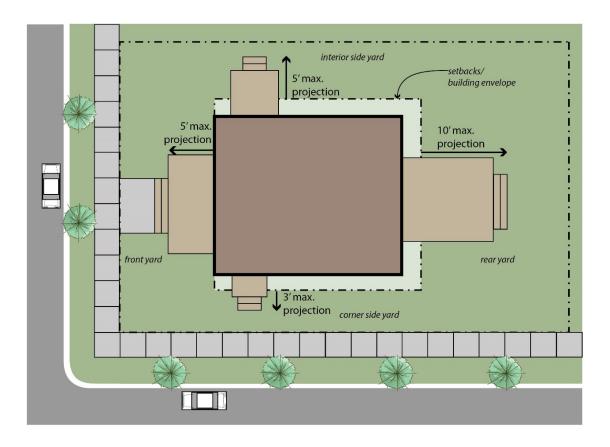
The City of Ferndale Zoning Ordinance, being Ordinance No. 1087, Article IX., Section 24-193 is amended as follows:

### Sec. 24-193. – Projections into yards.

a) Certain features may project into the required yard setbacks in accordance with the following table.

Permitted Projections into Required Yards				
Projection	Front Yard	Rear Yard	Interior Side Yard	Corner Side Yard
ADA Ramps and Structures	Permitted in any yard provided the location meets ADA and other applicable ordinances			
Architectural Features	3 ft.	3 ft. 2 in. per 1 ft. of setback		t. of setback
Awnings and Canopies	3 ft.	3 ft.	5 ft.	5 ft.
Balconies	5 ft. from any lot line unless denied by the public right-of-way governing body			
Flagpoles	3 ft. from any lot line			
Gardens and Landscaping	Permitted in any yard			
Laundry Drying Equipment	Not permitted	5 ft. from any lot line Not pe		Not permitted

Light Standard, Ornamental	Permitted in any yard			
Mechanical Equipment such as HVAC	Not permitted	See (b) below	See (b) below	Not permitted
Paved Terraces and Decks	3 ft. from any lot line			
Unroofed Porches, Stoops, Stairways and Steps	5 ft.	10 ft.	5 ft.	3 ft.
Window Wells	Not permitted	3 ft.	3 ft.	Not permitted
Window Air Conditioning Units	Not permitted	3 ft.	3 ft.	Not permitted



b) Equipment used for central air conditioning, heating or water filtration purposes and installed outside of single-family or two-family dwellings and their attached structures shall be located in the rear yard. The community development department may allow units to be located within the side yard in those instances where such location does not adversely impact an abutting dwelling, conditioned upon screening of the equipment with appropriate landscaping to reasonably conceal the equipment from view.

c) Any walk, terrace, patio or other pavement or surface less than six inches above grade shall not be considered to be a structure and is permitted in any required yard. No more than 30 percent of the front yard area of any residentially zoned lot shall be paved.

# Part II. Savings Clause.

All proceedings pending and all rights and liabilities existing, acquired or incurred at the time this ordinance takes effect are saved and may be consummated according to the law enforced when they are commenced.

# Part III. Severability.

The various parts, sections and clauses of this ordinance are declared to be severable. If any part, sentence, paragraph, section or clause is adjudged unconstitutional or invalid by a court of competent jurisdiction, the remainder of the ordinance shall not be affected.

# Part IV. Repeal.

All regulatory provisions contained in other city ordinances which are inconsistent with the provisions of this ordinance, are repealed.

#### Part V. Effective Date; Publication.

This ordinance shall become effective seven (7) days after publication.

MADE, PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF FERNDALE, OAKLAND COUNTY, MICHIGAN, THIS 11th DAY OF JUNE, 2018.

DAVID COULTER, MAYOR

MARNE MCGRATH, CITY CLERK

Date of Adoption: 6/11/2018

Date of Publication: 6/13/2018

#### **CERTIFICATE OF ADOPTION**

I certify that the foregoing is a true and complete copy of the Ordinance passed at a meeting of the Ferndale City Council held on the 11<sup>th</sup> day of June, 2018.

MARNE MCGRATH, CITY CLERK

# CITY OF FERNDALE NOTICE OF ADOPTION ORDINANCE 1231

The City of Ferndale has adopted Ordinance No. 1231 amending Article IX., Section 24-193 to the Ferndale Zoning Ordinance, Ordinance No. 1087. This Ordinance shall become effective seven (7) days after publication. A true copy of the ordinance may be inspected or obtained at the office of the City Clerk.

MARNE MCGRATH, CITY CLERK

# AN ORDINANCE

Of the Council of the City of Berkley, Michigan

Adding Division 1.5 of Article III, General Provisions of Chapter 138, Zoning,

Of the City of Berkley Code of Ordinances

To Define and Regulate Exterior Appliances

And Provide Penalties for Violations

#### THE CITY OF BERKLEY ORDAINS:

**SECTION 1:** Add new Division 1.5, Exterior Appliances, to Article III, General Provisions, in Chapter 138 of the Berkley Code of Ordinances, as follows:

## **Division 1.5. Exterior Appliances**

### **Sec. 138-71. Purpose**

The purpose of this division is to promote the public health, safety and welfare by regulating the manner and location of exterior appliances on residential and commercial properties in the city. For purposes of this division, the following definitions shall apply.

#### Sec. 138-72. - Definitions

Air Conditioning Unit: The central air conditioning system located on the exterior of a building including a compressor, fan, condenser coil, evaporator coil and a refrigerant.

Power Generator: A stationary device, such as a reciprocating internal combustion engine or turbine that serves solely as a secondary source of mechanical or electrical power whenever the primary energy supply is disrupted or discontinued during power outages or natural disasters. A power generator may operate during power interruptions or during regularly scheduled testing.

Exterior Appliance: Mechanical equipment located on the exterior of a residential or commercial building. Such types of equipment shall include air conditioning condenser unit, power generators, and any noise producing mechanical system components located at the exterior of a building. Exterior appliances specific to swimming pools are subject to the regulations in Section 138-59.

#### Sec. 138-73. - Location

Exterior appliances are prohibited from being located in the front yard or within a recorded easement or right-of-way that would prohibit, hinder or disrupt utilities, drainage, access, etc.

### (a) Residential.

- 1. Power Generators and other exterior appliances shall be located in the rear yard at least six (6) feet from side property line.
- 2. Air Conditioning Units may be permitted in the side yard under the following conditions:
  - a. The unit must be at least 18 inches from side property line;
  - b. The unit must be at least 12 feet from adjacent dwelling;
  - c. The unit must be screened on at least three (3) sides by opaque fencing or landscaping, measuring at least four (4) feet in height from grade.
    - 1. The principal structure may be considered one side of screening.
    - 2. Screening must be provided from street view and facing the closest adjacent property.
    - 3. Chain link fencing is not permissible as a screening material for exterior appliances.

### (b) Nonresidential.

#### 1. At Grade.

- a. Exterior appliances shall be at least five (5) feet from a property line.
- b. Power Generators shall be enclosed in a sound-attenuating enclosure, if located adjacent to residential property.
- c. Exterior appliances shall be screened on at least three (3) sides with opaque fencing or landscaping, measured at least four (4) feet in height from grade.
  - 1. The principal structure may be considered one side of screening.
  - 2. Screening must be provided from street view and facing the closest adjacent property.
  - 3. Chain link fencing is not permissible as a screening material for exterior appliances.

# 2. Rooftop.

a. Exterior appliances located on the rooftop of commercial buildings shall be screened so as to not be visible from street level. Screening materials shall be consistent with the color, materials, design and aesthetic of the building.  The Planning Commission may modify location of the exterior appliances on nonresidential properties during site plan review, if the applicant can demonstrate an alternative location does not negatively impact adjacent properties, pedestrian or vehicular traffic.

#### Sec. 138-74. – Restrictions.

Generator testing shall be permitted Monday – Friday, 9:00am – 6:00pm.

# Sec. 138-75. – Non-Conforming Exterior Appliances.

Non-conforming exterior appliances include appliances that were lawfully installed but are no longer in compliance with the provisions of this chapter.

Non-conforming exterior appliances may be continued, maintained and replaced provided there is no increase or enlargement of the area occupied or devoted to such use.

If the structure that is served by a non-conforming exterior appliance is damaged or partially destroyed by less than 50 percent of its market value, the exterior appliance may be restored and its previous use continued. If the structure that is served by a non-conforming exterior appliance is damaged or partially destroyed by 50 percent or more than 50 percent of its market value, then any restoration or new construction must comply with all current building and zoning codes.

# Sec. 138-76. – Permits required.

Permits are required for the installation of exterior appliances.

## **SECTION 2:** Severability Clause

Should any word, phrase, sentence, paragraph, or section of this Ordinance be held invalid or unconstitutional, the remaining provisions of this ordinance shall remain in full force and effect.

### **SECTION 3:** Penalty

All violations of this ordinance shall be municipal civil infractions and upon a determination of responsibility therefore shall be punishable by a civil find or not more than \$500, and/or such other sanctions and remedies as prescribed in Article IX of Chapter 82 of the Code of Ordinances.

## **SECTION 4:** Effective Date

This Ordinance shall become effective 30 days following the date of adoption.

# **SECTION 5:** Publication

The City Council directs the City Clerk to publish a summary of this ordinance in compliance with Public Act 182 of 1992, as amended, and Section 6.5 of the Berkley City Charter.

Introduced on the First Reading at the Regular City Council Meeting on Monday, February 1, 2021.

Passed on the Second Reading at the Regular City Council Meeting on Monday, March 1, 2021.

	Daniel J. Terbrack
	Mayor
Attest:	
Victoria Mitchell	
City Clerk	

# City Of Birmingham Regular Meeting Of The Planning Board Wednesday, April 13, 2022

City Commission Room 151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on April 13, 2022. Chair Scott Clein convened the meeting at 7:30 p.m.

#### A. Roll Call

**Present:** Chair Scott Clein; Board Members, Stuart Jeffares, Bert Koseck, Daniel Share,

Janelle Whipple-Boyce; Alternate Board Member Nasseem Ramin; Student

Representative MacKinzie Clein

Absent: Board Members Robin Boyle, Bryan Williams; Alternate Board Member Jason

Emerine; Student Representative Andrew Fuller

#### **Administration:**

Nick Dupuis, Planning Director Leah Blizinski, City Planner Bruce Johnson, Building Official Jeff Zielke, Assistant Building Official

#### 04-86-22

B. Approval Of The Minutes Of The Regular Planning Board Meeting Of March 23, 2022 And The Special Meeting Of The Planning Board on March 31, 2022

#### Motion by Mr. Share

Seconded by Ms. Whipple-Boyce to approve the minutes of the Regular Planning Board meeting of March 23, 2022 as submitted.

# Motion carried, 6-0.

VOICE VOTE

Yeas: Share, Whipple-Boyce, Clein, Jeffares, Koseck, Ramin

Nays: None

## Motion by Mr. Jeffares

Seconded by Ms. Whipple-Boyce to approve the minutes of the Special Planning Board meeting of March 31, 2022 as submitted.

#### Motion Carried, 5-0.

**VOICE VOTE** 

Yeas: Jeffares, Whipple-Boyce, Clein, Ramin, Share

Nays: None Abstain: Koseck

04-87-22

#### C. Chair's Comments

Chair Clein welcomed everyone to the meeting and reviewed the meeting's procedures.

04-88-22

D. Review Of The Agenda

04-89-22

**E. Unfinished Business** 

None.

04-90-22

F. Rezoning Applications

None.

04-91-22

G. Community Impact Study

None.

04-92-22

- H. Site Plan & Design Review
  - 1. 191 N. Chester 191 N. Chester OneStream Request for new dumpster enclosure (WITHDAWN)

04-93-22

I. Special Land Use Permit

None.

04-94-22

J. Site Plan & Design Review

None.

04-95-22

- K. Study Session
  - 1. Outdoor Dining Public Hearing

PD Dupuis explained that the public hearing was not noticed for the meeting and thus, could not be held.

Chair Clein requested that language requiring any extensions in front of neighboring property have the subsequent agreements between property owner(s) affected to be re-submitted each year.

### Motion by Mr. Share

Seconded by Mr. Koseck to set a public hearing date of May 11, 2022 to consider amendments to the outdoor dining standards.

### Motion carried, 6-0

**VOICE VOTE** 

Yeas: Share, Koseck, Clein, Jeffares, Ramin, Whipple-Boyce

Nays: None

Mr. Koseck requested clarification on noticing for ordinance public hearings.

# 2. Side Yard A/C Units – Study Session

CP Blizinski introduced the item.

Mr. Koseck asked if a/c units are permitted in the side setback, and clarified that a/c units are not allowed in the required side yard open space, but are permitted in the side yard if space permits.

BO Johnson stated that a/c units are considered accessory structures and confirmed Mr. Kosecks statement regarding placement in side setbacks versus required side yards.

In response to Chair Cleins request to state the proposed ordinance language, CP Blizinski read the proposed language to the board.

Mr. Share asked about efficiency ratings and how efficiency may relate to the noise produced by a unit. He continued on to state that he has concerns regarding different components and styles of heating and cooling systems and how the proposed ordinance language would regulate equipment that may not be considered a traditional a/c unit.

BO Johnson stated background information regarding the issue and the concerns that the proposed ordinance was written to resolve. He explained that in the event that an existing nonconforming side yard a/c unit were to fail during the high temperature summer, the process to either (1) move the a/c unit to the rear yard to comply with current ordinance or (2) seek a variance from the Board of Zoning Appeals could prove to be uncomfortable and in some cases danger to residents.

Ms. Whipple-Boyce expressed concerns regarding consistent regulation with the proposed ordinance and how it would be applied in different conditions.

Chair Clein asked for clarification as to what issue the board is trying to solve based on the proposed language provided by staff.

CP Blizinski clarified that the proposed ordinance language was based on her research into how adjacent communities regulate a/c units and their placement in the side yard. She stated that the explicit issue was to allow nonconforming a/c units to be replaced, but that her research findings suggested that there was an opportunity to permit a/c units in the side yard open space based on technological improvements that reduce noise and to promote efficiency.

Mr. Koseck stated that he feels that despite the technological advancements, the noise is still an issue with a/c units and feels as though a/c units are better placed in the rear yard. However, he is in favor of allowing homeowners to replace existing units in the side yard.

The board discussed the issues with bringing a/c units up to code during replacements including the need for new pads, connections and efficiency.

Mr. Jeffares added that there is also a potential requirement for other items to be brought up to code during a/c replacement such as electrical.

The board agreed that the language should be brought back for further study based on comments from the review.

# **Public Comment**

Patrick Hillberg, resident, explained that he originated the concern that predicated this review, and that he has major concerns regarding public health and comfort during heat waves that are related to the speed at which a/c units can be replaced.

# 3. Barrier-Free Ramps - Study Session

PD Dupuis introduced the item.

Mr. Share asked if the reference to the residential building code would be adequate in regulating the size and location of the ramp.

Chair Clein, Mr. Share and Staff clarified that this proposed ordinance prevents any unintended consequences relating to accessibility ramps and excessive projections into the front or rear yard, and suggested adding width requirements to the language to prevent unnecessarily wide ramps.

#### Motion by Mr. Share

Seconded by Mr. Koseck to set a public hearing date of May 11, 2022 to amend Article 4, Section 4.30, Open Space Standards, to add language to permit accessibility ramps in the required open space.

#### Motion carried, 6-0

VOICE VOTE

Yeas: Share, Koseck, Clein, Jeffares, Ramin, Whipple-Boyce

Nays: None

# 4. Front Yard Setbacks - Study Session

PD Dupuis introduced the item.

Ms. Whipple-Boyce commended the ordinance and was supportive of the change. She went on to ask if there is anything that can be done to address homes that are currently being built under the current standards.

Mr. Koseck asked how the front lot line is determined.

#### **Public Comment**

Cindy Rose, resident, thanked the Planning Board for looking into the item and was supportive of the new language.

### Motion by Ms. Whipple-Boyce

Seconded by Mr. Koseck to set a public hearing date of May 11, 2022 to amend Article 2, Sections 2.04, 2.06, 2.08 and 2.10 to modify the minimum front yard setback requirement.

### Motion carried, 6-0

VOICE VOTE

Yeas: Whipple-Boyce, Koseck, Clein, Jeffares, Ramin, Share

Nays: None

Mr. Koseck stated that based on his experience working with our ordinance, he was very glad to see some of these things are being cleared up.

04-96-22

#### L. Miscellaneous Business and Communications

#### 1. Pre-Application Discussions

#### i. 115 Willits - Mare

PD Dupuis summarized the item and asked the Board what the application process should be for the proposed pergola.

Antonino Cutraro, owner of Bella Piatti and Mare Mediterranean, detailed the proposed pergola and explained that the impetus for the proposal was weather-based.

The Board discussed the construction of the pergola and the attachments that would be required to secure the pergola.

The Board recommended Administrative Approval for the basic black table umbrellas, but asked that the pergola proposal be brought before the Board through a Special Land Use Permit Amendment.

## 2. Communications

i. Joint Meeting with City Commission – Monday April 18, 2022

The Board clarified that this meeting is only to discuss the 2040 Plan.

- 3. Administrative Approval Correspondence
- 4. Draft Agenda
- 5. Other Business
  - i. Action List 2022

04-97-22

# L. Planning Division Action Items

- a. Staff Report on Previous Requests
- b. Additional Items from tonight's meeting

04-98-22

# M. Adjournment

No further business being evident, the Chair adjourned the meeting at 9:03 p.m.

Nick Dupuis Planning Director



#### **AGENDA**

# REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD

**WEDNESDAY JUNE 22, 2022 – 7:30 PM** 

#### 151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI $^{\star}$

Per the CDC, Oakland County has a COVID-19 Community level and transmission level of HIGH. The City continues to highly recommend the public wear masks while attending City meetings per CDC guidelines. These precautions are due to COVID-19 transmission levels remaining high in Oakland County that have led to an increase in infections of City employees and board members. All City employees, commissioners, and board members must wear a mask while indoors when 6-feet of social distancing cannot be maintained. This is to ensure the continuity of government is not affected by an exposure to COVID19 that can be prevented by wearing a mask. The City continues to provide KN-95 respirators and triple-layered masks for all in-person meeting attendees.

- A. Roll Call
- B. Review and Approval of the Minutes of the Regular Meeting of June 8, 2022
- C. Chairpersons' Comments
- D. Review of the Agenda
- E. Unfinished Business
- F. Rezoning Applications
  - 1. Watkins/Brown Property (No address, Parcel Identification Number: 1936151027) Request to rezone property from R8 to R2.
- G. Community Impact Studies
- H. Special Land Use Permits
  - 1. 460 N. Old Woodward Wilders Request for new bistro and associated exterior renovations.
  - 2. 115 Willits Mare Mediterranean Request for changes to outdoor dining plan.
- I. Site Plan & Design Reviews
  - 1. 300 W. Merrill Baldwin Public Library Request for new addition.
  - 2. 460 N. Old Woodward Wilders Request for new bistro and associated exterior renovations.
  - 3. 115 Willits Mare Mediterranean Request for changes to outdoor dining plan.
  - 4. 35106 Woodward Whole Dental Wellness Request for addition to rear of existing commercial building.
- J. Study Session
- K. Miscellaneous Business and Communications:
  - 1. Pre-Application Discussions
  - 2. Communications
  - 3. Administrative Approval Correspondence
  - 4. Draft Agenda July 13, 2022
  - 5. Action List 2022
  - 6. Other Business
- L. Planning Division Action Items
  - 1. Staff Report on Previous Requests
  - 2. Additional Items from Tonight's Meeting
- M. Adjournment

Link to Access Virtual Meeting: <a href="https://zoom.us/j/111656967">https://zoom.us/j/111656967</a>

Telephone Meeting Access: 877-853-5247 US Toll-Free

Meeting ID Code: 111656967

NOTICE: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un dia antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

<sup>\*</sup>Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:



## **AGENDA**

# REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD

**WEDNESDAY JULY 13, 2022 - 7:30 PM** 

#### 151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI\*

Per the CDC, Oakland County has a COVID-19 Community level and transmission level of HIGH. The City continues to highly recommend the public wear masks while attending City meetings per CDC guidelines. These precautions are due to COVID-19 transmission levels remaining high in Oakland County that have led to an increase in infections of City employees and board members. All City employees, commissioners, and board members must wear a mask while indoors when 6-feet of social distancing cannot be maintained. This is to ensure the continuity of government is not affected by an exposure to COVID19 that can be prevented by wearing a mask. The City continues to provide KN-95 respirators and triple-layered masks for all in-person meeting attendees.

- A. Roll Call
- B. Review and Approval of the Minutes of the Regular Meeting of June 22, 2022
- C. Chairpersons' Comments
- D. Review of the Agenda
- E. Unfinished Business
- F. Rezoning Applications
- G. Community Impact Studies
- H. Special Land Use Permits
- I. Site Plan & Design Reviews
- J. Study Session
  - 1. Outdoor Dining
  - 2. Window Standards
  - 3. Food Trucks
  - 4. Social Districts
  - 5. Leaf Blowers
- K. Miscellaneous Business and Communications:
  - 1. Pre-Application Discussions
  - 2. Communications
  - 3. Administrative Approval Correspondence
  - 4. Draft Agenda July 27, 2022
  - 5. Action List 2022
  - 6. Other Business
- L. Planning Division Action Items
  - 1. Staff Report on Previous Requests
  - 2. Additional Items from Tonight's Meeting
- M. Adjournment

Link to Access Virtual Meeting: <a href="https://zoom.us/j/111656967">https://zoom.us/j/111656967</a>

Telephone Meeting Access: 877-853-5247 US Toll-Free

Meeting ID Code: 111656967

NOTICE: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un dia antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

<sup>\*</sup>Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

# Planning Board Action List – 2022 (Approved)

Topic General Goals	Gonoral Goals	City Commission	Quarter	Status	
	Directive?	Quarter	In Progress	Complete	
2040 Master Plan	Adopt a new comprehensive master plan.	$\boxtimes$	Ongoing	$\boxtimes$	
Outdoor Dining	Study the Outdoor Dining Ordinance re: enclosures, expansions, etc.	$\boxtimes$	1 <sup>st</sup> (January-March)	$\boxtimes$	
Window Standards (Glazing)	Update window standards to help support building renovation and the Energy Code requirements.		1 <sup>st</sup> (January-March)	$\boxtimes$	
Barrier-Free Ramps	Reduce unintentional restrictions on handicap ramps in the front setbacks.		2 <sup>nd</sup> (April-June)	$\boxtimes$	
Side Yard A/C	Update the ordinance to address issues with side yard a/c units.		2 <sup>nd</sup> (April-June)	$\boxtimes$	
Front Setback Rules	Consider revisions to the setback ordinances in R1-R3 to address 200 ft. calculations rule.		3 <sup>rd</sup> (July-September)	×	
Lighting Standards	Remove conflicting regulations regarding photometric plans.		3 <sup>rd</sup> (July-September)		
Impervious Surface Definition	Clarify definition to promote the infiltration of storm water.		4 <sup>th</sup> (October-December)		
Health Club/Studio Use	Consider allowing health/fitness type activities in more areas of the City.		4 <sup>th</sup> (October-December)		

Next Up...

Tonio	General Goals	City Commission	Quarter	Status	
Topic	General Goals	Directive?	Quarter	In Progress	Complete
Dumpster Enclosures	Expand the materials permitted/not permitted in dumpster enclosures.		-		
Balcony/Terrace Enclosures	Clarify and add regulations for the enclosure of outdoor living space.		-		
Lot Combination Process	Review the process for lot combinations to add clarity to approval standards.		-		
Mixed Use Requirements	Consider changing the requirements for the stacking of mixed uses.		-		
Review Processes for Public Projects	Clarify review process for projects on public property.		-		
SLUP Application Process	Clarify the SLUP process in terms of the order of board/commission review.		-		
Retail Definition	Revisit the retail definition to address any concerns about first floor uses.		-		
Medical Marijuana & CBD	Update the Zoning Ordinance to help regulate Medical Marijuana and CBD through ordinance language.		-		
Sustainability Initiatives	Prepare a sustainability agenda to increase Birmingham's resilience.		-		
Lighting Standards	Review lighting standards for residential districts to reduce light pollution and nuisance.		-		
Landscaping Standards	Consider amendments to permit synthetic planting materials.		-		
Social Districts	Study the state regulations and the City to help draw district boundaries.	$\boxtimes$	-		
Food Trucks	Study the application of food trucks in the City in terms of locations, restrictions, etc.		-		
Leaf Blowers	Study the potential to restrict leaf blowers in regards to noise/pollution		-		

Stories in the Triangle District	Define the mixed-use requirements in the Triangle District to receive bonusstories.		-		
----------------------------------	---	--	---	--	--