

THIS AGENDA SHALL SERVE AS NOTICE FOR THE **REGULAR MEETING** OF THE VILLAGE OF RIB MOUNTAIN BOARD OF TRUSTEES, WHICH IS TO BE HELD ON **MAY 20, 2025, MEETING AT 6:00 P.M. AT THE VILLAGE OF RIB MOUNTAIN MUNICIPAL CENTER, 227800 SNOWBIRD AVENUE**. SAID MEETING SHALL BE CALLED IN ACCORDANCE WITH WIS. STATS. § 19.83 AND § 19.84. OTHER COMMISSIONS AND COMMITTEES OF THE VILLAGE MAY ATTEND FOR PURPOSES OF GATHERING INFORMATION. SUBJECT MATTER FOR CONSIDERATION AND POSSIBLE ACTION FOLLOWS:

- 1) Call to Order – Pledge of Allegiance – Roll Call
- 2) Comments From the Public Related to Agenda Items
- 3) Discussion and Action on the Minutes of the [5/6/25 Regular Meeting](#)
- 4) Acknowledgement of [May 14, 2025, Plan Commission Minutes](#)
 - a) [Docket #2025-006](#): Discussion and action for a detached accessory structure exceeding 1,000 sq./ft. (RMMC section 17.3.03.6(1.3)) at 219321 County Road KK.
 - b) [Docket #2025-007](#): Discussion and action on a request for a Zoning Map Amendment of 0.692 acres to Planned Development (PD) (Ord. #2025-01) and General Development Plan (RMMC Section 17.8.11) located at 226904 Rib Mountain Dr.
 - c) [Docket #2025-009](#): Discussion and action on a conditional use permit for a detached accessory structure exceeding 1,000 sq./ft. (RMMC section 17.3.03.6(1.3)) at 152850 Cloverland Ln.
 - d) [Docket #2025-012](#): Discussion and action on a conditional use permit for a Unique Sign (RMMC section 17.6.04(10)) located in Village right-of-way near 152630 Menton Ln.
 - e) [Docket #2025-008](#): Discussion and action on a Zoning Text Amendment (Ord. #2025-03) to Section 17.3.03.3(15) Outdoor Entertainment and Recreation modifying and adding to the Conditional Use Regulations.
 - f) [Docket #2025-013](#): Discussion and action on a Future Land Use map amendment (Ord. #2025-04) from Suburban Neighborhood to Outdoor Commercial Recreation at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992.
 - g) [Docket #2025-011](#): Discussion and action on a Zoning Map Amendment of 4.899 acres from Rural Neighborhood (RN) to Outdoor Recreation/Preservation (OP)(Ord. #2025-02) (RMMC Section 17.8.06) located at 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992.
 - h) [Docket #2025-010](#): Discussion and action on a conditional use permit for Outdoor Entertainment (RMMC section 17.6.04(10)) at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992, PIN # 168-2807-082-0997, PIN # 168-2807-071-0989, PIN # 168-2807-071-0991, and PIN # 168-2807-071-0993.
- 5) Discussion and Action on [Awarding Bid for Lilac Avenue Reconstruction Project](#)
- 6) Discussion and Action on [Approval of Estimated Special Assessments for Lilac Avenue and Valley Inn Way](#)
- 7) Discussion and Action on [Approval Engineering Amendment for Construction Phase Services for Lilac Avenue Project](#)
- 8) Discussion and Action on [Administrator's 2025 Goals](#)
- 9) Discussion and Action on [Updates to Strategic Priorities](#)
- 10) Discussion and Action on [Direct Seller's Permit](#)
- 11) Reports by Board Members, [Outside Agencies, Attorney and Staff](#)
- 12) Commission & Committee Reports
- 13) General Comments
- 14) Adjourn

Allen Opall (GR)

5/16/2025

Village President

Date

Attendees may also join the meeting virtually: <https://zoom.us/j/98816294558> or by phone at (312) 626-6799 with Meeting ID 988 1629 4558. If you require special accommodations, please contact the Village of Rib Mountain at (715) 842-0983.

Village Board

Meeting Minutes

May 6, 2025

Call to Order – Pledge of Allegiance – Roll Call

The meeting of the Village of Rib Mountain was called to order on May 6, 2025, at 6:07 pm by President Allen Opall. Participants stood for the Pledge of Allegiance. Roll call was conducted, Trustees present included Gerry Klein, and Fred Schaefer. Brad Conklin and Cory Sillars were excused. Also, staff members were present: Administrator Gaylene Rhoden, Community Development Director Jared Grande, Finance Director Ben Krenke, Water Utility Director Mike Heyroth, and Clerk Lynnae Kolden.

On May 2, 2025, copies of the meeting notice were made available to the media, Village Board, Village Attorney, SAFER Fire Department, posted at the Rib Mountain Water Utility, Rib Mountain Municipal Center, and on the Village website.

Comments From the Public Related to Agenda Items

Barbara Newton, 149224 Canvasback Ln, expressed concerns about drainage issues on her neighbor's property. She mentioned that despite efforts by Public Works to address the problem, it persists. She highlighted the impact on her family's ability to enjoy their outdoor space due to mosquitoes.

Pat Arens, 224922 Mint Ln, raised concerns about excessive burning by a neighbor. She described the negative impact on her quality of life, including smoke entering her home and inability to use her screened porch. Ms. Arens expressed worry about fire safety and requested the implementation of burning restrictions.

Trustee Schaefer and Administrator Rhoden acknowledged the concerns and mentioned that they will discuss the issue with Fire Chief Josh, noting the current high fire risk.

Discussion and Action on the Minutes of the 4/15/25 Regular Meeting

Motion by Schaefer/Klein to approve the minutes of April 15, 2025, regular meeting.

Motion passed 3/0. The motion carried unanimously.

Discussion and Action on Continuation of Recruiting Services

Administrator Rhoden introduced Mark from McMahon Associates to discuss the continuation of recruiting services for the Village Public Works Director position. Mark explained the challenges in the current job market and outlined new strategies being employed, including the use of AI-powered talent search technology. He reported that they had identified 65 potential candidates, narrowed down to 12 with local ties.

Trustees expressed concerns about the lack of success so far and the additional costs incurred. Mark emphasized the competitiveness of the salary range and the difficulties in finding candidates willing to relocate.

Trustee Klein suggested exploring alternative recruitment methods or companies. After discussion, a motion was made to continue the recruiting services.

Motion by Opall/Schaefer to continue the recruiting services.

Motion passed 2/1, with Trustee Klein opposing.

Discussion and Action on Contract for Services with Ehlers for Fire Fee Study

Administrator Rhoden brought forward from the Finance & Economic Committee meeting the information on a proposed contract with Ehlers for a fire fee study. She explained that the study would explore options for funding fire services, including potentially charging non-profits and other entities that currently do not pay property taxes.

The board discussed the potential benefits of implementing a fire fee, including more equitable distribution of costs and transparency in budgeting. Administrator Rhoden noted that the study results would likely be available in the first quarter of the following year, with potential implementation in 2027.

Motion by Schaefer/Klein to approve the Ehlers Agreement for the fire fee study.

Motion passed 3/0. The motion carried unanimously.

Discussion and Action on Weights & Measures Agreement

Administrator Rhoden explained that due to the village's recent incorporation, they now need to contract with DATCP (Department of Agriculture, Trade and Consumer Protection) for weights and measures services. She noted that while the agreement needs to be signed by July 1, the associated costs would not be incurred until fall 2026.

Motion by Schaefer/Klein to approve the recommendation of the finance committee regarding the weights and measures agreement.

Motion passed 3/0. The motion carried unanimously.

Discussion and Action on Sign Placement Project

Community Development Director Jared Grande presented an update on the sign placement project. He noted that the new signs being produced are 5 feet wider than originally anticipated, which has created some placement challenges. Grande discussed specific location issues, particularly on the north side of Rib Mountain Drive.

The board discussed potential solutions, including raising the signs and using the existing landscaping. They also touched on the possibility of future sculpture placements near the signs. The locations for possible sculptures would be at NN & Rockery if ever decided on in the future. Trustee Schaefer mentioned adding an additional sign at Foxglove "Welcome to the Greater Rib Mountain Area". No formal action was taken, but the board provided direction to staff to proceed with the current sign installations as planned.

No motion staff given direction.

Discussion and Action on Seasonal Public Works Hires

Finance Director Ben Krenke presented the names of two returning seasonal public works staff and one yard waste site attendant for approval. He confirmed that all candidates had passed their background checks.

Motion by Schaefer/Klein to approve the hiring of Ashton Meyer, Tyler Wendell, and Jim Mullen. Motion passed 3/0. The motion carried unanimously.

Discussion and Action on Seasonal Recreational Hires

Administrator Rhoden presented the names of four seasonal recreational hires, including two returning staff members and two new hires. She confirmed that background checks had been completed, and that the playground director recommended approval of the new hires.

Motion by Schaefer/Klein to approve the hiring of Brook Kesi, Madeline Reinach, Taylor Kress, and Bennett Metzen. Motion passed 3/0. The motion carried unanimously.

Discussion and Action on Operator's License

Clerk Kolden reported that there were four new operator's license applications. He confirmed that background checks had been completed, and fees collected, and the clerk's department recommended approval.

Motion by Schaefer/Klein to approve all four operator's license applications.

Motion passed 3/0. The motion carried unanimously.

Reports by Staff – Year Review

Administrator Rhoden referred to the year-end reports included in the packet. She invited questions from the board, but no specific discussion followed.

Reports by Board Members, Outside Agencies, Attorney and Staff

- Trustee Schaefer raised concerns about pedestrian safety crossing County NN and suggested exploring options for improved crosswalks.
- President Opall reported on parking issues observed during a recent event at the new Mexican restaurant, which created safety hazards. The board discussed potential solutions, including temporary no-parking signs and working with the restaurant owner to arrange off-site parking for large events or shuttle services during busy events.
- Water Utility Director Mike Heyroth provided updates on ongoing water infrastructure projects, including progress on the Rib Mountain Southside treatment plant and electrical issues at a booster station.
- Community Development Director Jared Grande reported on his attendance at a retail conference and shared insights about the challenges of mixed-use developments in the current market. He also discussed ongoing efforts to address housing needs in the village.
- Finance Director Ben Krenke reported on the village's financial position, noting a surplus of \$1,068,000 in revenues over expenditures as of the end of March.

Commission & Committee Reports

Parks Meeting next week. The new toilets were installed at Doepke Park, the lighting for the Dog Park will go before the Plan commission next week. The Rotary club is looking to do a project in Rib Mountain.

Economic Finance The committee met earlier in the evening, and items were brought forward to the Village Board.

Public Works Lilac Ave PIM meeting will be on Monday May 12th from 6:00 – 7:00 pm.

Bike and Pedestrian Committee Will have a meeting next week.

General Comments

A resident raised concerns about speeding vehicles on Rib Mountain State Park Rd.

Adjourn

Motion by Schaefer/Klein to adjourn the meeting at 7:17pm

Motion passed 3/0.

Respectively submitted by Lynnae Kolden, Clerk, and minutes software.

Note: These minutes are not to be considered official until acted upon at an upcoming regular meeting, therefore, they are subject to revision.

VILLAGE OF RIB MOUNTAIN
PLANNING COMMISSION MEETING

April 14, 2025

Carrie Edmondson Vice Chair called the meeting of the Plan Commission to order at 5:00 pm. Present were Thomas Kipp, Jeanine Knapp, Cory Sillars, Tyler Tate, and Scott Pagenkopf. Also, present Community Development Director Jared Grande, Jeremy Kloos Building Inspector, Sanitary District Director Mike Heyroth, Safer Fire Chief Finke, and Safer Inspector Christiansen.

PUBLIC COMMENT: Cindy Hogan (Resident) stated that in the previous Planning Commission meeting minutes for 04/09/2025 not all individual names were noted for those who made public comments. Cindy's comment was addressed by the commission stating that the agenda item in question was a pre-application and not a public hearing, and the minutes were written in an acceptable manner. Moving forward individual names shall be included for public hearing items but not necessary for pre-application as no public comments should be part of this discussion between the applicant and the Commission.

PLANNING COMMISSION APPOINTMENTS:

*Jeanine Knapp nominated Carrie Edmondson as Chairperson seconded by Thomas Kipp
Carried 6/0*

*Carrie Edmondson nominated Tonia Westphal as Vice Chair seconded by Cory Sillars
Carried 6/0*

*Carrie Edmondson nominated Jeremy Kloos as Secretary seconded by Thomas Kipp
Carried 6/0*

MINUTES:

The commission discussed the public comment made earlier regarding the minutes from the April 9 meeting. Jared Grande explained that the reason names weren't collected for those speaking was because it wasn't a public hearing. He noted that the Village Clerk considered the minutes sufficient but would take into consideration the comments received about better addressing this going forward.

Motion by Cory Sillars seconded by Jeanine Knapp to approve 04/09/2025 regular meeting minutes as presented.

Motion carried 6/0.

Public Hearings:

a) Docket #2025-009: Discussion and recommendation on a conditional use permit for a detached accessory structure exceeding 1,000 sq./ft. (RMMC section 17.3.03.6(1.3)) at 152850 Cloverland Ln.

Community Development Director Jared Grande presented the request for a conditional use permit for a garage exceeding the square footage allowed. He noted that an existing shed would be removed upon approval of this permit. The proposed garage would match the exterior of the recently built house.

The proposed garage would be 1,488 square feet in size, which is within the 1,500 square foot maximum allowed by code due to the lot size. The garage would have 12-foot sidewalls and 10-foot garage door heights.

PUBLIC COMMENT: Ed Jensen of 226433 Kingwood Circle expressed concern about the size of the proposed structure, referring to it as a "warehouse" rather than a shed. He worried about the impact on the neighborhood, which had recently been improving.

Motion by Carry Edmondson seconded by Jeanine Knapp to approve with the conditions outlined by staff.

Motion carried 6/0.

b) Docket #2025-012: Discussion and recommendation on a conditional use permit for a Unique Sign (RMMC section 17.6.04(10)) located in Village right-of-way near 152630 Menton Ln.

Community Development Director Jared Grande presented the request for a conditional use permit for a unique sign located in the village right-of-way. He explained that the village is redoing Lilac Ave, and there's a monument sign that's been there since around 2012. The applicant is requesting to relocate the monument sign due to the Lilac Ave project.

The commission discussed the location of the sign and its visibility. Jared presented vision triangles showing that the proposed location would be safe and wouldn't cause vision impairment according to DOT requirements.

PUBLIC COMMENT: Henry Yacht, the applicant, explained that the sign is for clarity purposes, helping customers distinguish between different buildings and businesses in the area. He emphasized that they're simply moving the existing monument sign to a new location closer to the asphalt.

Motion by Scott Pagenkopf seconded by Cory Sillars to approve with the conditions outlined by staff.

Motion carried 5/1.

c) Docket #2025-008: Discussion and recommendation on a Zoning Text Amendment to Section 17.3.03.3(15) Outdoor Entertainment and Recreation modifying and adding to the Conditional Use Regulations.

Community Development Director Jared Grande presented the proposed zoning text amendment, emphasizing that while it was driven by the applicants of the following three public hearings, the review of this amendment is separate from the project itself. He explained that the amendment would change the setback requirement for outdoor entertainment and recreation from 300 feet to 100 feet. Staff has reviewed this request and based any recommendations with consideration to the greater good of the community.

The commission discussed the implications of this change, including its potential impact on existing properties like the golf course and State Park Speedway. They also debated the flexibility of the setback requirement and whether it should be a minimum or maximum.

PUBLIC COMMENT: Tom Radenz representing the applicant explained that the 100-foot setback would still be challenging for some properties, such as the golf course. He suggested considering case-by-case evaluations for setbacks.

Sherry Tanck CTY. Rd. NN. Explained that she lives directly next door to the property pertaining to this request. Concerns were expressed about what the buffer-yard requirements would be and how they would be accomplished.

Cindy Hogan Grouse Ln. questioned if a 100' setback actually works in other communities along with why in 1994 the Town now Village chose the original 300' setback.

Chad Grunderman Barberry Ct. & Labi Shabani Shrike Ave. Spoke in support of not having a one size fits all setback and consideration for silent sports activities.

Motion by Carrie Edmondson seconded by Jeanine Knapp to recommend approval to the Village Board.

Motion carried 5/1.

d) Docket #2025-013: Discussion and recommendation on a Future Land Use map amendment (RESOLUTION NO. PC-2024-01) from Suburban Neighborhood to Outdoor Commercial Recreation at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992.

Community Development Director Jared Grande presented the request for a future land use map amendment. He explained that this amendment, along with the following two agenda items, are all part of a project to redevelop State Park Speedway and surrounding properties.

Chris Ghidorzi representing the applicant spoke on how this project has gotten to this point. The concept started in 2009 with various stages of growth in 2019 to today. The overall goal is creating something special for our community.

Mike Ripiak representing the applicant, gave a detailed presentation on the proposed project. He described plans for a community trailhead with various mountain biking facilities, including pump tracks, skills areas, and event spaces. The project would also include amenities such as a bike shop, brew pub, and coffee shop. Mike states this will be a world class facility and

community trailhead. This facility will be operational 7 days a week and offer event opportunities throughout the year. Preliminary daily attendance numbers of 420-550 riders are anticipated.

PUBLIC COMMENT: Cindy Hogan Grouse Ln. Does not agree with the re-zone as there is currently a shortage of residential homes in the Village and this contradicts the comprehensive plan. People need places to live as the Village is not growing due to lack of residential property available. Some concerns were raised about the loss of residential land and the project's impact on non-outdoor enthusiasts.

Ryan Jones Buckwood Ln., Joe Mella Dragonwing Ln., Chad Grundemann Barberry Ct. Spoke in support of the project, citing its potential to attract visitors and improve quality of life for residents. Some concerns were raised about the loss of residential land and the project's impact on non-outdoor enthusiasts.

FURTHER COMMISSION DISCUSSION:

Cory Sillars would like to address the 100 acres of potential area for residential development and tax income generated if the change is made to outdoor recreation. Cory would like Staff to consult with the Village Assessor and provide information on how the Village income would be affected either good or bad.

Jared Grande offered clarification on the resolution as it is to only include the properties mentioned in the public notice and not as depicted in the zoning map in the packet. There was an additional property to the South reflecting this same change however this would come forth as a separate request in the future prior to any current zoning change on this particular property.

Motion by Carrie Edmondson seconded by Scott Pagenkopf to approve from Suburban Neighborhood to Outdoor Commercial Recreation at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd.

Motion carried 5/1.

Cory Sillars left the meeting at 6:52 PM

e) Docket #2025-011: Discussion and recommendation on a Zoning Map Amendment of 4.899 acres from Rural Neighborhood (RN) to Outdoor Recreation/Preservation (OP)(Ord. #2025-02) (RMMC Section 17.8.06) located at 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992.

Community Development Director Jared Grande presented, and the commission continued their discussion of the State Park Speedway redevelopment project, focusing on the zoning map amendment..

PUBLIC COMMENT: Chad Grundemann Barberry Ct. Expressed his support.

Motion by Jeanine Knapp seconded by Scott Pagenkopf to approve.

*Motion carried 5/0 *Cory Sillars no longer present to vote**

f) Docket #2025-010: Discussion and recommendation on a conditional use permit for Outdoor Entertainment (RMMC section 17.6.04(10)) at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992, PIN # 168-2807-082-0997, PIN # 168-2807-071-0989, PIN # 168-2807-071-0991, and PIN # 168-2807-071-0993.

Community Development Director Jared Grande presented the conditional use permit request for the outdoor entertainment and recreation facility. He outlined the proposed modified conditions, including requirements for parking studies, operational plans, and emergency action plans.

The commission discussed various aspects of the project, including the potential impact on neighbors, safety concerns, and the long-term sustainability of the facility. They also considered the economic benefits and alignment with the village's recreational goals.

PUBLIC COMMENT: John Lauer Bluegill Ave., Jim Martin Clark Ave., Andy Nenitt Firethorn Rd., Chad Grundemann Barberry Ct., Angela Engel Bellflower St. All expressed full support for the project and conditional use permit issuance.

Josh Finke SAFER Fire Chief stated that SAFER does not have the resources to respond to events at this facility. Josh informed the Commission of potential access issues for emergency response situations; Along with how the community would experience delays on emergency calls as there would simply not be enough staff to accommodate everyone.

Cindy Hogan Grouse Ln. said she is not opposed, and this would be good use of the property, however, disagrees with how the process of this proposal has been progressing and consideration of all perspectives from residents has not been made. Only a select group of supporters has been encouraged by the applicants to attend these discussions.

Jim Martin Clark Ave. Addressed Fire Chief Finke's comments on available resources stating that all bike events brought into the facility would hire a private bike patrol service for all medical and EMS situations. The facility would also have an onsite medical assistance area available during events and peak operational hours.

FURTHER COMMISSION DISCUSSION:

Carrie stated that a long-term maintenance plan for the facility would be something that should be provided as part of any approval.

Scott stated a consideration of conditioning the use of the proposed buildings located on the property be tied directly to the approved use as a biking facility. Future or continued use of the buildings should be evaluated by the Village if the facility became something other than the approved biking use.

Keith Kocourek project investor stated there is no need to add conditions or delay approval as they are under an extreme time frame to complete the purchase of private properties involved

with this development. Further delays and conditions may cause this project to not happen. Over 50% of the funding has been committed to this project already and there is a well-thought-out plan into the future on sustaining the facility.

Tyler Tate voiced concerns of mentioned grants for this project and what would happen if those grants were not issued.

Motion by Scott Pagenkopf seconded by Tyler Tate to approve as presented with the presented modified conditions.

Motion carried 5/0.

New Business:

a) Preapplication discussion and direction on potential redevelopment of a Drive Through Business at 226422 Rib Mountain Drive.

Ryan, representing the applicant, presented plans for a Raising Cane's restaurant at the location. He described the restaurant concept and addressed potential traffic concerns.

The commission expressed general support for the project, noting that it was similar to the current use of the property. They indicated that they would look at more details in a formal application, which would require a conditional use permit and site plan review. Old Business:

b) Discussion and Action on a proposed two (2) lot certified survey map in the Rural Living (RL) district at 222566 Laurel Rd.

Community Development Director Jared Grande presented a proposed two-lot certified survey map. He explained that the proposal included a private drive to provide the necessary frontage for both lots.

Nathan, the surveyor representing the applicant, provided additional details about the proposal and answered questions from the commission.

Motion by Carrie Edmondson seconded by Tyler Tate to recommend approval as depicted.
Motion carried 5/0.

c) Discussion of Volunteers for Rib Mountain Marketing Plan Project

Community Development Director Jared Grande briefly mentioned that the Village Board was looking for volunteers from the Planning Commission to participate in a marketing plan project. He encouraged commissioners to consider participating and to email him if interested.

Old Business:

a) Docket #2025-006: Discussion and recommendation for a detached accessory structure exceeding 1,000 sq./ft. (RMMC section 17.3.03.6(1.3)) at 219321 County Road KK.

Community Development Director Jared Grande presented updated information from the applicant regarding the proposed detached accessory structure. He noted that the applicant was still finalizing exact dimensions but was aware of the 2,000 square foot maximum.

*Motion by Carrie Edmondson seconded by Thomas Kipp to approve.
Motion carried 5/0.*

*** 7:49 PM Tyler Tate recused himself from the meeting as the next agenda item is pertaining to him.**

b) Docket #2025-007: Discussion and recommendation on a request for a Zoning Map Amendment of 0.692 acres from General Commercial (GC) to Planned Development (PD) (Ord. #2025-01) and General Development Plan (RMMC Section 17.8.11) located at 226904 Rib Mountain Dr.

Community Development Director Jared Grande presented updated plans for the proposed development, which now included a reduced building size and the addition of residential units above the commercial space.

Tyler Tate, the applicant, provided additional details about the project and addressed concerns about environmental impact and housing needs.

The commission discussed various aspects of the project, including its potential benefits to the community and its environmental considerations.

*Motion by Carrie Edmondson seconded by Thomas Kipp to approve from general commercial to planned development.
Motion carried 5/0.*

***Tyler Tate re-joined the Commission.**

c) Docket #2025-003: Discussion and Action on request of modification to an approved Precise Implementation Plan (17.233(6)(g)) at 151221 Baltimore Ln.

Community Development Director Jared Grande presented a request from the Park Commission to modify the approved Precise Implementation Plan for Sandy's Bark Park. The modifications included changes to lighting and park hours.

Jerry Mielbauer from the Park Commission provided additional details about the proposed changes and addressed concerns about lighting and safety.

*Motion by Jeanine Knapp seconded by Carrie Edmondson to approve.
Motion carried 5/0.*

d) Discussion on Chapter 17 Zoning Ordinance changes, modifications, or amendments.

Community Development Director Jared Grande briefly mentioned that at the next meeting, they would be looking at updates and tweaks to the bulk regulations at the beginning of the code, as well as aligning shared parking to allow a 0 setback for shared parking purposes.

Update(s)

Community Development Department Report

Included within the meeting packet and no questions from Commissioners.

Update from Commissioners

There were no specific updates from commissioners.

Next Meeting Date(s)

June 11, 2025 – Regular Scheduled Plan Commission Meeting

Future Agenda Items

No specific future agenda items were discussed.

Adjourn:

Motion to adjourn by Jeanine Knapp seconded by Thomas Kipp.

Motion carried 5/0. The motion was carried unanimously.

The meeting was adjourned at 8:20 PM.

Respectively submitted by Jeremy Kloos, Building Inspector / Assistant Zoning Administrator,
and minutes software.

Note: These minutes are not to be considered official until acted upon at an upcoming regular meeting, therefore, they are subject to revision.



AGENDA ITEM COVER SHEET

MEETING/DATE:	Village Board, May 20, 2025
ITEM:	Docket #2025-006: Discussion and recommendation for a detached accessory structure exceeding 1,000 sq./ft. (RMMC section 17.3.03.6(1.3)) at 219321 County Road KK.
FROM:	Jared Grande, Community Development Director

APPLICANT & PROPERTY INFORMATION

APPLICANT:	James Howe, 219321 County Rd KK, Wausau, WI 54401				
OWNER:	James Howe, 219321 County Rd KK, Wausau, WI 54401				
PROPERTY ADDRESS:	219321 County Rd KK				
PIN/PARCEL #:	168-2807-343-0989				
ZONING:	Rural Estate (RE)				
ADJACENT ZONING:	NORTH:	RE	SOUTH:	N/A	EAST: RL WEST: RN
FUTURE LAND USE:	Rural Neighborhood				

BACKGROUND

The owner is requesting a total of 1944 sq./ft., sidewall height of 14 ft., and a garage door height of 12 ft. through the conditional use permit process. The owner met with staff to go over the details of the request which led to staff realizing the sidewall height and height of the garage door; if staff realized the heights, this would have been included in the public notice as well. Staff also went over the process of the conditional use request with the owner in more detail and upon such, **the owner will be requesting the Plan Commission at the April 9, 2025, meeting to postpone their recommendation until May 14, 2025, Plan Commission meeting.** This would allow the owner to verify the details of the proposal before the Village Board acts on the request.

PREVIOUS ACTIONS: ***Motion by Carrie Edmondson seconded by Thomas Kipp to approve.***
Motion carried 5/0.

STAFF COMMENTS: See Determination Report (attached).

ATTACHMENTS: Conditional Use Determination Report, Permit Report, Site Plan, Building plans, Narrative, Public Notice items, and Zoning Map.

POSSIBLE ACTIONS TO BE TAKEN

See Determination Report (attached)

REQUESTED ACTION: Recommend approval with staff recommendations

FURTHER ACTION(s): Notify applicant of the Board's decision (Staff)



CONDITIONAL USE PERMIT DETERMINATION REPORT

FROM:	Jared Grande, Community Development Director		
DOCKET No.	2025-006	HEARING DATE:	April 9, 2025
APPLICANT:	James Howe, 219321 County Rd KK, Wausau, WI 54401		
OWNER:	James Howe, 219321 County Rd KK, Wausau, WI 54401		
LOCATION:	219321 County Rd KK		
DESCRIPTION:	A detached accessory building in excess of 1,000 square feet, sidewall height of 14 feet, and a garage door height of 12 feet.		

The Department of Community Development of the Village of Rib Mountain, pursuant to the Village of Rib Mountain Zoning Code, Subchapter 8 Procedures, Section 17.8.08 Conditional Use Procedures, hereby makes the following findings and evaluation to the Village of Rib Mountain Plan Commission:

GENERAL INFORMATION

ZONING:	Rural Estate (RE)
DEFINITION: 17.2.03(4)	This district is intended to be located in the rural transition areas currently outside of the sewer service area and to provide an estate character. Principal land uses are primarily medium sized lot single family residential development and subdivisions.
LAND USE:	Accessory Building
DEFINITION SECTION: 17.3.03.6(1.3)	(a) subordinate to and serves a principal structure or a principal use; (b) subordinate in area, extend, and purpose to the principal structure or use served; (c) located on the same lot as the principal structure or use served except as otherwise expressly authorized by provisions of this Chapter; and (d) customarily incidental to the principal structure or use. Any portion of a principal building devoted or intended to be devoted to an accessory use is not an accessory building.

REVIEW OF PERFORMANCE STANDARDS

- | | |
|--|---|
| a. The cumulative floor area of accessory buildings, when added together, shall adhere to the dimensional standards under the zoning district.. | Does not meet requirements.
Proposed garage is 1214 SQFT |
| b. Accessory buildings with a sidewall height in excess of 12 feet and/or a door opening exceeding 10 feet in height may be approved as a conditional use. | Does not meet requirements.
Proposed garage has 14 foot sidewalls and a 12 foot garage door. |

The above performance standards outlined can be exceeded through the conditional use process. The proposed detached garage meets all other performance standards not outlined in this report.

DETERMINATION / FINDINGS

1. Is in harmony with the Comprehensive Plan?

The area is rural in character at the very southern location of the Village. Staff does not believe this will be detrimental to neighbors nearby and would adhere to the goals and objectives of the Comprehensive Plan.



2. Would result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare?

Future Land use shows this area as rural neighborhood, which this use fits as an accessory use. Additionally, there is substantial screening and distance to adjacent properties owners.

4. Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property

The proposed structure furthers the intent of the single-family residents, as detached accessory buildings are permitted use, when under 1,000 sq. ft. The request for conditional use is due to the size and height of the proposed building. The proposal would fit in with the area of the community and not be incompatible.

5. The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public or private agencies serving the subject property.

There are not any public utility facilities in this area of the Village.

6. The potential public benefits outweigh any potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

Indoor storage of motorized and nonmotorized passenger and recreation vehicles, the storage of recreation equipment, the storage of residential maintenance equipment and the storage of other household items is encouraged and reduce visual impacts to neighboring properties.

BACKGROUND INFORMATION

The owner is requesting a total of 1944 sq./ft., sidewall height of 14 ft., and a garage door height of 12 ft. through the conditional use permit process. The owner met with staff to go over the details of the request which led to staff realizing the sidewall height and height of the garage door; if staff realized the heights, this would have been included in the public notice as well. Staff also went over the process of the conditional use request with the owner in more detail and upon such, **the owner will be requesting the Plan Commission at the April 9, 2025, meeting to postpone their recommendation until the May 14, 2025, Plan Commission meeting.** This would allow the owner to verify the details of the proposal before the Village Board acts on the request.

CURRENT PROPERTY CONDITIONS

There is an existing house and overhead lines running through the property on the north side. The property is the very southern property in the Village along County Rd KK, adjacent to the Town of Mosinee.

STAFF COMMENTS

Staff met with the owner discussing the project after the public noticing process started. During the meeting, the owner modified the original application from a pole barn style structure to a stick-built detached garage style with vinyl siding and asphalt roof. There wasn't information provided on what the current house looks like to know if the proposed



colors match or not, but staff would support a stick-built garage vs. a pole barn style. Lastly, staff explained to the owner the property does have a future roadway shown on the Village's Official Map per Section 18.11 of the RMMC.

POSSIBLE ACTIONS TO BE TAKEN

RECOMMEND APPROVAL: Plan Commission recommends the Village Board approve the request for a detached accessory structure exceeding in excess of 1,000 SQFT and sidewall height of 14 feet and a garage door height of 12 feet, at 219321 County Rd KK with the following conditions:

1. Construction of the accessory building shall be in accordance with the performance standards depicted on the Site Plan and Building Specifications (as approved by the Building Permit).
2. The detached garage shall not be used for dwelling purposes.
3. The total accessory structure area on the parcel described above shall not exceed 2,000 square feet.
4. Section 17.8.08(14) states, "Unless extended as a condition of approval, the start of construction of any and all conditional uses shall be initiated within 365 days of their approval by the Village Board and shall be operational within 730 days of said approval. For the purposes of this section, "operational" shall be defined as the granting of a certificate of occupancy for the conditional use."
 - a. The approval of the conditional use would require the applicant to obtain a building permit within one year of the approval of the conditional use permit and complete the project within two years of the building permit.
5. Sections 17.8.08(10-19) of the Rib Mountain Municipal Code shall apply.
6. The Community Development Director can approve minor alterations to the terms of the permit and have it documented in the property file. Any substantial change determined by the Community Development Director requires following the same procedures for a new conditional use permit application.
7. Any conditions required for specific uses listed under Subchapter 17-III Land Use Regulations.
8. The physical development and operation of the conditional use must conform, in all respects, to the approved site plan, operational plan and phasing plan.
9. All vehicles and equipment must access the site only at approved locations identified in the site plan and operations plan. (d) If the Public Works Director determines that road intersection improvements are necessary to safely accommodate the conditional use, the cost of such improvements shall be borne by the landowner. Costs borne by the landowner shall be proportional to the incremental increase in traffic associated with the proposed conditional use.
10. The Zoning Administrator or designee may enter the premises of the operation in order to inspect those premises and to ascertain compliance with these conditions or to investigate an alleged violation. Zoning staff conducting inspections or investigations will comply with any applicable workplace safety rules or standards for the site.

RECOMMEND APPROVAL WITH MODIFICATIONS: Plan Commission recommends the Village Board approve the request for a detached accessory structure exceeding in excess of 1,000 SQFT and sidewall height of 14 feet and a garage door height of 12 feet, at 219321 County Rd KK, with additional (or less) conditions, as discussed based on substantial evidence (or lack thereof) following 2017 WI Act 67.

DEFER ACTION: Defer action on the conditional use based on insufficient material/evidence provided by the applicant or uncertainty among the commissioners based on evidence presented at the public hearing. A decision shall be made within 60 days after the filing of a complete application. If the Plan Commission chooses not to make a recommendation or fails to make a recommendation to the Village Trustees within 45 days of the public hearing, the request for the installation of a detached accessory structure exceeding in excess of 1,000 SQFT and sidewall height of 14 feet and a



garage door height of 12 feet at location stated above shall be forwarded to the Village Trustees without a Plan Commission recommendation.

RECOMMEND DENIAL: Plan Commission recommends the Village Trustees deny the application for conditional use permit based on substantial evidence (or lack thereof) following 2017 WI Act 67 provided at the public hearing.

Date: 4/03/2025 - 10:16 AM
Design ID: 301657409982
Estimate ID: 64381
Estimated Price: \$26,369.55

**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MENARDS

Design & Buy™

GARAGE

How to recall and purchase your design at home:

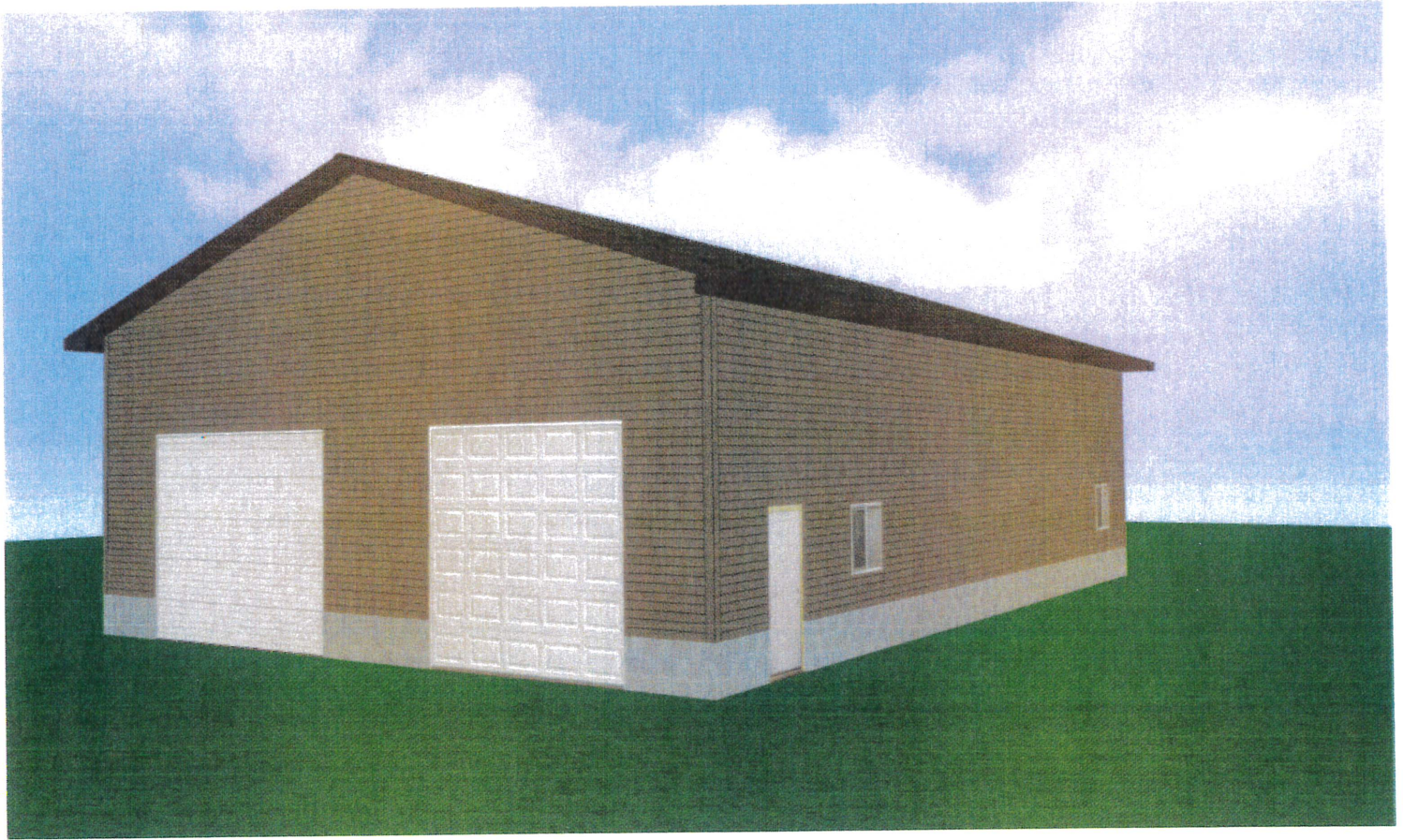


OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Garage Designer
3. Recall your design by entering Design ID: 301657409982
4. Follow the on-screen purchasing instructions

How to purchase your design at the store:

1. Enter Design ID: 301657409982 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions



Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions.

MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully.

MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

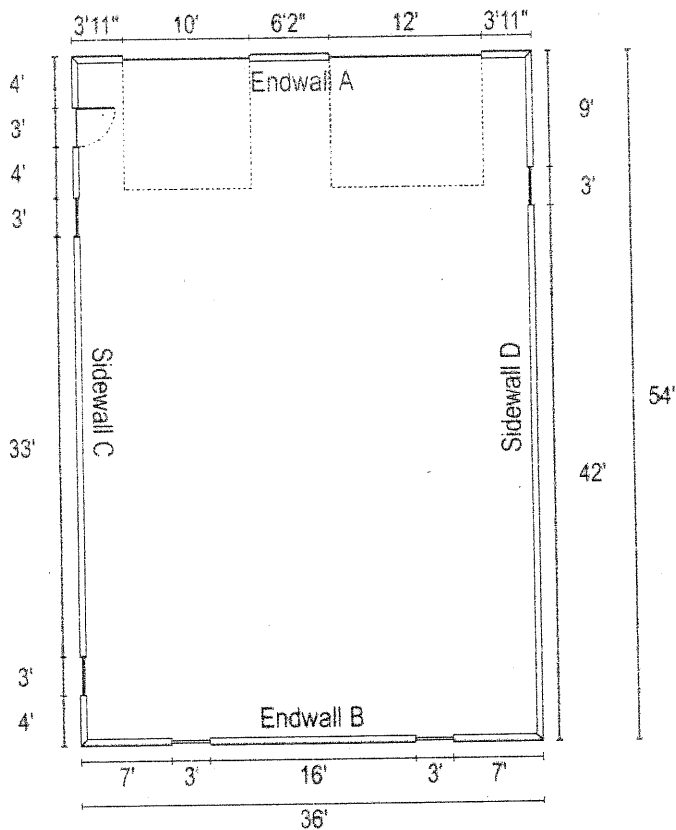
For other design systems search "Design & Buy" on Menards.com

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Garage Image



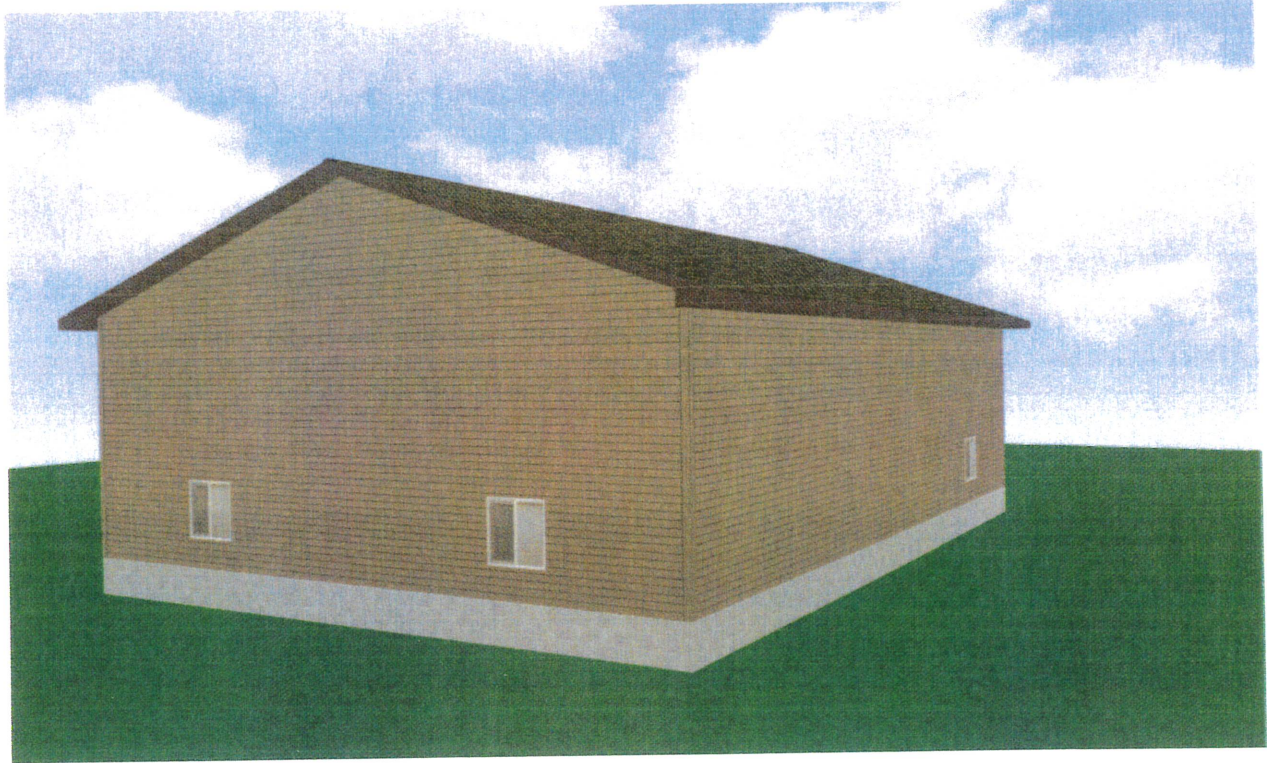
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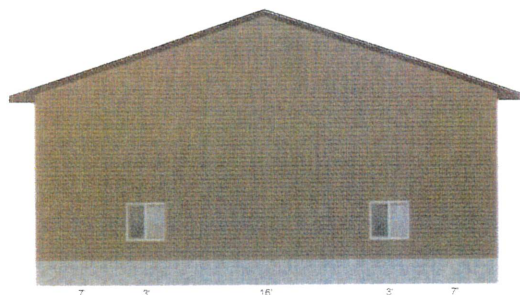
**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

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Dimensions

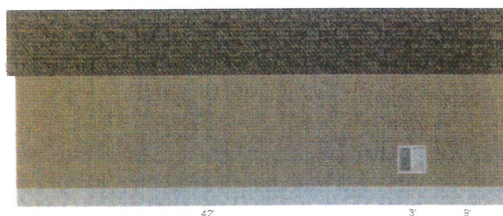
Wall Configurations

*Some items like wainscot, gutter, gable accents, are not displayed if selected.



ENDWALL B

36"W x 36"H Performax™ Slider Window with Nailing Flange
36"W x 36"H Performax™ Slider Window with Nailing Flange



SIDEWALL D

36"W x 36"H Performax™ Slider Window with Nailing Flange

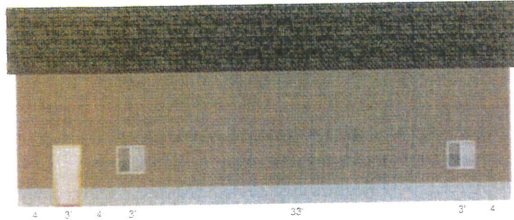
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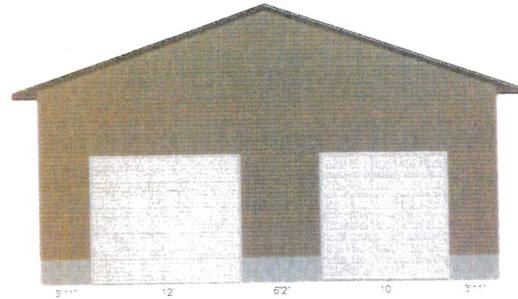
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GARAGE



SIDEWALL C

Mastercraft® 36W x 80H Primed Steel 6-Panel
36"W x 36"H Performax™ Slider Window with Nailing Flange
36"W x 36"H Performax™ Slider Window with Nailing Flange



ENDWALL A

10X10 White Raised Panel Plain Torsion Spring (R-Value 6.5)
12X10 White Ribbed Torsion Spring (R-Value 6.5)

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Materials

Building Type

Building Location Zip Code: 54401
Building Type: Gable

Building Info

Building Width: 36'
Building Length: 54'
Building Height: 12' (studs must be cut to length)
Wall Framing Stud: 2 x 6
Roof Framing: Truss Construction (Sealed truss designs available on request)
Truss Type: Common (24" on center spacing)
Roof Pitch: 4/12 Pitch
Gable Overhang: 12"
Eave Overhang: 24"
Curb: Concrete Block
Concrete Block Rows: 3 Rows
Concrete Block Type: 8 x 8 x 16 Standard
Foundation Type: Thickened Slab
Building Plan: Yes I need a Building Plan

Wall Info

Siding Material Types: Vinyl
Vinyl Siding: ABTCO® Cedar Creek™ Double 4, Color: Khaki
Vinyl Corner Trim Color: Khaki
Accent Material Type: None
Wainscot Material Type: None
Wall Sheathing: 7/16 x 4 x 8 OSB(Oriented Strand Board)
House Wrap: Kimberly-Clark BLOCK-IT®9'x75'House Wrap
Gable Vents: None

Roof Info

Roof Sheathing: 1/2 x 4 x 8 OSB(Oriented Strand Board)

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Roofing Material Type:	Architectural Shingle
Architectural Roofing:	Owens Corning® TruDefinition® Duration® Limited Lifetime Warranty Architectural Shingles (32.8 sq. ft.), Color: Brownwood
Roof Underlayment:	Owens Corning® ProArmor® Synthetic Roofing Underlayment 42" x 286' (1,000 sq. ft.)
Ice and Water Barrier:	Owens Corning® WeatherLock® G 3' x 66.7' Granulated Self- Sealing Ice and Water Barrier (200 sq. ft.)
Fascia Material Type:	Textured Aluminum Fascia
Fascia:	6" x 12' Aluminum Rustic Fascia, Color: Royal Brown
Soffit Material Type:	Aluminum Soffit
Soffit:	16" x 12' Aluminum Vented Soffit, Color: Royal Brown
Gutter Material Type:	None
Ridge Vent:	Air Vent Attic Aire 4' Filtered Shingle-Over Ridge Vent
Roof Vents:	None

Openings

Service Door:	Mastercraft® 36W x 80H Primed Steel 6-Panel
Overhead Door:	10X10 White Raised Panel Plain Torsion Spring (R-Value 6.5)
Additional Information:	MDP38 Torsion Spring
Overhead Door:	12X10 White Ribbed Torsion Spring (R-Value 6.5)
Additional Information:	CFR38 Torsion Spring
Overhead Door Trim Type:	Vinyl
Vinyl Trim Color:	White
Windows:	36"W x 36"H Performax™ Slider Window with Nailing Flange
Windows:	36"W x 36"H Performax™ Slider Window with Nailing Flange
Windows:	36"W x 36"H Performax™ Slider Window with Nailing Flange
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Additional Options

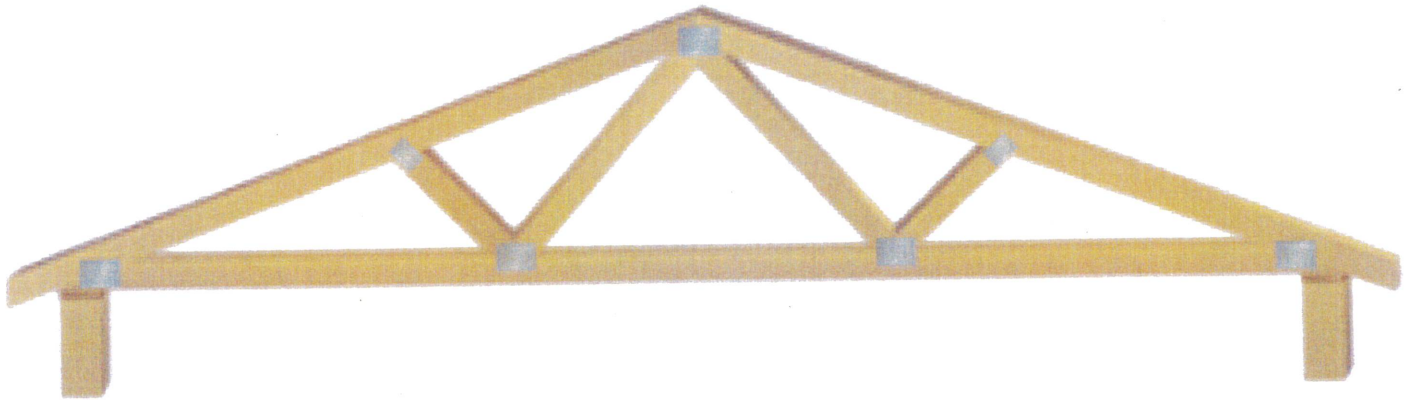
Ceiling Insulation:	None
Wall Insulation:	None
Ceiling Finish:	None
Wall Finish:	None
Mounting Blocks:	No
Hydronic Radiant Heat:	No
Anchor bolt:	Grip Fast® 1/2 x 10 HDG Anchor Bolt w/ Nut & Washer
Framing Fasteners:	Grip Fast® 3-1/4 16D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box
Sheathing Fasteners:	Grip Fast® 2-1/2 8D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box
Roofing/Shingle Fasteners:	Grip Fast® 1-1/4 Electro-Galvanized Coil Roofing Nails - 7,200 Count
Truss Fastener:	FastenMaster® TimberLOK® 5/16 x 6 Hex Drive Black Hex Head Timber Screw - 50 Count
Overhead Opening Hardware:	No

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Helpful Hints for Garage Construction

- Studs are estimated 16 inches on center with single treated bottom plate and double top plate.
- For 10- and 12-foot-tall buildings studs should be cut for an approximate 10- or 12-foot plate height.
- If steel is estimated (Pro-Rib or Pro-Snap), the steel lengths should be verified based off the actual framing. Plate height (stud length), truss heel and other framing should be confirmed. Steel is estimated to the inch, make sure the lengths are accurate based on final overall building design.
- Trusses included are estimated at 2 feet on center spacing. The design is based on the zip code provided, design and loading should be verified.
- Trusses should not be cut or modified with the exception of trimming the truss tails to the correct overhang.
- The bottom chord is designed to support standard ceiling and insulation materials.
- Dropped end trusses are estimated with 18 inch and 24 inch gable overhangs.



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Menards Building Checklist Planning

- Get a permit. Check restrictions, building codes or local zoning to make sure your design complies with all requirements.
- Contact local utilities to ensure construction will not disturb any electrical, cable or plumbing.
- If necessary, hire a professional to help with planning and construction.
- Consider site conditions including soil type, grade, and runoff before finalizing your design.
- Material estimates are calculated based on approximate plate heights of 97", 109", 121" and 145".
- STEEL LENGTHS if selected should be verified prior to purchase.
- Menards offers professional delivery of materials. Delivery is extra based on the distance from your local Menards store to your building site.
- Practice good safety habits, use PPE including eye protection & dust masks during construction.
- Make sure to follow good building practice and all manufacturer's instructions. Use all the hardware and fasteners recommended.

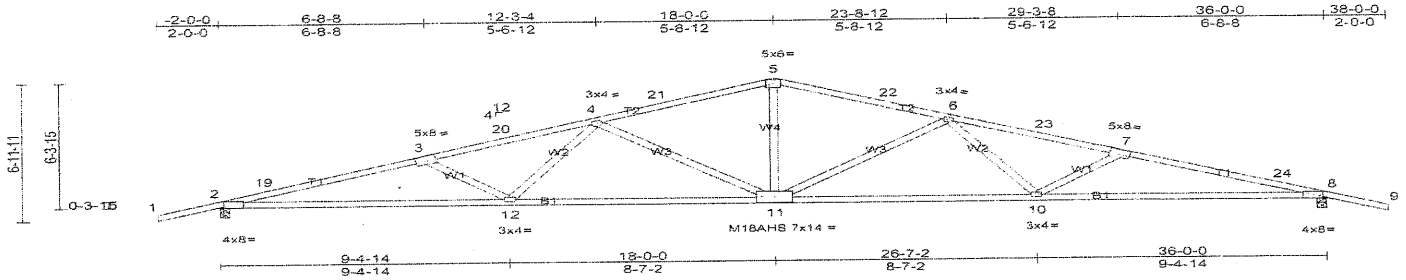
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Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0807279	C11036A	COMMON	1	1	

Run: 8:51 S Aug 11 2022 Print: 8:51 D S Aug 11 2022 M-Tek Industries, Inc. Fri Sep 08 16:52:11 Page: 1
ID=02PrKvV/MmvyQ/TmoHakCzvpRp-4X7z3e1 KcQPdhsLkz2mINkzhKYw6U1wGIDYdno



Scale = 1/8"

Plate Offsets (X, Y): [2:0-1-2,0-0-2], [3:0-4-0,0-3-4], [7:0-4-0,0-3-4], [8:0-1-2,0-0-2], [11:0-7-0,0-3-4]

Loading	(psf)	Spacing	2-0-0	CSI	DEFL	in	(loc)	l/def	L/d	PLATES	GRIP	
TCLL (roof)	42.0	Plate Grp DOL	1.15	TC	0.95	Vert(LL)	-0.51	11	>849	240	MT20	197/144
Snow (Ps/Pg)	41.6/60.0	Lumber DOL	1.15	BC	0.78	Vert(CT)	-0.79	11-12	>550	180	M18AHS	142/136
TCOL	10.0	Rep Stress Inor	YES	WB	0.97	Horz(CT)	0.21	8	n/a	n/a		
BCOL	0.0*	Code	IRC2018/TPI2014	Matrix-MS								
BCDL	10.0											

Weight: 130 lb FT = 15%

LUMBER
TOP CHORD 2x4 SPF 1650F 1.5E
BOT CHORD 2x4 SPF 2100F 1.5E
WEBS 2x4 SPF Stud "Except" W3:2x4 SPF 1650F 1.5E

BRACING
TOP CHORD
BOT CHORD

Structural wood sheathing directly applied.
Rigid ceiling directly applied or 10-0-0 cc bracing.

MITek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS (lb/size) 2=2423/0-3-8, (min. 0-3-2), 8=2423/0-3-8, (min. 0-3-2)
Max Horiz 2=83 (LC 14)
Max Uplift 2=-165 (LC 10), 8=-165 (LC 11)
Max Grav 2=2440 (LC 2), 8=2440 (LC 2)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-19=-5749/373, 3-19=-5661/387, 3-20=-5185/331, 4-20=-5019/339, 4-21=-3624/301, 5-21=-3524/311, 5-22=-3524/311,
6-22=-3624/301, 6-23=-5019/339, 7-23=-5185/331, 7-24=-5661/387, 8-24=-5749/373
BOT CHORD 2-12=-288/537, 11-12=-222/4389, 10-11=-222/4389, 8-10=-288/537
WEBS 3-12=-704/142, 4-12=0/784, 4-11=-1627/155, 5-11=-61/1873, 6-11=-1627/155, 6-10=0/784, 7-10=-704/142

JOINT STRESS INDEX
2 = 0.93, 3 = 0.81, 4 = 0.81, 5 = 0.80, 6 = 0.81, 7 = 0.82, 8 = 0.93, 10 = 0.75, 11 = 0.61 and 12 = 0.75

NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-16; Vult=115mph (3-second gust) Vase=91mph; TCCL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) exterior zone and C-C Exterior(2E) 2-0-0 to 1-7-3, Interior (1) 1-7-3 to 14-4-13, Exterior(2R) 14-4-13 to 21-7-3, Interior (1) 21-7-3 to 34-4-13, Exterior(2E) 34-4-13 to 38-0-0 zone: cantilever left and right exposed; and vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- TCCL: ASCE 7-16; P=42.0 psf (roof LL); Lum DOL=1.15 Plate DOL=1.15; Pg=60.0 psf; Ps=41.6 psf (Lum DOL=1.15 Plate DOL=1.15); Is=1.0; Rough Cat B; Fully Exp.; Ce=0.9; Cs=1.00; Ct=1.10
- Roof design snow load has been reduced to account for slope.
- Unbalanced snow loads have been considered for this design.
- This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 41.6 psf on overhangs non-concurrent with other live loads.
- All plates are MT20 plates unless otherwise indicated.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-06-00 tall by 2-00-00 wide will fit between the bottom chord and any other members.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 165 lb uplift at joint 2 and 165 lb uplift at joint 8.
- This truss is designed in accordance with the 2018 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1

LOAD CASE(S) Standard

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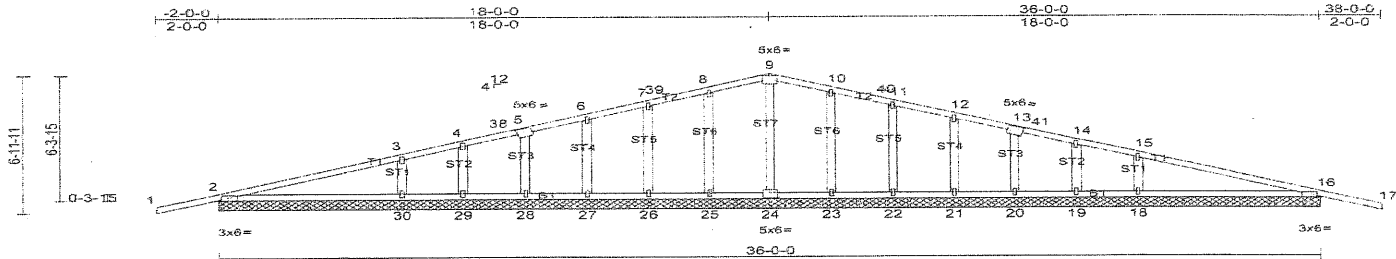
Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0783338	C11136	COMMON	1	1	

Midwest Manufacturing Eau Claire, WI

Run: 8:51:5 Aug 11 2022 Print: 8:51:5 Aug 11 2022 MiTek Industries, Inc. Wed May 03 16:45:38

Page: 1

ID: vvvD7CUrThGCa9PBW5QI7zvoFI-NX9r-v37rMtzCT0912kPYnaVOCl1SmB6KyP4b2K91x



Scale = 1/88.1

Plate Offsets (X, Y): [2:0-1-2, Edge] [5:0-3-0, 0-3-0] [13:0-3-0, 0-3-0] [15:0-1-2, Edge] [24:0-3-0, 0-3-0]

Loading	(psf)	Spacing	2-0-0	CSI	DEFL	in	(loc)	l/deft	L/d	PLATES	GRIP
TCLL (roof)	42.0	Plate Grip DOL	1.15	TC	0.47	Vert(LL)	n/a	-	n/a	999	197/144
Snow (Ps/Pg)	41.6/60.0	Lumber DOL	1.15	BC	0.29	Vert(CT)	n/a	-	n/a	999	
TCOL	10.0	Rep Stress Incr	YES	WB	0.16	Horz(CT)	0.00	35	n/a	n/a	
BCOL	0.0	Code	IRC2018/TPI2014	Matrix-MS							
BCOL	10.0										

Weight: 143 lb FT = 15%

LUMBER
TOP CHORD 2x4 SPF No.2
BOT CHORD 2x4 SPF No.2
OTHERS 2x4 SPF No.2

REACTIONS All bearings 36-0-0.

(lb) - Max Horiz 2=-83 (LC 15), 31=-83 (LC 15)

Max Uplift All uplift 100 (lb) or less at joint(s) 2, 16, 18, 19, 20, 21, 22, 23,

25, 26, 27, 28, 29, 30, 31, 35

Max Grav All reactions 250 (lb) or less at joint(s) 19, 24, 29 except 2=567

(LC 2), 16=567 (LC 2), 18=722 (LC 35), 20=383 (LC 22),

21=336 (LC 22), 22=339 (LC 22), 23=385 (LC 22), 25=363 (LC

21), 26=339 (LC 21), 27=336 (LC 21), 28=383 (LC 21) 30=722

(LC 34), 31=567 (LC 2), 35=567 (LC 2)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

WEBS 8-25=-323/87, 7-26=-297/57, 6-27=-302/46, 5-28=-320/53, 3-30=-537/106, 10-23=-323/87, 11-22=-297/57,

12-21=-302/46, 13-20=-320/53, 15-18=-537/106

JOINT STRESS INDEX

2 = 0.71, 3 = 0.51, 4 = 0.51, 5 = 0.27, 6 = 0.51, 7 = 0.51, 8 = 0.51, 9 = 0.20, 10 = 0.51, 11 = 0.51, 12 = 0.51, 13 = 0.27, 14 = 0.51, 15 = 0.51, 16 = 0.70, 18 = 0.51, 19 = 0.51, 20 =

0.51, 21 = 0.51, 22 = 0.51, 23 = 0.51, 24 = 0.22, 25 = 0.51, 26 = 0.51, 27 = 0.51, 28 = 0.51, 29 = 0.51 and 30 = 0.51

NOTES

1) Unbalanced roof live loads have been considered for this design.

2) Wind: ASCE 7-16: Vult=115mph (3-second gust) Vasd=91mph: TCOL=4.2psf; BCOL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) exterior zone and C-C

Corner(3E) 2-0-0 to 1-7-3, Exterior(2N) 1-7-3 to 14-4-13, Corner(3R) 14-4-13 to 21-7-3, Exterior(2N) 21-7-3 to 34-4-13, Corner(3E) 34-4-13 to 38-0-0 zone; cantilever left and

right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60

3) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult

qualified building designer as per ANSI/TPI 1.

4) TCOL: ASCE 7-16: Pr=42.0 psf (roof LL: Lum DOL=1.15 Plate DOL=1.15); Pg=60.0 psf; Ps=41.6 psf (Lum DOL=1.15 Plate DOL=1.15); Is=1.0; Rough Cat B; Fully Exp.;

Ce=0.9; Cs=1.00; Ct=1.10

5) Roof design snow load has been reduced to account for slope.

6) Unbalanced snow loads have been considered for this design.

7) This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 41.6 psf on overhangs non-concurrent with other live loads

8) All plates are 1.5x4 MT20 unless otherwise indicated.

9) Gable requires continuous bottom chord bearing.

10) Gable studs spaced at 2-0-0 oc.

11) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.

12) This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-06-00 tall by 2-00-00 wide will fit between the bottom chord and

any other members.

Continued on page 2

Date: 4/03/2025 - 10:16 AM
Design ID: 301657409982
Estimate ID: 64381
Estimated Price: \$26,369.55
**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MEWARDS

Design & Buy™

GARAGE

Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0783338	C111136	COMMON	1	1	

Midwest Manufacturing, Eau Claire, WI

Run: 8:51 S Aug 11 2022 Print: 8:51 S Aug 11 2022 MITek Industries, Inc. Wed May 03 16:45:36

Page: 2

ID:vvyD7CUxtThGce9PBW9Qi7zvpFLNX9rV37rMuzCTo91ZkFYhavOC116mB6KvIP4bzK91x

13) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 2, 16, 25, 26, 27, 28, 29, 30, 23, 22, 21, 20, 19, 18, 2, 16.
14) This truss is designed in accordance with the 2018 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.

LOAD CASE(S) Standard

2801 STEWART AVENUE
WAUSAU, WI 54401
(715) 842-0404
(715) 845-4764

Design & Buy™ GARAGE DOORS

Design #: 301657410195
Estimated Price: \$4,806.10

How to purchase at the store:

1. Take this packet to any Menards store.
2. Have a Menards Team Member enter the Design ID into the Garage Door Designer Program.
3. Have a Menards Team Member print purchasing documents.
4. Take the Special Order Contract to the register and pay.

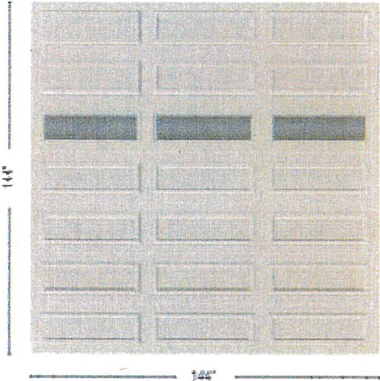
How to recall and purchase a saved design at home:

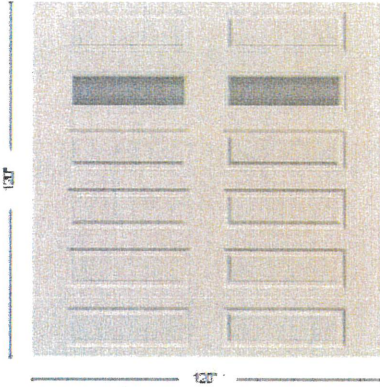
1. Go to Menards.com
2. Login to your account.
3. Go to the Garage Door Designer from the Project Center and select Search Saved Designs.
4. Enter the Design ID or select from your open projects to load into the Garage Door Designer.
5. Add your design to the cart and purchase.

Line Item	Quantity	Product Description	Unit Price	Total Price
100-1	1	Traditional Steel Panel - Better Garage Door Garage Door Width = More Sizes Garage Door Width = 12 Ft 0 In Garage Door Height = More Sizes Garage Door Height = 12 Ft 0 In Assembly Type = Complete Door WindCode Rating = W0 - Most locations Panel Design = Elegant Long Panel Color = Desert Tan Insulation R-Value = 6.5 R-Value 1-3/8" Thick Door Model = MRP38 Steel Gauge = 27 gauge steel Texture = Woodgrain Window Type = Traditional - Long Windows = Plain Long Section(s) with windows = Section Number 5 Panels with windows = Whole Section Glass Style = Clear Glass Glass Type = Non-Insulated Opener Ready = Yes Headroom Available = Significant Headroom Track Size - Mount = 2" Bracket Mount Track Track Lift = High Lift Track Radius = Residential High Lift Amount of High Lift = 18" Spring = Standard Torsion Headroom Required = 32" (High Lift + 14") Lock = No Lock Standard Reinforcement Struts = 0 Struts Additional Reinforcement Struts = 2	\$2,714.85	\$2,714.85

Actual Size: 144" x 144"

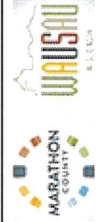
Room: None Assigned
Unit is viewed from the outside looking in.



Line Item	Quantity	Product Description	Unit Price	Total Price
200-1	1	<p>Traditional Steel Panel - Better Garage Door</p> <p>Garage Door Width = 10 Ft 0 In Garage Door Height = More Sizes Garage Door Height = 10 Ft 0 In Assembly Type = Complete Door WindCode Rating = W0 - Most locations Panel Design = Elegant Long Panel Color = Desert Tan Insulation R-Value = 6.5 R-Value 1-3/8" Thick Door Model = MRP38 Steel Gauge = 27 gauge steel Texture = Woodgrain Window Type = Traditional - Long Windows = Plain Long Section(s) with windows = Section Number 5 Panels with windows = Whole Section Glass Style = Clear Glass Glass Type = Insulated Opener Ready = Yes Headroom Available = Significant Headroom Track Size - Mount = 2" Bracket Mount Track Track Lift = High Lift Track Radius = Residential High Lift Amount of High Lift = 36" Spring = Standard Torsion Headroom Required = 50" (High Lift + 14") Lock = No Lock Standard Reinforcement Struts = 0 Struts Additional Reinforcement Struts = 2</p>	\$2,091.25	\$2,091.25
Actual Size:		120" x 120"		
Room:		None Assigned		
		Unit is viewed from the outside looking in.		
				

Total: **\$4,806.10**

8 R



Land Information Mapping System

TAYLOR LINCOLN

WOOD PORTAGE

Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2020 Orthos Countywide
- Red: Band_1
- Green: Band_2
- Blue: Band_3



Notes

DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

40.00 0 40.00 Feet

NAD_1983_HARN_WISCRS_Marathon_County_Feet

Report Criteria:
Permit.Permit number = "DKT - 2025 - 006"

Permit Number	Application Date	Permit Type	Property Address	Applicant	Status
DKT - 2025 - 00	03/10/2025	CD - Conditional Use Permit	219321 COUNTY ROAD KK	Jim Howe	Submitted

Description of Work
I would like to put a garage that I can store my camper and trucks in.

Name	Contractor Type	Primary Contractor

Transactions

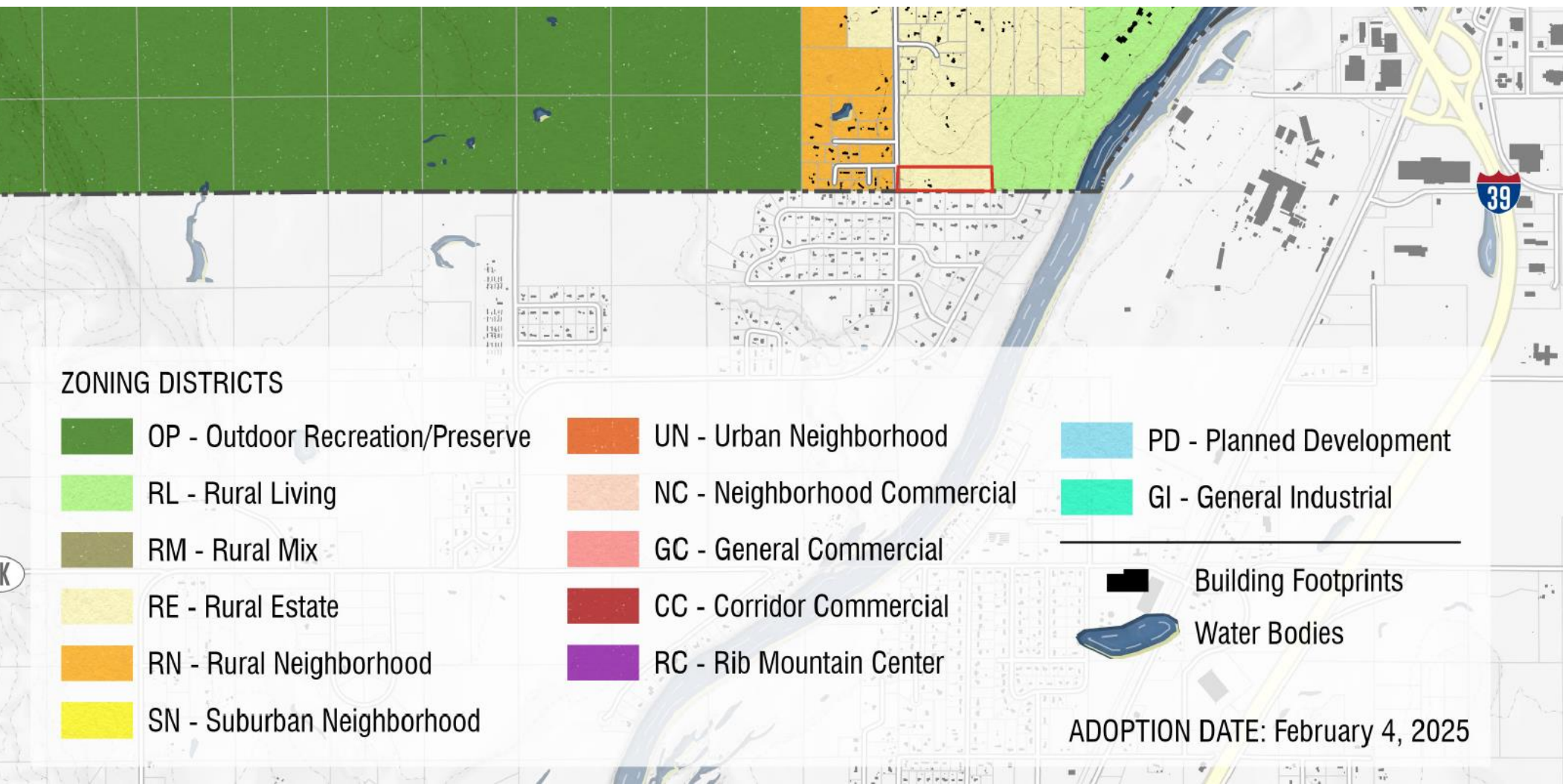
Date	Description	Source ID	Fee Number	Quantity	Unit of Measurement	Amount	Due at
03/10/2025	Conditional Use		12	.0000		300.00	Setup
Grand Totals:						300.00	

Approval Type	Days to Approve	Due Date	Status	Approved Date	Assigned To

Inspection Activity

Inspection Number	Inspection Type	Status	Appointment Date	Appointment Time

Condition	Comment



MAIL_NAME1	MAIL_ADDR1	CITY	STATE	ZIP5
TROY A SCHUELKE	219611 COUNTY ROAD KK	WAUSAU	WI	54401
MICHAEL S LANG	150744 CRIMSON RD	WAUSAU	WI	54401
ROGER A SACKMANN	219500 COUNTY ROAD KK	WAUSAU	WI	54401
JOHN R WEBER	151176 CRIMSON RD	WAUSAU	WI	54401
SCOTT L STENCIL	151098 CRIMSON RD	WAUSAU	WI	54401
DAVID J LONG	151194 CRIMSON RD	WAUSAU	WI	54401
TED S HAYES	150893 CRIMSON RD	WAUSAU	WI	54401
TAMMY L BEDNORSKI	475 COZY COVE CT	CHICO	TX	76431
STEVE R HASKO	219370 COUNTY ROAD KK	WAUSAU	WI	54401
KRISTINE T LANG	150836 CRIMSON AVE	WAUSAU	WI	54401
DEREK BARTZEN	151030 CRIMSON RD	WAUSAU	WI	54401
JEFFREY J HAHN	150884 CRIMSON RD	WAUSAU	WI	54401
JAMES D HOWE	219321 COUNTY ROAD KK	WAUSAU	WI	54401
PHILIP J ZALEWSKI	150782 CRIMSON RD	WAUSAU	WI	54401
STEVEN F RASMUSSEN	151356 CRIMSON RD	WAUSAU	WI	54401
RIB MOUNTAIN METRO SEWERAGE DISTRICT	151401 ASTER RD	WAUSAU	WI	54401

VILLAGE OF RIB MOUNTAIN
NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that public hearing(s) will be held before the Plan Commission of the Village of Rib Mountain, Marathon County, Wisconsin, at the **Rib Mountain Municipal Center, 227800 Snowbird Ave, on Wednesday, April 9, 2025**, at 5:00 P.M. to hear and consider the request of:

Conditional Use for a detached accessory structure exceeding 1,000 square feet per Rib Mountain Municipal Code Section 17.2.03 Table 2.4 – Maximum area square feet. Owner: James Howe. Location: 219321 County Rd KK. DKT-2025-006

Zoning Map Amendment of .6920 acres from General Commercial (GC) to Planned Development (PD) with General Development Plan per Rib Mountain Municipal Code Section 17.8.11 - Planned Development District Procedures. Owner: Realco Wisconsin LLC. Location: SEC 10-28-07 PT OF N 1/2 NE 1/4 COM ON W LN OF HWY -N- 1 ROD N OF S LN OF N1/2 NE1/4 W 20 RDS N 8 RDS E 20 RDS TO SD HWY S TO BEG EX VOL 402D-587 EX M660-1262 EX DOC# 1728616-RD. DKT-2025-007

Written testimony may be forwarded to the Village of Rib Mountain Plan Commission, Jared Grande, 227800 Snowbird Ave, Wausau, WI 54401 or emailed to jgrande@ribmountainwi.gov by noon on the date of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.

DATED this 24th day of March 2025.

Jared Grande, Community Development Director



AGENDA ITEM COVER SHEET

MEETING/DATE:	Village Board, May 20, 2025
ITEM:	Request for a Zoning Map Amendment of 0.692 acres to Planned Development (PD) (Ord. #2025-01) and General Development Plan (RMMC Section 17.8.11) located at 226904 Rib Mountain Dr.
FROM:	Jared Grande, Community Development Director

APPLICANT & PROPERTY INFORMATION

APPLICANT:	Kurt Schmidt, REI, 4080 N. 20 th Ave, Wausau, WI 54401
OWNER:	REALCO WISCONSIN LLC, 153105 Cloverland Ln, Wausau, WI 54401
PROPERTY ADDRESS:	226904 Rib Mountain Dr Wausau, WI 54401
PIN:	168-2807-101-0956
CURRENT ZONING:	General Commercial (GC)
ADJACENT ZONING:	NORTH: GC SOUTH: CC (PD Overlay) EAST: GC WEST: UN
PROPOSED ZONING:	Planned Development District (PD)
FUTURE LAND USE:	Suburban Flex (Comp Plan); Recreation (Rib Mountain Drive Corridor Study)

BACKGROUND

Village staff were engaged with the previous owner including doing an inspection of the current home to assess the status and whether a raze order would be ordered by the Village. From my understanding, there has been some involvement in the past by the Village, but nothing requiring actions to be taken by the owner(s) of the house; the current owner was aware of the Village's involvement of the property. Through the years of development and redevelopment of Rib Mountain Drive, this property is one of the remaining residential uses left and was also noted in the Rib Mountain Drive Corridor study [here](#) as Case Study #3 (see page 53 of the study). The recent incorporation of the community has allowed potential redevelopment of the site giving the Village discretion on the direction of the property. The owner has engaged the Village regarding potential TIF financing with the property not within the TID boundary, but within a half mile. A wetland delineation and [H&H analysis](#) have been completed.

PREVIOUS ACTIONS:	<i>April 9, 2025, Plan Commission Meeting:</i> <i>Motion by Jay Wittman seconded by Cory Sillars to table item 4b.</i> <i>Motion carried 6/0.</i> <i>May 14, 2025, Plan Commission Meeting:</i> <i>Motion by Carrie Edmondson seconded by Thomas Kipp to approve from general commercial to planned development.</i> <i>Motion carried 5/0.</i>
STAFF COMMENTS:	See Determination Report (attached). Staff in discussion with Village legal concluded the Planned Development zoning is an overlay and doesn't change the zoning district on the map; rather it's treated as an overlay and in the future if the property no longer adheres to the PD, General Development Plan, and Precise Implementation Plan, it would default back to the base zoning district.



ATTACHMENTS: Rezone Determination Report, Zoning Map, Building Elevation Drawings, Floor Plans, Cover Sheet, Civil drawings, wetland delineation, H&H analysis (on Village website), and updated site plan and cover letter submitted after the May 14, 2025, Plan Commission meeting .

POSSIBLE ACTIONS TO BE TAKEN

SEE DETERMINATION REPORT (ATTACHED)

REQUESTED ACTION: Recommend approval with the following conditions:

1. No more than two commercial and two residential tenants.
2. Commercial tenants are limited to professional/personal service or office uses.
3. Site plan titled "General Development Plan" dated May 6, 2025, allowing a second level (story) replaces initial site plan submitted with the application. Building size shall not exceed 3,500 square feet.
4. The Precise Implementation Plan shall adhere to the "General Development Plan" and conditions of the General Development Plan.

FURTHER ACTION(s): Notify applicant of the Board's decision (Staff) and sign ordinance.

VILLAGE OF RIB MOUNTAIN

ORDINANCE NO. 25-01

AN ORDINANCE FOR THE VILLAGE OF RIB MOUNTAIN TO APPROVE THE ZONING MAP
AMENDMENT OF
0.692 ACRES TO THE PLANNED DEVELOPMENT
LOCATED IN
VILLAGE OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN

WHEREAS, the Plan Commission of the Village of Rib Mountain having held a public hearing on the 14th day of May 2025, on the application described below for the change to the zoning of the property described herein; and

WHEREAS, the property is described as:

THAT PART OF THE NORTHEAST QUARTER (NE ¼ OF THE NE ¼) OF SECTION 10, TOWNSHIP 28 NORTH, RANGE 7 EAST, IN THE TOWN (NOW Village) OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING ON THE WEST LINE OF COUNTY TRUCK HIGHWAY N A/K/A RIB MOUNTAIN DRIVE, 1 ROD NORTH OF THE SOUTH LINE OF THE NE ¼ OF THE NE 1/4 ; THENCE WEST 20 RODS; THENCE NORTH 8 RODS; THENCE EAST 20 RODS TO SAID COUNTY TRUCK HIGHWAY; THENCE SOUTH TO THE POINT OF BEGINNING; EXCEPTING THAT PART CONTAINED IN QUIT CLAIM DEED RECORDED IN VOLUME 402 OF DEED OF BOOKS, PAGE 587, AS DOCUMENT NO. 467008; FURTHER EXCEPTING ANY PART THEREOF USED FOR ROAD PURPOSES. VILLAGE OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN.

SAID PARCEL CONTAINS 30,144 SQUARE FEET, OR 0.692 ACRES, MORE OR LESS.

WHEREAS, the Plan Commission having thereafter filed its written recommendations and findings with the Village Board, and the said Board having received and approved the recommendation of said Commission;

WHEREAS, the Village Board approved the recommendation of the Plan Commission on May 20, 2025, and by adopting Ordinance No. 25-01 ratifies and confirms the action taken by the Village Board.

NOW THEREFORE, the Village Board of the Village of Rib Mountain do ordain as follows:

Section 1: That on the application (2025-007) filed by Kurt Schmidt, REI Engineering, on behalf of the property owner REALCO WISCONSIN LLC which application was approved by the Village Board on May 20, 2025, for the following territory, located in Section 04, Township 28 North, Range 7 East, Village of Rib Mountain, Marathon County, Wisconsin, is hereby designated to be and become hereafter part of the following zoning districts:

PLANNED DEVELOPMENT (PD)

Section 2: That the foregoing amendment to the zoning district designations shall take effect only upon publication of this ordinance. If the rezoning of any lands by this Ordinance does not take effect within

180 days of the date hereof, this Ordinance shall become null and void and the zoning for such lands shall remain unchanged.

Section 3: That the Zoning Administrator shall make necessary alterations upon the official map of the Village of Rib Mountain to reflect the changes in the zoning classifications of the property described herein.

Section 4: SEVERABILITY. If any section, clause, provision, or portion of this Ordinance is adjudged unconstitutional or invalid by a court of competent jurisdiction, the remainder of this Ordinance shall not be affected thereby. If an application of this Ordinance to a particular structure, land, or water is adjudged unconstitutional or invalid by a court of competent jurisdiction, such judgment shall not be applicable to any other structure, land, or water not specifically included in said judgment. If any requirement or limitation attached to an authorization given under this Ordinance is found invalid, it shall be presumed that the authorization would not have been granted without the requirement or limitation and, therefore, said authorization shall also be invalid. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

Section 5: This ordinance shall be in full force and effect from and after its date of passage and notice to the public as required by law.

Adopted this ____ day of _____, 2025.

Allen Opall, Village President

ATTEST:

Lynnae Kolden, Village Clerk



May 09, 2025

Received 5/9/2025

Village of Rib Mountain
227800 Snowbird Ave.
Wausau, WI 54401



Subject: Zoning Map Amendment & General Development Plan Written Rationale
Subject Property: 226904 Rib Mountain Drive

Client Statement:

"Since our meeting last month, REI, Jared, and my team have discussed in length how to best address the suggestions and concerns of the commission members. Our team, along with many members of the community, are excited to see this old house developed into something more beneficial to everyone.

At last month's meeting, concerns were raised regarding insufficient parking spaces. Given the 1500 square foot reduction in the building's size to accommodate both the tenants business needs and to reduce environmental concerns and setback constraints, we now have several more parking stalls when factoring in our total square footage and employees. Our design with crossing the creek would create 18 parking stalls total, of which only a maximum of 15 would be needed.

Concerns were expressed over erosion and flooding. We are taking precautions through the use of silt fence and safe construction methods to prevent any issues during the entirety of the construction process. Additionally, after conversations with Jared and Village staff, we would be extending the RIP-RAP further Northeast along the creek to protect both side of the bank entirely. Further, with the smaller building footprint, the building will be set back further from the creek and the road than the previous iteration, which will help minimize these concerns.

I also wanted to address the question/concern over visibility when turning off of Oriole Lane. Our new layout shows how we would abide by the standard setback of 10' to increase visibility from that stop sign. A second concern was the tendency for flooding along Oriole Lane. Along with our reduced building footprint that puts us further away from the creek, we believe addressing the foundation of the structure along the creek side with appropriate footings will help mitigate this concern.

There was also a comment about the orientation and the proximity to the road. With the decreased building size compared to the last iteration, the development will be further away from the road. Our team had looked at the possibility of tilting the building orientation, however, when coupled with the direction of Rib Mountain drive, we feel it wouldn't be as visually appealing or practical, although we would be open to making this adjustment in the layout if the smaller building we are now proposing does not adequately address your concern.

Another discussion we have had that we believe the Village will appreciate has been about zoning this building for mixed use - commercial and residential - by adding another story and making the 2nd story up to two apartment units if possible. This would result in a maximum of two commercial units on the lower level, and a maximum of two residential lofts on the second floor. Not only does this align with Rib Mountain and our own desires to increase housing within the community, but our team has also already factored this possibility into the current design with regards to required parking spaces.

I ask the committee to consider that the GDP is only the first step in this development process, a general outline to the development in order to continue moving forward with this project. There was a study done by Harvard with data by the Department of Housing and Urban Development that identified 16 million vacant and abandoned properties in the United States, which can contribute directly to neighborhood blight by attracting crime and lowering property values, among other negative impacts. Let's not let this property continue to be another one of those statistics. In Rib Mountain, our motto is "where nature, family, and sport come together." We believe there is nothing greater in distance from this definition of values our community has than this property, and we hope you will work with us to turn Rib Mountain's worst property into its best."

Project Summary:

The REI team is representing our client (Tyler Tate) concerning the redevelopment of an existing property within the Village of Rib Mountain. The property is located at 226904 Rib Mountain Drive and is currently zoned GC (General Commercial). Due to certain environmental and zoning constraints, we are pursuing a zoning amendment of the property to PD (Planned Development District).

The intent of the Zoning Map Amendment and General Development Plan is to propose a redevelopment strategy for the currently blighted parcel that better serves the Village of Rib Mountain and revitalizes an important gateway to the commercial corridor. The subject property has been acquired and conceptually designed (refer to plan set attached) with the goal of presenting an effective solution for how this can be accomplished with minimal impacts to the environmental constraints and minimal requests to vary from the requirements of underlying zoning.

A pre-application conference and multiple project correspondence meetings have been conducted with the Village & DNR to review the proposed development strategy. Due to an intermittent stream cutting through the center of the property, it has rendered the site undevelopable & blighted as it currently exists. This is an issue due to the property's pivotal location within the Village's most prominent commercial corridor and a growing safety concern of the adjacent residential neighborhood.

In order to alleviate the constraints of the existing stream, the development plan is proposing a narrow stream crossing utilizing dual culverts to allow vehicular and pedestrian traffic to safely access a parking field at the back of the lot which would support a proposed 3,500 SF building fronting the corner of Rib Mountain Drive and Oriole. Without the crossing, there is no way to fulfill the on-site parking requirements of the village, therefore leaving the parcel undevelopable. The engineered culvert crossing and associated stream/wetland impacts have been submitted to & approved by the DNR to confirm feasibility and site suitability.

The proposed land use of a commercial/office building with the potential for mixed use residential above aligns perfectly with the underlying zoning being GC (General Commercial) Even more appropriately than the current land use of single family residential. Therefore, we are not requesting a land use that falls outside of what is permissible per the existing zoning district. This parcel was recently proposed to be the potential location for a future park within the Rib Mountain Drive/TID 1 Corridor Study and Master Plan. We do not disagree that a park would be neat, but unfortunately not financially feasible for our client and we would argue that it may not be the most appropriate placement being adjacent to an extremely busy vehicular corridor. However, we do feel that with careful design and planning of the site, certain placemaking elements/opportunities and environmental/greenspace enhancements could be introduced while preserving the commercial land use consistency along Rib Mountain Drive.

Our argument for pursuing PD (Planned Development) Zoning is primarily driven by the setback constraints created by the existing stream & wetland cutting through the property. Due to these constraints eliminating the properties feasible developable area, we are requesting relaxation of certain zoning & shoreland standards (see below for specific variance requests). This would allow a building to be constructed large enough to be financially feasible. Additionally, we are proposing more prominent pedestrian connectivity leading directly from the existing crosswalk through a corner outdoor space providing seating, bike parking and sculptural opportunities.

Shoreline Restoration & Stormwater Management

In many situations, developers would often rather bury existing streams, piping them end to end to maximize development opportunities and eliminate the issues of site restrictions. This has never been the goal of our client. Instead, the stream itself is being viewed as a natural amenity to restore and highlight rather than eliminate. Special attention has been taken to reduce the crossing to the narrowest width possible to reduce impacts to the stream/wetlands yet still provide a safe pedestrian & vehicular crossing. The shoreland areas will additionally be cleaned up and restored with rip rap along both sides and native prairie seeding & plant material to support the banks and protect against erosion. Although there are no stormwater management practices required of the site due to its small size, our client wants to propose the implementation of rain garden systems that will help collect some of the onsite runoff and help infiltrate that water prior to it entering the stream/wetland environment.

Floodplain Study

A floodplain study was conducted to ensure that there will be no impacts to flood elevations off the property. This study documents that there is no increase of flood elevation outside of the subject property with the current general development plan being proposed (Please refer to the attached floodplain document for more detail).

Wetland Delineation

A wetland delineation was completed by Star Environmental, Inc., in September 2024. A total of 940 square feet of wetland disturbance and 890 square feet of stream disturbance is anticipated for the project which has been permitted/approved by the DNR. Temporary disturbances may include an additional 200 square feet or so of stream and wetland impacts due to the implementation of best management practices, additional rip rap for erosion control along both banks and stream diversion or bypass during installation of the dual culverts. Hydrology to the remaining wetlands and stream will be maintained because the wetland complex coincides with the stream corridor and floodplain and the same volume of water will be conveyed through existing remaining wetlands and stream with the proposed stream crossing.

Wetland Protection

Due to the proposed impacts and close proximity to the creek/wetlands, Measures will be taken during the duration of construction to protect them. The contractor is to install erosion control BMP's prior to beginning any earth moving activities. Specifically, inlet protection and silt fence are to be installed adjacent to the existing wetlands during construction following the attached grading and erosion control plans. Silt fence will be installed around any topsoil stockpile that is left dormant for 7 or more days. The silt fence, inlet protection, and erosion bales (if necessary) will be maintained by the contractor and remain in place until the site has been deemed stabilized. Upon final stabilization, stormwater runoff will be conveyed to appropriate stormwater management areas (rain gardens). Hydrology will be maintained to the remaining wetlands and stream corridor.

Construction Schedule:

The project is planned to begin construction in the early summer of 2025 and be complete by fall/winter of 2025 and will be constructed with earthmoving equipment such as an excavator and bulldozer. Perimeter erosion and sediment controls such as silt fence and inlet projection will be installed prior to land disturbing activities. The stream will be protected during construction using best management practices for diverting and bypassing existing stream flow which would include all or some of the following: non-erodible coffer dams, turbidity barriers, silt fence, erosion control logs, bypass pumping, and temporary settling traps or filtering bags. Inlet or culvert protection is to be added to newly installed storm structures. Any stockpiled soils remaining onsite will have silt fence placed around its perimeter if the piles are to remain inactive for 7 days or longer. Final restoration of vegetated areas will consist of topsoil, native prairie seed, fertilizer, and mulch. Erosion mat will be placed on slopes 4:1 or greater and riprap will be added at concentrated discharge points. All temporary erosion control devices will be removed as part of the final restoration phase.

Summary of Rib Mountain Drive Corridor Study Design Principle being Proposed:

- **Bring Buildings to the Street** - *Creation of pedestrian friendly environments with outdoor seating opportunities, pedestrian circulation, bike parking and sculptural areas.*
- **Creating Green Spaces** - *Approx. 50% of this site will remain green, the shoreland areas will be revitalized and a system of rain gardens/stormwater management strategies will be implemented to help infiltrate stormwater.*

Summary of Proposed Zoning Code Variances:

- We are requesting the site be rezoned from GC to PD
- We are requesting a building setback reduction from 35' to 25' along the north lot line
- We are requesting a stream setback reduction from 50' to 20' for the proposed building & parking surface.

Please contact us if you need any additional information to complete the review and approval of this request.

Sincerely - REI Engineering, Inc.

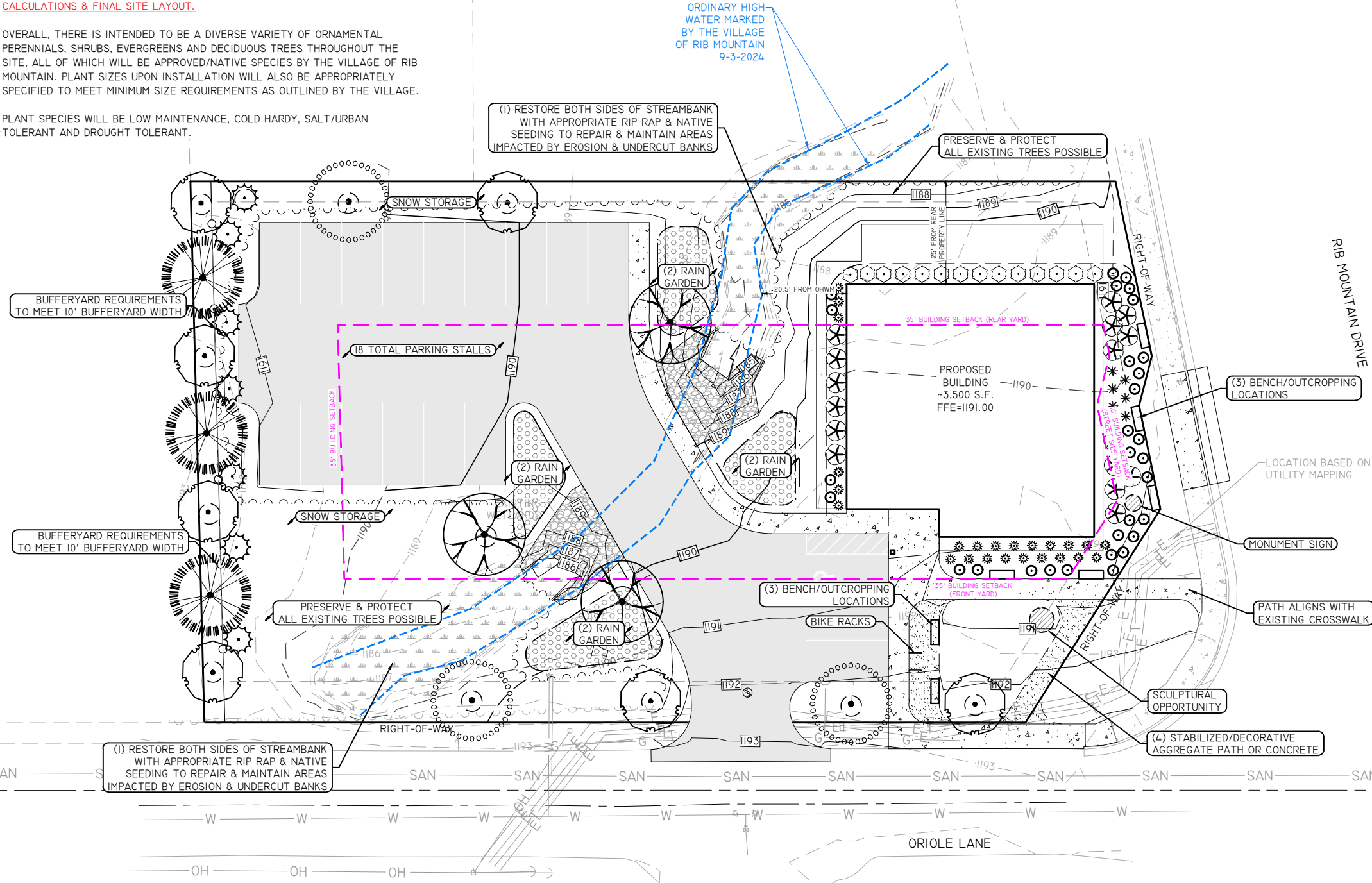
GENERAL LANDSCAPE TREATMENT:

THE OVERALL GOAL OF THE LANDSCAPE PLAN IS TO ACCOMMODATE ALL LANDSCAPE REQUIREMENTS AS OUTLINED BY THE VILLAGE OF RIB MOUNTAIN PER THE EXISTING ZONING CODE TO EVERY EXTENT POSSIBLE. THE PROPOSED GENERAL LANDSCAPE PLAN INDICATES APPROXIMATE AREAS THESE REQUIREMENTS ARE INTENDED TO BE ACCOMMODATED TO ADDRESS THE STANDARD CATEGORIES OF BUILDING FOUNDATIONS, DEVELOPED LOTS, STREET FRONTAGES, PAVED AREAS & BUFFERYARDS. ***FINAL PLANT QUANTITIES, MATERIALS & ARRANGEMENTS MAY VARY DEPENDING ON POINT REQUIREMENT CALCULATIONS & FINAL SITE LAYOUT.**

OVERALL, THERE IS INTENDED TO BE A DIVERSE VARIETY OF ORNAMENTAL PERENNIALS, SHRUBS, EVERGREENS AND DECIDUOUS TREES THROUGHOUT THE SITE, ALL OF WHICH WILL BE APPROVED/NATIVE SPECIES BY THE VILLAGE OF RIB MOUNTAIN. PLANT SIZES UPON INSTALLATION WILL ALSO BE APPROPRIATELY SPECIFIED TO MEET MINIMUM SIZE REQUIREMENTS AS OUTLINED BY THE VILLAGE.

PLANT SPECIES WILL BE LOW MAINTENANCE, COLD HARDY, SALT/URBAN TOLERANT AND DROUGHT TOLERANT.

Received 5/6/2025



KEYED NOTES

1. SHORELAND RESTORATION AREAS: AGRECOL, SHORTGRASS PRAIRIE FOR MEDIUM SOILS, APPLY GLYPHOSATE HERBICIDE TO AREA WHEN MAJORITY OF WEEDS ARE 2"-3" TALL. WAIT 10 DAYS THEN FINELY TILL THE SOIL ONLY 1"-2" DOWN AND PLANT IMMEDIATELY BY HAND BROADCASTING AT A RATE OF 11 LBS/ACRE. RAKE OR DRAG AREA LIGHTLY, COVERING THE SEED WITH ABOUT 1" TO 1 1/2" OF SOIL. ROLL AREA FIRMLY AFTER RAKING. MULCH PRAIRIE SEEDING AREAS LESS THAN 4:1 SLOPE WITH 1" OF WEED FREE STRAW MULCH. APPLY WISDOT NET-FREE CLASS I, URBAN TYPE B EROSION MAT ON SLOPING AREAS STEEPER THAN 4:1. *REFER TO AGRECOL'S "NATIVE SEEDING INSTRUCTIONS" ON THEIR WEBSITE FOR DETAILED INSTRUCTIONS/GUIDELINES FOR SUCCESSFUL SEED ESTABLISHMENT AND MANAGEMENT. (LINK BELOW)

HTTPS://WWW.AGRECOL.COM/NATIVE-SEEDING-INSTRUCTIONS_EP_44.HTML
2. RAIN GARDENS, AGRECOL, RAINWATER RENEWAL PLUGS, 6" O.C. -OR- AGRECOL, RAINWATER RENEWAL NATIVE VEGETATED MAT (NVM), SELECT ONE OPTION TO INSTALL BASED ON PREFERENCE. REFER TO AGRECOL.COM FOR DETAILED INSTALLATION & SITE PREPARATION GUIDELINES/INSTRUCTIONS FOR EACH ALTERNATIVE. MULCH PLUGGED AREAS WITH 1" OF WEED FREE STRAW MULCH OR WOOD MULCH PRIOR TO INSTALLATION. *REFER TO THE WI DNR GUIDELINES FOR RAINGARDEN CONSTRUCT AND MAINTENANCE.
3. ACCENT BOULDERS/SEAT WALLS, (48" X 18" X 18") LIMESTONE BLOCKS/CUBES, PLAN SYMBOL: [Symbol]
4. KAFKA GRANITE WAX POLYMER PATHWAY MIX. COLOR TO BE DETERMINED BY OWNER. INSTALL PER MANUFACTURER SPECIFICATIONS.

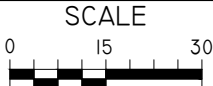
PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME
DECIDUOUS TREES		
[Symbol]	Red Oak	Quercus rubra
[Symbol]	Sugar Maple	Acer saccharum
[Symbol]	Swamp White Oak	Quercus bicolor
EVERGREEN TREES		
[Symbol]	Black Hills White Spruce	Picea glauca 'Densata'
[Symbol]	White Pine	Pinus alba
DECIDUOUS SHRUBS		
[Symbol]	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'
EVERGREEN SHRUBS		
[Symbol]	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'
PERENNIALS		
[Symbol]	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'
[Symbol]	Prairie Dropseed	Sporobolus heterolepis
[Symbol]	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'

REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784 FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING



DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				BDE, AJB	LAZ	7-29-2024
				SURVEY CHKD BY: JLR	CIVIL CHKD BY: JJB	CIVIL DATE: 03/14/2025
				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: KJS

GENERAL DEVELOPMENT PLAN
EBNER PROPERTY
226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401

REI
REI No. 11667
SHEET C400

DRAWING FILE: Q:\11600-11699\11667 - TYLER TATE - 226904 RIB MOUNTAIN DRIVE - MARATHON COUNTY\DRAWING\PLANS\11667-C400-GENERAL DEVELOPMENT PLAN.dwg LAYOUT: C400
PLOTTED: MAY 06, 2025 - 12:04PM PLOTTED BY: KURT



S ARCHITECTURE
33 SE 4TH STREET, SUITE 100
BOCA RATON, FL 33432
561.835.5515
WWW.SARCHITECTURE.COM
AA26003746

SEAL:

PRELIMINARY

MATTHEW R. FORGET // REG. FL. NO. AR95364
CLIENT / PROJECT ADDRESS:

226904 RIB
MOUNTAIN
DRIVE

226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401

REVISIONS:

NO.	DATE	DESCRIPTION
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KEY PLAN:

PROJECT NUMBER: 24-042

DATE ISSUED: 2025-03-04

SHEET TITLE:

RENDERINGS

SHEET NO.:

A901



SK ARCHITECTURE
SKDESIGN.COM



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SKDESIGN.COM



REZONE/GENERAL DEVELOPMENT PLAN DETERMINATION REPORT

FROM:	Jared Grande, Community Development Director		
DOCKET No.	2025-007	HEARING DATE:	April 9, 2025
APPLICANT:	Kurt Schmidt, REI, 4080 N. 20 th Ave, Wausau, WI 54401		
OWNER:	REALCO WISCONSIN LLC, 153105 Cloverland Ln, Wausau, WI 54401		
LOCATION:	226904 Rib Mountain Dr.		
DESCRIPTION:	Rezoning of 0.692 acres from General Commercial (GC) to Planned Development (PD) (Ord. #2025-01) and General Development Plan located at 226904 Rib Mountain Dr.		

The Department of Community Development of the Village of Rib Mountain, pursuant to the Village of Rib Mountain Zoning Code, Subchapter 11 Processes, Section 17.223 Amendment of Official Zoning Map Procedures, hereby makes the following findings and evaluation to the Village of Rib Mountain Plan Commission:

GENERAL INFORMATION

CURRENT ZONING:	UC Urban Commercial
DEFINITION: 17.035(3)(E)	<p>This district is intended to be located along primary traffic corridors where users are transitioning from developed neighborhoods to the Corridor Commercial district. Development includes office, retail, personal professional services, restaurants, etc. with relatively low maximum Floor Area Ratios (FARs) allowing large and small-scale development served by public sewer and water which enhance the overall suburban community character. Auto-oriented uses are prohibited in this district.</p>
PROPOSED ZONING:	PD Planned Development District
DEFINITION: 17.233(1) & (2)	<p>This district is intended to provide for flexible development by allowing a variety of urban standards to be considered. This District is designed to forward both aesthetic and economic objectives of the Village by controlling the site design and the appearance, density, or intensity of development within the district in a manner which is consistent with sound land use, urban design, and economic development principles.</p> <p>The purpose of the Planned Development District is also to promote the maximum benefit from coordinated area site planning, diversified location of structures and mixed compatible uses in developments conceived and implemented as comprehensive and cohesive unified projects. It is further intended to encourage and facilitate the conservation of open land and other natural features, such as woods, streams, wetlands, etc., as integral components of a balanced ecology. The intent of these regulations is to provide for the development of land on the basis of comprehensive and coordinated site plans for a specific project development, regulated by objective criteria rather than through the application of fixed formulae, thereby allowing for greater flexibility and improved quality of environmental design.</p>



Such a district may be established only with the consent of the owners of the land affected. Principal uses are variable.

(a) The Planned Development District (PD) provides a regulatory framework to encourage improved environmental design by allowing flexibility in the development that cannot be approved within one of the other zoning districts, and that demonstrates a high degree of design quality or accomplishes an important public purpose of land while adhering to the Village of Rib Mountain Comprehensive Plan and policies.

(b) To achieve the community benefits of the Planned Development District (PD) zoning, it is generally true that the project size should be large enough to allow clustering and to establish a coherence of design. For all projects, the petitioner should clearly demonstrate the public benefits of the PD approach over those provided by adherence to the zoning standards provided by this Ordinance.

(c) The PD district may not be used primarily for the purpose of providing a variance from or exceeding the standards established in the Village's conventional zoning districts. (d) The PD district is available in any future land use category designated in the Village of Rib Mountain Comprehensive Plan and provides a discretionary review process for projects that are consistent with the policies of that plan.

(e) There is no minimum land area required to establish a PD district.

(f) The Planned Development District has no "set" standards or specifications. Developers can propose uses or a combination of uses and configurations of intensity and density of development. Through a process of both informal and formal Plan Commission review and Village Board review and approval, accompanied by discussions with developers and, as appropriate, with other interested parties, a binding development agreement is reached between the property owner and the Village of Rib Mountain. The details of this agreement constitute the zoning controls of the property. These controls have the same legal force and effect as standard zoning requirements.

FUTURE LAND USE

Suburban Flex (Comp Plan); Recreation (Rib Mountain Drive/TID 1 Master Plan & Corridor Study adopted Sept. 7, 2021)

FLU DESCRIPTION:

Vibrant, pedestrian-orientated mixed residential and commercial development which allows for people to live, work, shop and obtain daily services within a walking distance. Carefully blended to include a mix of uses on one site or adjacent sites which integrate with one another. These areas shall be served public sewer and water facilities as this designation is within the 2040 sewer service boundary.

TYPICAL ZONING DISTRICT:

- MR-4 Mixed Residential
- UR-8 Urban Residential
- NC Neighborhood Commercial
- SO Suburban Office
- SC Suburban Commercial
- UC Urban Commercial

**DENSITY:**

Minimum lot sizes per the associated zoning district.

DEVELOPMENT POLICIES:

1. All development shall incorporate and integrate with adjacent existing residential uses, if none, a residential component of the project would be strongly recommended when located within or adjacent to an existing neighborhood.
2. Promote shared off-street parking
3. Promote the creation of 3rd places
4. Promote the interconnection of the road and trail networks within and among neighborhoods.
5. Promote infill and redevelopment projects at outdated sites.
6. New development should be multi-storied and mixed-used when practical.
7. Setbacks should be reduced where appropriate.
8. At the time of development, sidewalks should be constructed in the right-of-way, with the intent to connect to Rib Mountain Drive and Robin Lane or to any adjacent sidewalks.
9. Big Box or regional retail should be confined to areas closest to Rib Mountain Drive and not within established neighborhoods, specifically on the areas mapped east of Rib Mountain Drive.

REVIEW OF PERFORMANCE STANDARDS

a) TBD (To be Determined)

The application cover sheet indicates potential uses including office, professional space, or light retail. Depending on the allowable uses, certain performance standards are associated with such land use (Detailed Land Use Descriptions and Regulations).

BACKGROUND INFORMATION

Village staff were engaged with the previous owner including doing an inspection of the current home to assess the status and whether a raze order would be ordered by the Village. From my understanding, there has been some involvement in the past by the Village, but nothing requiring actions to be taken by the owner(s) of the house; the current owner was aware of the Village's involvement of the property. Through the years of development and redevelopment of Rib Mountain Drive, this property is one of the remaining residential uses left and was also noted in the Rib Mountain Drive Corridor study [here](#) as Case Study #3 (see page 53 of the study). The recent incorporation of the community has allowed potential redevelopment of the site giving the Village discretion on the direction of the property. The owner has engaged the Village regarding potential TIF financing with the property not within the TID boundary, but within a half mile. A wetland delineation and [H&H analysis](#) have been completed.

CURRENT PROPERTY CONDITIONS

A dilapidated single-family home and detached garage likely with lead-based paint present. Additionally, there is a navigable waterway dissecting the property. The property has two road frontages, Rib Mountain Drive and Oriole Ln with the property currently accessing off Rib Mountain Drive.

STANDARDS WHICH WILL NOT BE MET

- Building setback reduction from 35' to 5' along Rib Mountain Drive (street side setback).



- Building setback reduction from 25' to 10' along the north lot line (rear yard setback).
- We are requesting a stream setback reduction from 50' to 10' for the proposed building & parking surface.

EVALUATION

REZONE

1. Is in harmony with the Comprehensive plan.

Yes, the PD is a special zoning district that can be applied in various situations. In this instance, the PD is being utilized for a single tenant office, professional space, or light retail use. The Rib Mountain Drive corridor plan identified this property as Case Study #3 as a potential park. However, that was prior to the incorporation of the community to a "Village". Also, the conceptual park in the corridor plan would require additional land acquisition.

2. Advances the purposes of this Chapter as outlined in Section 17.1.03 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA)

Chapter 17 is written to implement the Comprehensive Plan to the extent possible under zoning. The rezone to the PD allows greater development of the overall property. There are challenges involved with the property which has inhibited redevelopment in the past. The application cover sheet indicates the development of the site to address a blighted property in a predominant area of the community.

3. Addresses any of the following factors that are not properly addressed on the current Official Zoning Map:

1. The designations of the Official Zoning Map are not in conformance with the Comprehensive Plan.
2. A mistake was made in mapping on the Official Zoning Map. That is, an area is or has developed in a manner and purpose different from that for which it is mapped. If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the Village may intend to stop an undesirable land use pattern from being perpetuated.
3. **Factors have changed, such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes, making the subject property more appropriate for a different zoning district.**
4. **Growth patterns or rates have changed, thereby creating the need for a rezoning.**

The community incorporated and with so, now administer and oversee shoreland, shoreland-wetland, and floodplain regulations. The PD district was always an option, however other jurisdictions would be involved in the allowance of developing the property. As a Village, we have more autonomy on overlay districts including shoreland. The Rib Mountain Drive Corridor Study was also adopted on September 7, 2021.

4. Maintains the desired overall consistency of land uses, land use intensities, and land use impacts within the pertinent zoning districts.

The initial Future Land Use Map in the 2020 Comprehensive Plan shows the properties as Suburban Flex, however the newly adopted Future Land Use Map part of the Rib Mountain Drive Corridor Study identifies this area as Recreation. The Planned Development allows flexibility not requiring amending the future land use map. The proposed uses fit within the development and redevelopment of Rib Mountain Drive. Single-family residential is not a supported use along Rib Mountain Drive.

GENERAL DEVELOPMENT PLAN



As the key step in its review of the proposed PD/GDP the Plan Commission shall make explicit findings specifically in regard to the following:

1. Character and intensity of land use: the uses proposed and their intensity and arrangement on the site:
 - a. Respect the physical attributes of the site with particular concern for preservation of protected natural resource areas, and open space;
 - b. Produce an attractive environment of sustained aesthetic and ecological desirability, economic stability and functional practicality which is compatible with the planned development of the area;
 - c. Do not adversely affect the anticipated provision of school or municipal services; and
 - d. Do not create a traffic or parking demand incompatible with the existing or proposed facilities to serve it.
2. Engineering Design Standards: Streets, drives, walkways and paths, outdoor lighting, provision for storm water drainage, sanitary sewer service, water supply, or other similar environmental and municipal engineering considerations are based on appropriate standards necessary to implement the specific function and the specific situation, and in not instance are less than those necessary to achieve the public health, safety and welfare as determined by the Village.
3. Preservation and maintenance of open space in a Unified Development District; Provision has been made for the preservation and maintenance of appropriate open spaces either by public reservation or dedication to public entities, or by commitment to preservation by a private entity. UDD contracts shall contain specific reference to the ownership of such open space areas and to provision for maintenance.

STAFF COMMENTS

The property poses unique challenges for any development which more than likely contributed to it being identified as Case Study #3 in the Corridor Study. However, incorporation providing the most significant change, it has presented an opportunity to develop the property. The [Rib Mountain Drive / TID No. 1 Corridor Study and Master Plan](#) in chapter three (3): Vision and Goals, laid out nine (9) goals: **Destination, Multi-Modal, Function/Appearance, Economic Development, Best Use, Gathering, Natural Beauty, Partnership, and Place**. The proposed development, as presented in the GDP, appears to address a majority of the goals, with potentially a few more (depending on the Precise Impleemntaiton Plan).

Reviewing the application materials and site plan, staff does have concern regarding the proposed setback to the waterway knowing there are intermittent times the waterway has large volumes of water carrying through causing erosion control. This was evident by staff doing the ordinary high water marking previously; the different banks at the meandering point have been eroded and more than likely will continue to erode.

POSSIBLE ACTIONS TO BE TAKEN

RECOMMEND APPROVAL: Plan Commission recommends approval of the rezone request from GC to PD/General Development Plan and forwards the recommendation on to the Village Board for the April 15, 2025, meeting. The Plan Commission's findings and recommendations regarding the proposed UDD/GDP shall be made in a written report to the Village Board. A complete set of maps, plans and written documentation fully describing the proposed development as recommended by the Plan Commission at the GDP level shall accompany the report of the Plan Commission.



RECOMMEND APPROVAL WITH MODIFICATIONS: Plan Commission recommends approval of the request to modify the existing General Development Plan with the following conditions, with additional (or less) conditions, as discussed and forwards the recommendation to the Village Board for the April 15, 2025, meeting. The Plan Commission's findings and recommendations regarding the proposed UDD/GDP shall be made in a written report to the Village Board. A complete set of maps, plans and written documentation fully describing the proposed development as recommended by the Plan Commission at the GDP level shall accompany the report of the Plan Commission.

DEFER ACTION: Defer action on the request based on insufficient material/evidence provided by the applicant or uncertainty among the commissioners based on evidence presented at the public hearing. A recommendation shall be made within 60 days of submittal of the application. If the Plan Commission chooses not to make a recommendation or fails to make a recommendation to the Village Board within 60 days of the submittal of the application, then the Village Board shall hold the public hearing without a Plan Commission recommendation.

RECOMMEND DENIAL: Plan Commission recommends denial of the rezone request from GC to PD/General Development Plan and forwards the recommendation on to the Village Board for the April 15, 2025, meeting.



March 17, 2025

Village of Rib Mountain
227800 Snowbird Ave.
Wausau, WI 54401



Subject: Zoning Map Amendment & General Development Plan Written Rationale
Subject Property: 226904 Rib Mountain Drive

Client Statement:

"The site located at 226904 Rib Mountain Drive was chosen for redevelopment for several reasons. My first reason for purchasing this property was to create something the community could be proud of, not something to be afraid of. The current structure located on the property has been a negative subject of discussion and a blight on the community for many years. For as long as I can remember, it has always been a place my neighbors talked about negatively. When I lived on Oriole Lane a few properties to the west, the parents in the neighborhood would not allow their kids to go near the property for fear of the children either falling into the unprotected creek or because of the piles of debris and glass littered throughout the premises that at times were present on the road. One item I would like to see on the property are seating opportunities, bike parking, bike/pedestrian paths and safety measures/shoreline restoration along the creek to make the place more comfortable/safe for the neighborhood. As it is still very early in this process, I do not know the viability of this, but a partnership with the Village of Rib Mountain on the addition of improved community aspects and third spaces are welcome.

Over the last few years of living in Rib Mountain, I began asking the residents nearby on Oriole Lane and other parts of Rib Mountain what they wanted to see accomplished and if it was possible to obtain this goal without damaging the natural integrity. Based on our conversations with nearby residents, we concluded that this project would make a positive impact in multiple ways. Not only would developing this specific property benefit the community by removing the current structure which provides no economic or visual value and replacing it with a business, which further improves the Rib Mountain economy, but it would also allow me to clean and restore some of the natural terrain around the wetland & creek system that has been neglected for far too long.

Our proposed design improves upon accessibility with parking along the building and a small parking lot behind the building, which is a change in the site layout that aligns with the Villages master plan for more efficient usage of parking spaces. This building plan, as currently presented, would have suitable office spaces to meet the business's needs, a conference room overlooking Rib Mountain Drive, and a reception area that is welcoming to any passing pedestrians constructed in a way which effectively uses the space while still maintaining maximum greenspace and causing as minimal disturbance to the wetlands & creek system as possible.

The building would be a single commercial tenant with use as office, professional space, or light retail to encourage a long-term business to invest in our community. In developing this property, our goal would be to preserve, protect & maintain a maximum amount of existing trees and greenspace as construction will allow while combining natural building materials and large glass windows on the exterior of the building with a balanced modern environment on the interior. Due to the current zoning being commercial, we would not be using the property as a residential dwelling as it has been used in previous years and future uses would be in line with both zoning and the Village of Rib Mountain's master plan. The proposed building would be about 5' off the Rib Mountain Drive right-of-way line, however

after discussions with the Village, it is our understanding that this building design would be the beginning of a change in how commercial buildings in Rib Mountain would be laid out in correlation to the road in order to better utilize space. We are seeking PD zoning due to the complexity of the parcel and challenges both physically and financially that are caused by maintaining the natural integrity of the land, greenspace, and the creek. We would like the Village of Rib Mountain to be a partner in this project to help us create community third spaces that are inviting to the public such as; extending the sidewalks to the vehicle entrance & crosswalk on Oriole Lane, adding park style or stone seat wall benches and greenery along the Southeast corner of the property to allow pedestrians to sit or rest while walking along the Rib Mountain Drive corridor, the addition of several bicycle racks to allow pedestrians a place to stop and park whether for recreational use and/or for the employees of the tenant, and burying power lines from Oriole Lane on the south side of the property to improve safety & visual aesthetics. –Tyler Tate”

Project Summary:

The REI team is representing our client (Tyler Tate) concerning the redevelopment of an existing property within the Village of Rib Mountain. The property is located at 226904 Rib Mountain Drive and is currently zoned GC (General Commercial). Due to certain environmental and zoning constraints, we are pursuing a zoning amendment of the property to PD (Planned Development District).

The intent of the Zoning Map Amendment and General Development Plan is to propose a redevelopment strategy for the currently blighted parcel that better serves the Village of Rib Mountain and revitalizes an important gateway to the commercial corridor. The subject property has been acquired and conceptually designed (refer to plan set attached) with the goal of presenting an effective solution for how this can be accomplished with minimal impacts to the environmental constraints and minimal requests to vary from the requirements of underlying zoning.

A pre-application conference and multiple project correspondence meetings have been conducted with the Village & DNR to review the proposed development strategy. Due to an intermittent stream cutting through the center of the property, it has rendered the site undevelopable & blighted as it currently exists. This is an issue due to the property's pivotal location within the Village's most prominent commercial corridor and a growing safety concern of the adjacent residential neighborhood.

In order to alleviate the constraints of the existing stream, the development plan is proposing a narrow stream crossing utilizing dual culverts to allow vehicular and pedestrian traffic to safely access a parking field at the back of the lot which would support a proposed 3,500-5,000 SF commercial/office business fronting the corner of Rib Mountain Drive and Oriole. Without the crossing, there is no way to fulfill the on-site parking requirements of the business and village, therefore leaving the parcel undevelopable. The engineered culvert crossing and associated stream/wetland impacts have been submitted to & approved by the DNR to confirm feasibility and site suitability.

The proposed land use of a commercial/office building aligns perfectly with the underlying zoning being GC (General Commercial) Even more appropriately than the current land use of single family residential. Therefore, we are not requesting a land use that falls outside of what is permissible per the existing zoning district. This parcel was recently proposed to be the potential location for a future park within the Rib Mountain Drive/TID 1 Corridor Study and Master Plan. We do not disagree that a park would be neat, but unfortunately not financially feasible for our client and we would argue that it may not be the most appropriate placement being adjacent to an extremely busy vehicular corridor. However, we do feel that with careful design and planning of the site, certain

placemaking elements/opportunities and environmental/greenspace enhancements could be introduced while preserving the commercial land use consistency along Rib Mountain Drive.

Our argument for pursuing PD (Planned Development) Zoning is primarily driven by the setback constraints created by the existing stream & wetland cutting through the property. Due to these constraints eliminating the properties feasible developable area, we are requesting relaxation of certain zoning & shoreland standards (see below for specific variance requests). This would allow a building to be constructed large enough to be financially feasible, then positioned in closer proximity to Rib Mountain drive to reduce impacts to the stream/wetland areas. This would additionally align with goals outlined within the Rib Mountain Corridor Master Plan that encourage to bring buildings to the street which creates a more pedestrian friendly environment and scale. Additionally, we are proposing more prominent pedestrian connectivity leading directly from the existing crosswalk through a corner greenspace area providing seating and bike parking opportunities.

Shoreline Restoration & Stormwater Management

In many situations, developers would often rather bury existing streams, piping them end to end to maximize development opportunities and eliminate the issues of site restrictions. This has never been the goal of our client. Instead, the stream itself is being viewed as a natural amenity to restore and highlight rather than eliminate. Special attention has been taken to reduce the crossing to the narrowest width possible to reduce impacts to the stream/wetlands yet still provide a safe pedestrian & vehicular crossing. The shoreland areas will additionally be cleaned up and restored with native prairie seeding & plant material to support the banks and protect against erosion. Although there are no stormwater management practices required of the site due to its small size, our client wants to propose the implementation of rain garden systems that will help collect some of the onsite runoff and help infiltrate that water prior to it entering the stream/wetland environment. (Please refer to the landscape plan on C400 of the plan attachments for more detail)

Floodplain Study

A floodplain study was conducted to ensure that there will be no impacts to flood elevations off the property. This study documents that there is no increase of flood elevation outside of the subject property with the current general development plan being proposed (Please refer to the attached floodplain document for more detail).

Wetland Delineation

A wetland delineation was completed by Star Environmental, Inc., in September 2024. A total of 940 square feet of wetland disturbance and 890 square feet of stream disturbance is anticipated for the project which has been permitted/approved by the DNR. Temporary disturbances may include an additional 200 square feet or so of stream and wetland impacts due to the implementation of best management practices for stream diversion or bypass during installation of the dual culverts. Hydrology to the remaining wetlands and stream will be maintained because the wetland complex coincides with the stream corridor and floodplain and the same volume of water will be conveyed through existing remaining wetlands and stream with the proposed stream crossing.

Wetland Protection

Due to the proposed impacts and close proximity to the creek/wetlands, Measures will be taken during the duration of construction to protect them. The contractor is to install erosion control BMP's prior to beginning any earth moving activities. Specifically, inlet protection and silt fence are to be installed adjacent to the existing wetlands during construction following the attached grading and erosion control plans. Silt fence will be installed around any topsoil stockpile that is left dormant for 7 or more days. The silt fence, inlet protection, and erosion bales (if necessary) will be maintained by the contractor and remain in place until the site has been deemed stabilized. Upon final stabilization, stormwater runoff will be conveyed to appropriate stormwater management areas (rain gardens). Hydrology will be maintained to the remaining wetlands and stream corridor.

Construction Schedule:

The project is planned to begin construction in the spring/early summer of 2025 and be complete by fall of 2025 and will be constructed with earthmoving equipment such as an excavator and bulldozer. Perimeter erosion and sediment controls such as silt fence and inlet projection will be installed prior to land disturbing activities. The stream will be protected during construction using best management practices for diverting and bypassing existing stream flow which would include all or some of the following: non-erodible coffer dams, turbidity barriers, silt fence, erosion control logs, bypass pumping, and temporary settling traps or filtering bags. Inlet or culvert protection is to be added to newly installed storm structures. Any stockpiled soils remaining onsite will have silt fence placed around its perimeter if the piles are to remain inactive for 7 days or longer. Final restoration of vegetated areas will consist of topsoil, native prairie seed, fertilizer, and mulch. Erosion mat will be placed on slopes 4:1 or greater and riprap will be added at concentrated discharge points. All temporary erosion control devices will be removed as part of the final restoration phase. Please refer to the attached grading and erosion control plan for a more detailed strategy.

Summary of Rib Mountain Drive Corridor Study Design Principle being Proposed:

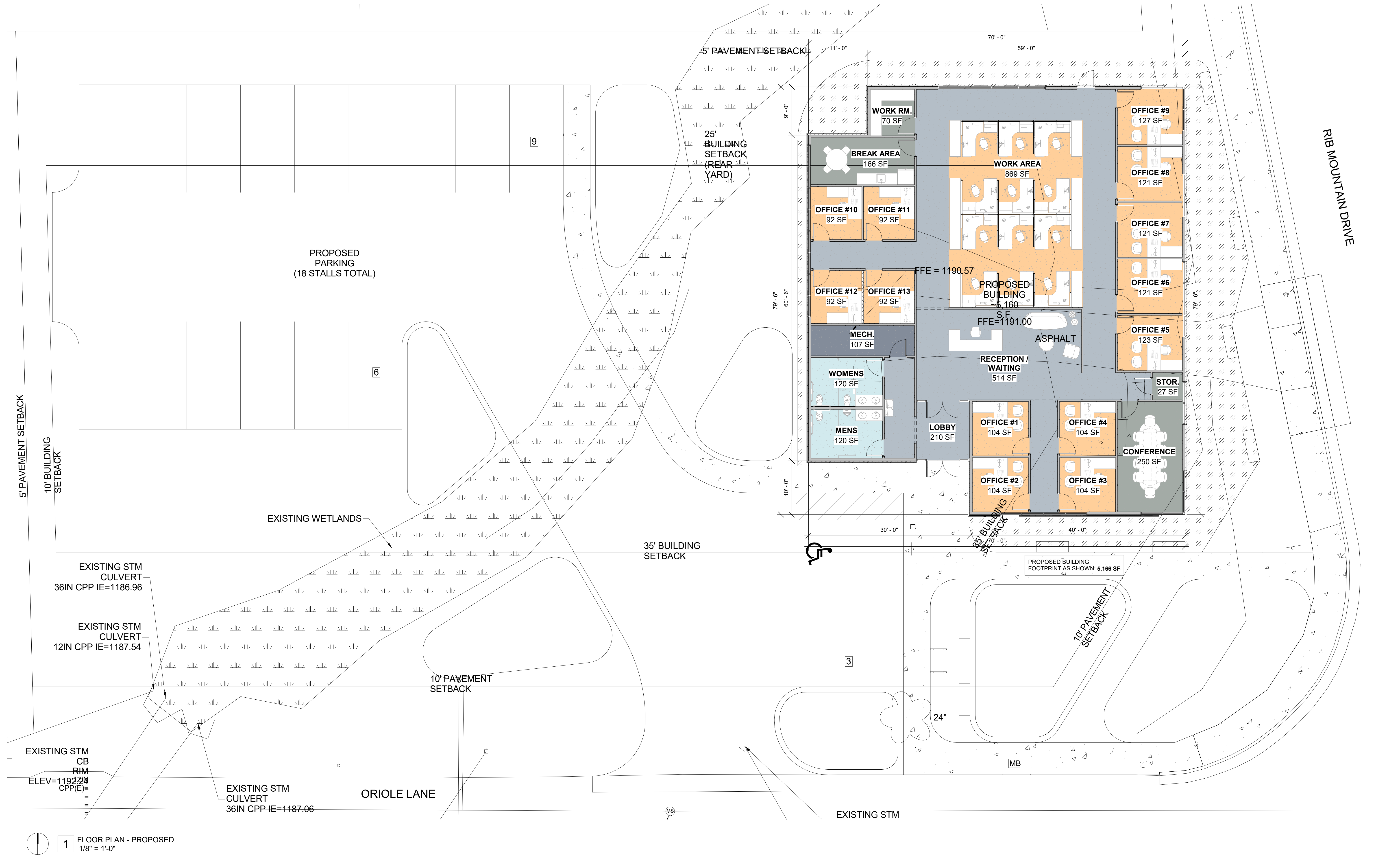
- **Bring Buildings to the Street** - *Creation of pedestrian friendly environments with outdoor seating opportunities, pedestrian circulation and bike parking areas.*
- **Creating Green Spaces** - *Approx. 50% of this site will remain green, the shoreland areas will be revitalized and a system of rain gardens/stormwater management strategies will be implemented to help infiltrate stormwater.*

Summary of Proposed Zoning Code Variances:

- We are requesting the site be rezoned from GC to PD
- We are requesting a building setback reduction from 35' to 5' along Rib Mountain Drive
- We are requesting a building setback reduction from 25' to 10' along the north lot line
- We are requesting a stream setback reduction from 50' to 10' for the proposed building & parking surface.

Please contact us if you need any additional information to complete the review and approval of this request.

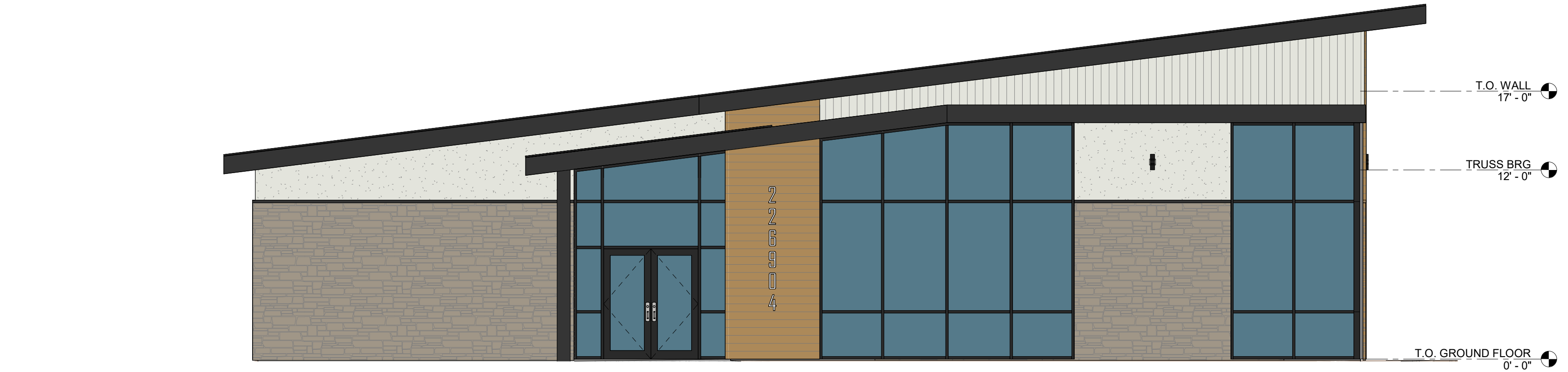
Sincerely - REI Engineering, Inc.



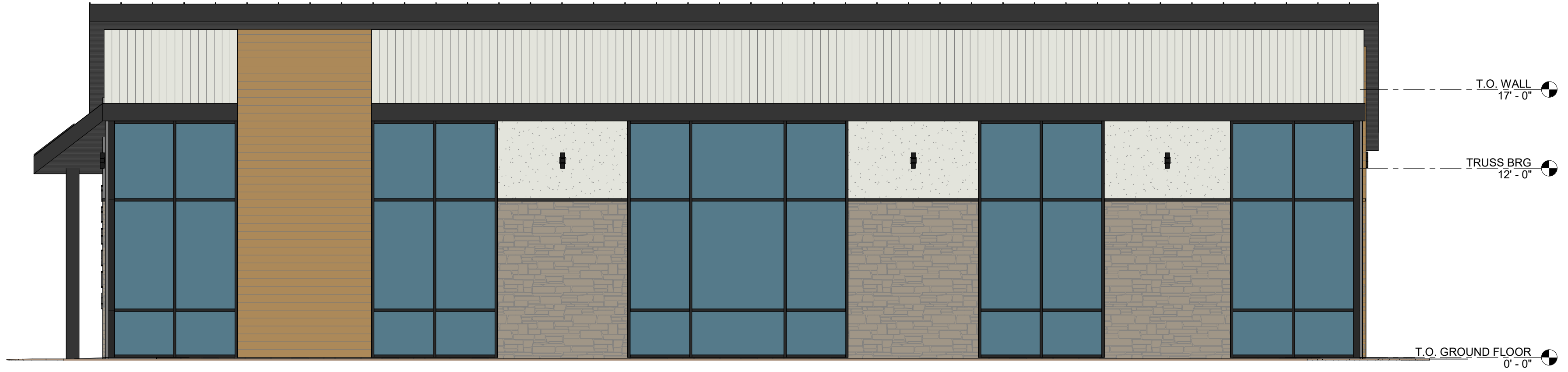
5 ARCHITECTURE
33 SE 4TH STREET, SUITE 100
BOCA RATON, FL 33432
561.835.5515
WWW.5ARCHITECTURE.COM
AA26003746

226904 RIB MOUNTAIN DRIVE
PROPOSED FLOOR PLAN
2025-03-04
24-042

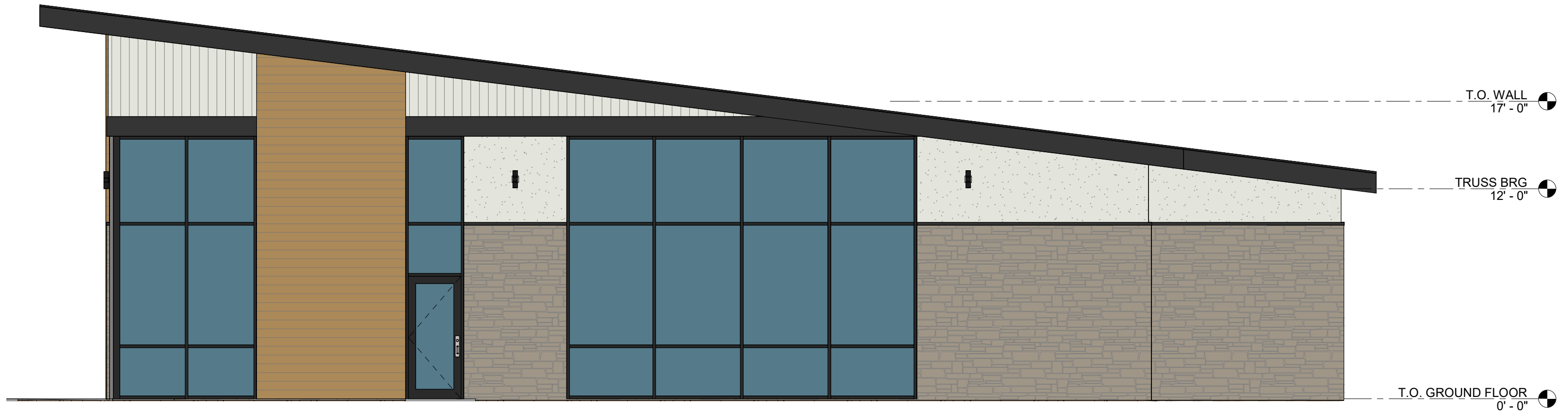
Autodesk Docu/226904 Rib Mountain Dr/24-042_226904 Rib Mt Dr_254.rvt
3/4/2025 10:39:49 AM



S SOUTH ELEVATION
3/16" = 1'-0"



E EAST ELEVATION
3/16" = 1'-0"



N NORTH ELEVATION
3/16" = 1'-0"



W WEST ELEVATION
3/16" = 1'-0"

EXTERIOR ELEVATION NOTES

1. XX

KEYNOTES

NOTE

EXTERIOR MATERIALS

MARK	DESCRIPTION	COLOR / MODEL
EM-2	Stone	



S ARCHITECTURE

33 SE 4TH STREET, SUITE 100
BOCA RATON, FL 33432
561.835.5515

WWW.SARCHITECTURE.COM
AA26003746

SEAL:

PRELIMINARY

MATTHEW R. FORGET // REG. FL. NO. AR95364

CLIENT / PROJECT ADDRESS:

**226904 RIB
MOUNTAIN
DRIVE**

226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401

REVISIONS:

NO.	DATE	DESCRIPTION
-----	------	-------------

KEY PLAN:

PROJECT NUMBER: 24-042

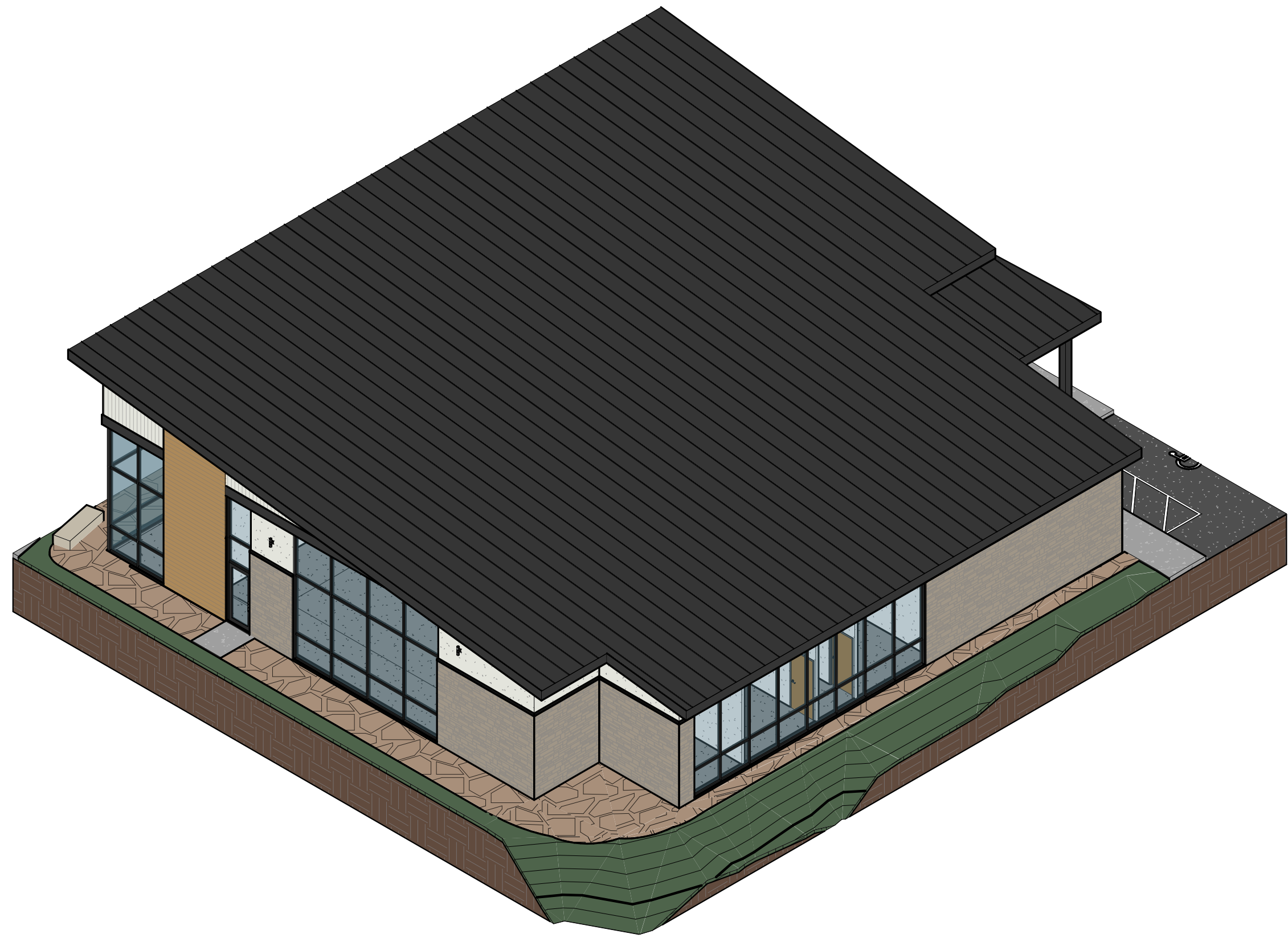
DATE ISSUED: 2025-03-04

SHEET TITLE:

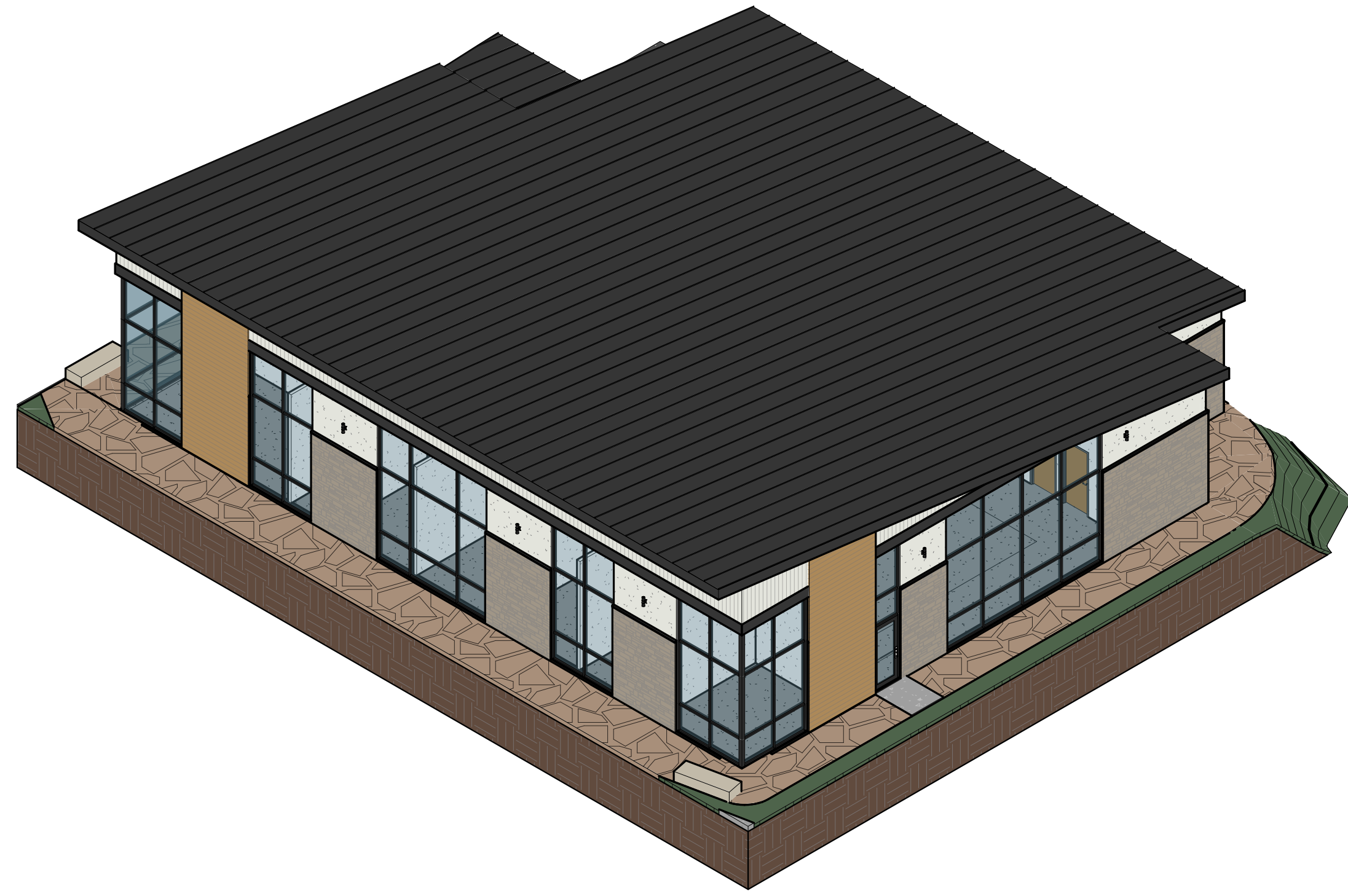
EXTERIOR ELEVATIONS

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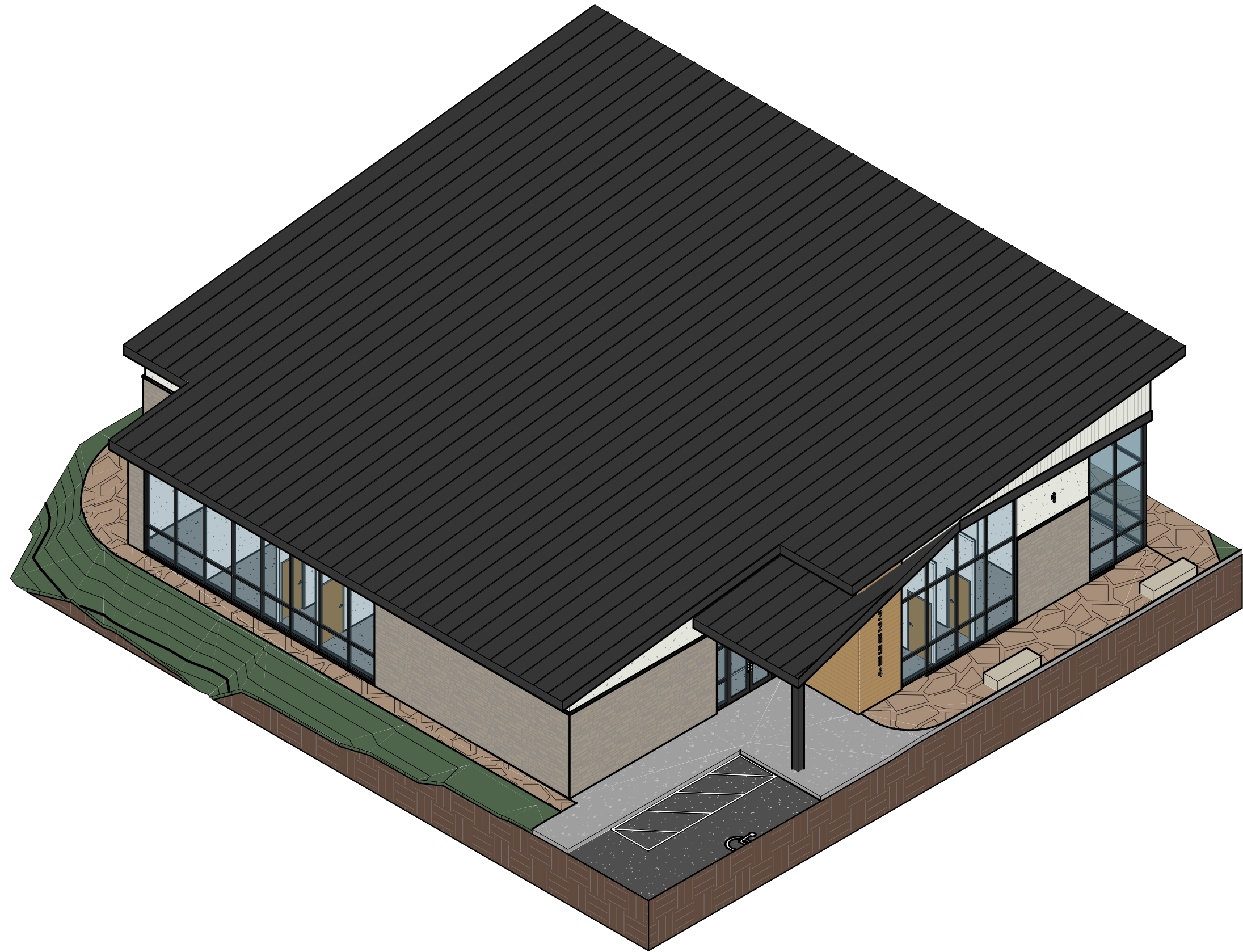
A200



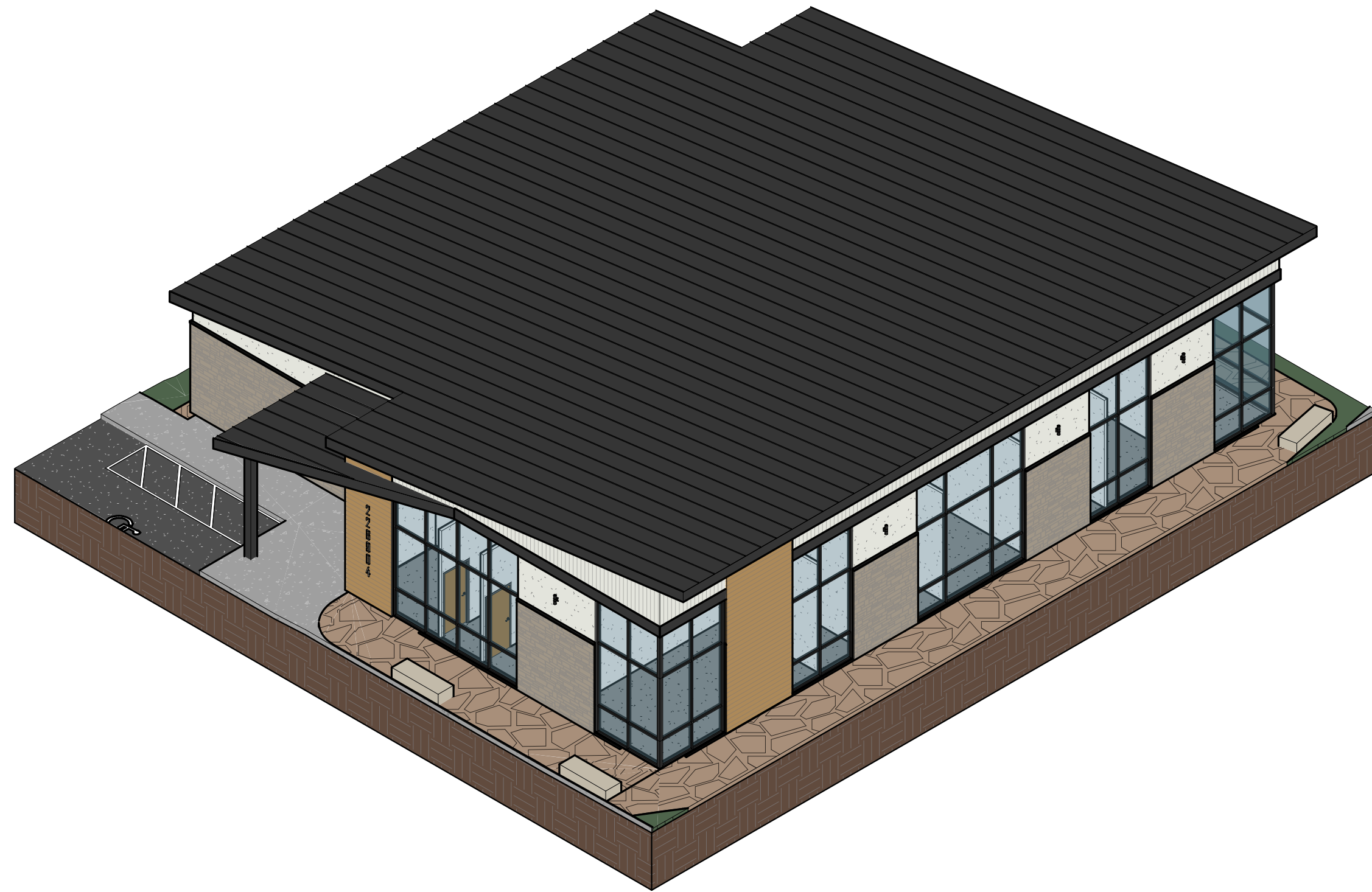
NW AXONOMETRIC - NW



NE AXONOMETRIC - NE



SW AXONOMETRIC - SW



SE AXONOMETRIC - SE



S ARCHITECTURE

33 SE 4TH STREET, SUITE 100
BOCA RATON, FL 33432
561.835.5515

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SEAL:

PRELIMINARY

MATTHEW R. FORGET // REG. FL. NO. AR95364

CLIENT / PROJECT ADDRESS:

**226904 RIB
MOUNTAIN
DRIVE**

226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401

REVISIONS:

NO.	DATE	DESCRIPTION
-----	------	-------------

KEY PLAN:

PROJECT NUMBER: 24-042

DATE ISSUED: 2025-03-04

SHEET TITLE:

3D DRAWINGS

SHEET NO:

A900



S ARCHITECTURE
33 SE 4TH STREET, SUITE 100
BOCA RATON, FL 33432
561.835.5515
WWW.SARCHITECTURE.COM
AA26003746

SEAL:

PRELIMINARY

MATTHEW R. FORGET // REG. FL. NO. AR95364
CLIENT / PROJECT ADDRESS:

226904 RIB
MOUNTAIN
DRIVE

226904 RIB MOUNTAIN DRIVE WAUSAU, WISCONSIN 54401		
REVISIONS:		
NO.	DATE	DESCRIPTION

KEY PLAN:

PROJECT NUMBER:	24-042
DATE ISSUED:	2025-03-04
SHEET TITLE:	

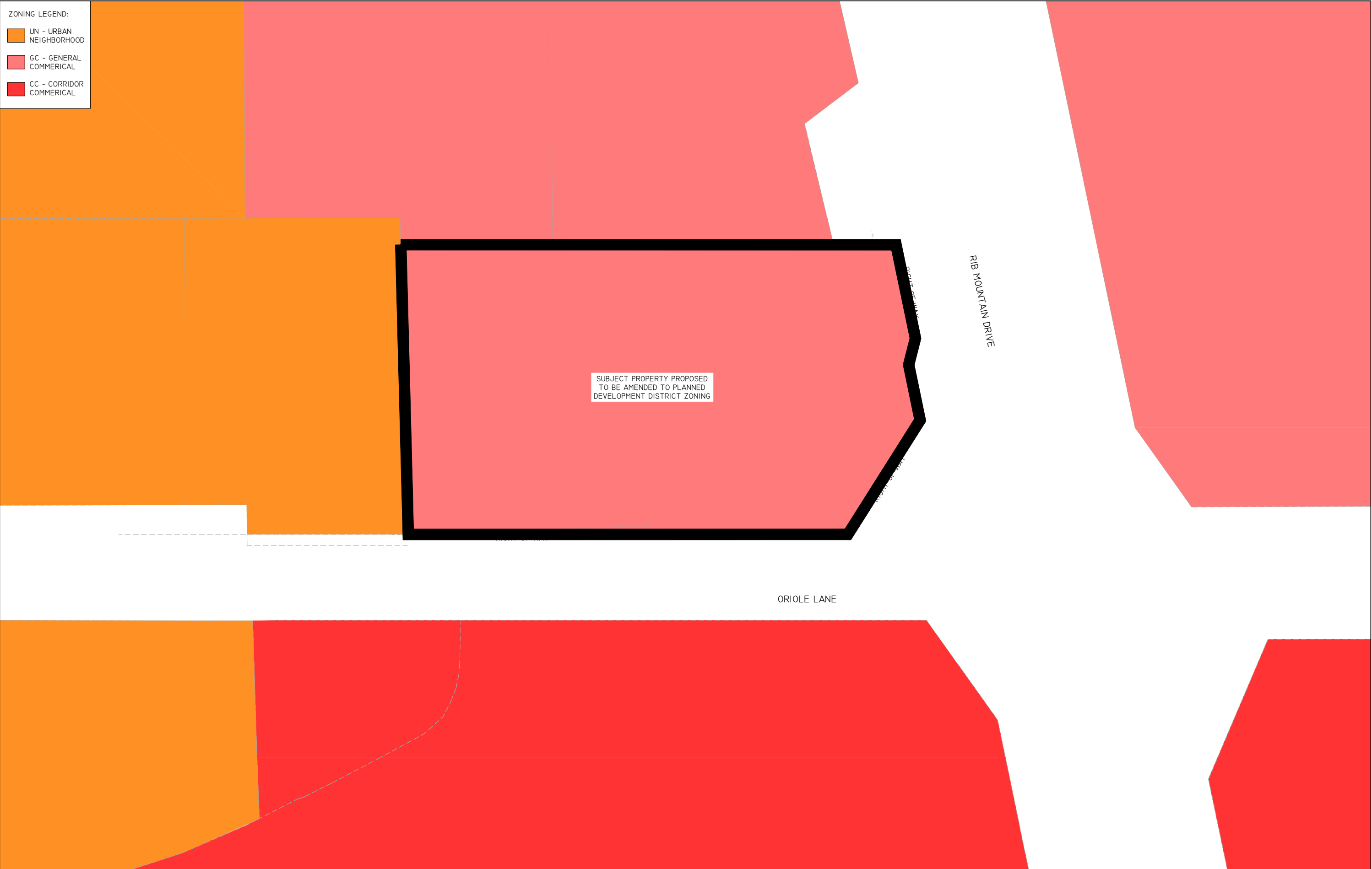
RENDERINGS

SHEET NO.:

A901



DRAWING FILE: Q:\11600-11699\11667 - TYLER TATE - 226904 RIB MOUNTAIN DRIVE - VILLAGE OF RIB MOUNTAIN - MARATHON COUNTY\Drawing\Figures & Exhibits\11667-Zoning Exhibit.dwg LAYOUT: SPZ
PLOTTED: MAR 14, 2025 - 3:01PM PLOTTED BY: LOGANZ



PROPOSED ZONING DISTRICTS

OP - Open Space/Preserve

RL - Rural Living

RM - Rural Mix

RE - Rural Estate

RN - Rural Neighborhood

SN - Suburban Neighborhood

UN - Urban Neighborhood

NC - Neighborhood Commercial

GC - General Commercial

CC - Corridor Commercial

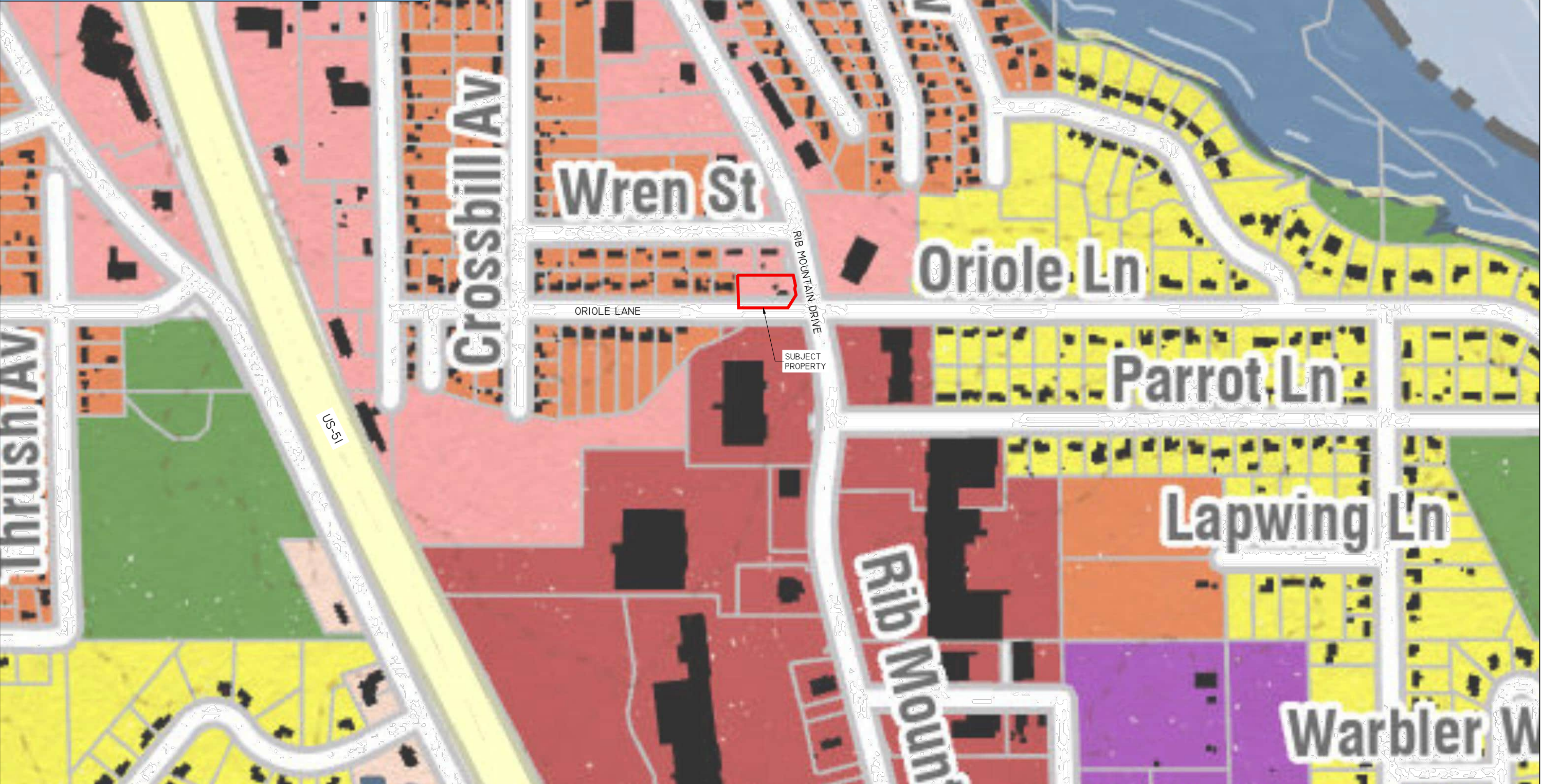
RC - Rib Mountain Center

PD - Planned Development

Proposed Zoning Districts

TOWN OF RIB MOUNTAIN

MAP 6



DRAWING FILE: Q:\11600-11699\11667 - TYLER TATE - 226904 RIB MOUNTAIN DRIVE - VILLAGE OF RIB MOUNTAIN - MARATHON COUNTY\DRAWING\FIGURES & EXHIBITS\11667-ZONING EXHIBIT.DWG LAYOUT: GLM
PLOTTED: MAR 14, 2025 - 3:01PM PLOTTED BY: LOGANZ

SITE PLAN PACKAGE FOR:
226904 RIB MOUNTAIN DRIVE
VILLAGE OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN

INDEX OF SHEETS

SHEET C001	TITLE SHEET
SHEET C010	EXISTING SITE CONDITIONS
SHEET C020	OVERLAY SITE PLAN
SHEET C030	DEMO PLAN
SHEET C100	SITE PLAN
SHEET C200	GRADING & EROSION CONTROL PLAN
SHEET C300	UTILITY PLAN
SHEET C400	LANDSCAPE PLAN
SHEET C401	LANDSCAPE NOTES & DETAILS
SHEET C800	SITE DETAILS
SHEET C810	EROSION CONTROL DETAILS
SHEET C820	UTILITY DETAILS
SHEET C900	SITE SPECIFICATIONS

TOTAL SHEETS = 13

LIST OF STANDARD ABBREVIATIONS

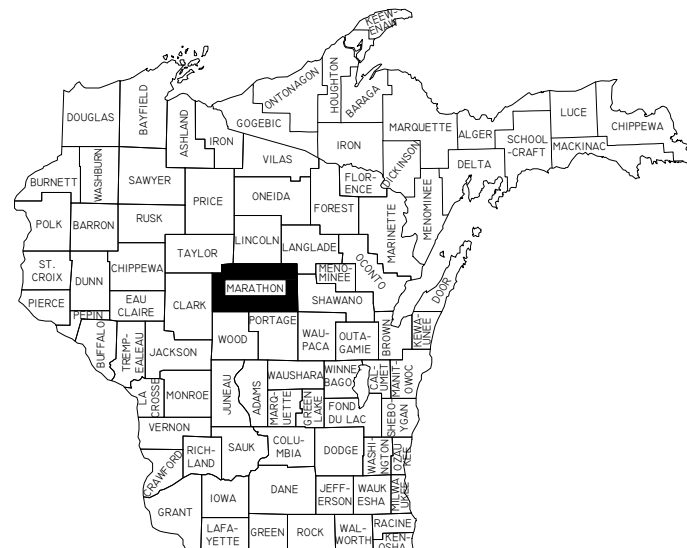
8	AND
AB	AUGER BORING
ADT	AVERAGE DAILY TRAFFIC
BC	BOTTOM OF CURB
BM	BENCHMARK
BOC	BACK OF CURB
BR	BOTTOM OF RAMP
BS	BOTTOM OF STEPS
BW	BOTTOM OF WALL
CB	CATCH BASIN
CMAC	CORRUGATED METAL ARCH CULVERT
CNBC	CORRUGATED METAL BOX CULVERT
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC.	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
DGB	DENSE GRADED BASE
DIP	DUCTILE IRON PIPE
D/S	DOWNSTREAM
(E)	EAST
ELEV.	ELEVATION
EOG	EDGE OF GRAVEL
FFE	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
F.O.	FIBER OPTIC
INL	INLET
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HMA	HOT MIX ASPHALT
HP	HIGH POINT
IE	INVERT ELEVATION
LF	LINEAL FEET
LP	LOW POINT
MEG	MATCH EXISTING GRADE
MH	MANHOLE
(N)	NORTH
(NE)	NORTHEAST
(NW)	NORTHWEST
OH	OVERHEAD
PC	POINT OF CURVATURE
PE	POLYETHYLENE PIPE
P/L	PROPERTY LINE
PP	POWER POLE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
RCB	REINFORCED CONCRETE BOX CULVERT
RCP	REINFORCED CONCRETE PIPE
RR	RAIL ROAD
R/W	RIGHT OF WAY
(S)	SOUTH
SAN	SANITARY SEWER
SB	SOIL BORING
SS	STORM SEWER
STM	STORM
(SW)	SOUTHWEST
TC	TOP OF CURB
TBR	TO BE REMOVED
TLE	TEMPORARY LIMITED EASEMENT
TNH	TOP NUT FIRE HYDRANT
TP	TEST PIT
TR	TOP OF RAMP
TYP.	TYPICAL
TS	TOP OF STEPS
TW	TOP OF WALL
U/S	UPSTREAM
VAR.	VARIES
(W)	WEST



TOLL FREE: 811 OR (800) 242-8511
HEARING IMPAIRED: TDD (800)542-2289
EMERGENCY ONLY: (877) 500-9592
WWW.DIGGERSHOTLINE.COM

TITLE WORK REQUIRED
TITLE WORK FOR THE PROJECT SITE
WAS NOT PROVIDED TO REI FOR
REVIEW, THEREFORE REI WAS
UNABLE TO VERIFY THE EXISTENCE
OF EASEMENTS OR USE
ENCUMBRANCES.

INFORMATION SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES IS BASED ON INFORMATION AND DATA FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATIONS OF ALL UNDERGROUND FACILITIES PRIOR TO COMMENCING ANY WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FACILITIES.



LEGEND

	BENCHMARK
	1" IRON BAR
	EXISTING MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING WATER SHUTOFF
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING GAS VALVE
	EXISTING CURB INLET
	EXISTING WELL
	TEST PIT LOCATION
	SOIL BORING
	EXISTING AIR CONDITIONING UNIT
	EXISTING GAS METER
	EXISTING ELECTRIC METER
	EXISTING UTILITY PEDESTAL
	EXISTING RAILROAD TRACKS
	EXISTING TREE LINE
	EXISTING GUY POLE
	EXISTING CABLE TV
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING OVERHEAD UTILITIES
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING PROPERTY LINE
	PROPOSED HANDICAP PARKING
	PROPOSED CURB STOP
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED FORCE MAIN
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED WATER LATERAL
	PROPOSED WATER MAIN
	PROPOSED PUMP STATION
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED CLEANOUT
	PROPOSED DRAINAGE FLOW
	PROPOSED SLOPE
	PROPOSED CURB & GUTTER
	PROPOSED REJECT CURB & GUTTER
	PROPOSED MOUNTABLE CURB & GUTTER
	EXISTING GROUND CONTOUR (INTERVAL=1 FT.)
	PROPOSED GROUND CONTOUR (INTERVAL=1 FT.)
	PROPOSED SPOT ELEVATION (TOP OF CURB)
	PROPOSED SPOT ELEVATION (BOTTOM OF CURB)
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED RIPRAP
	PROPOSED EROSION MAT
	PROPOSED SAWCUT
	PROPOSED VEGETATIVE DRAINAGE SWALE
	PROPOSED ASPHALT DRAINAGE SWALE

REI CLIENT:
TYLER TATE

DNR SERVICE CENTER
5301 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401
(715) 359-2872

SURVEYOR:
REI ENGINEERING, INC.
4080 N. 20TH AVENUE
WAUSAU, WI 54401
(715) 675-9784

CITY OF WAUSAU ENGINEERING
407 GRANT STREET
WAUSAU, WISCONSIN 54403
(715) 261-6748

ENGINEER:
REI ENGINEERING, INC.
4080 N. 20TH AVENUE
WAUSAU, WI 54401
(715) 675-9784
PROJECT ENGINEER
JIM J. BORYSENKO, P.E.

WAUSAU PLUMBING INSPECTOR
407 GRANT STREET
WAUSAU, WISCONSIN 54403
(715) 261-6780

APPROVING AUTHORITIES:
VILLAGE OF RIB MOUNTAIN
WDNR

REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784, FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**

NO SCALE



DATE	ISSUANCE	BY	CHKD	SURVEYED BY: BDE, AJB	DESIGNED BY: LAZ	SURVEY DATE: 7-29-2024
				SURVEY CHKD BY: JLR	CIVIL CHKD BY: JJB	CIVIL DATE: 03/13/2025
				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: NAP

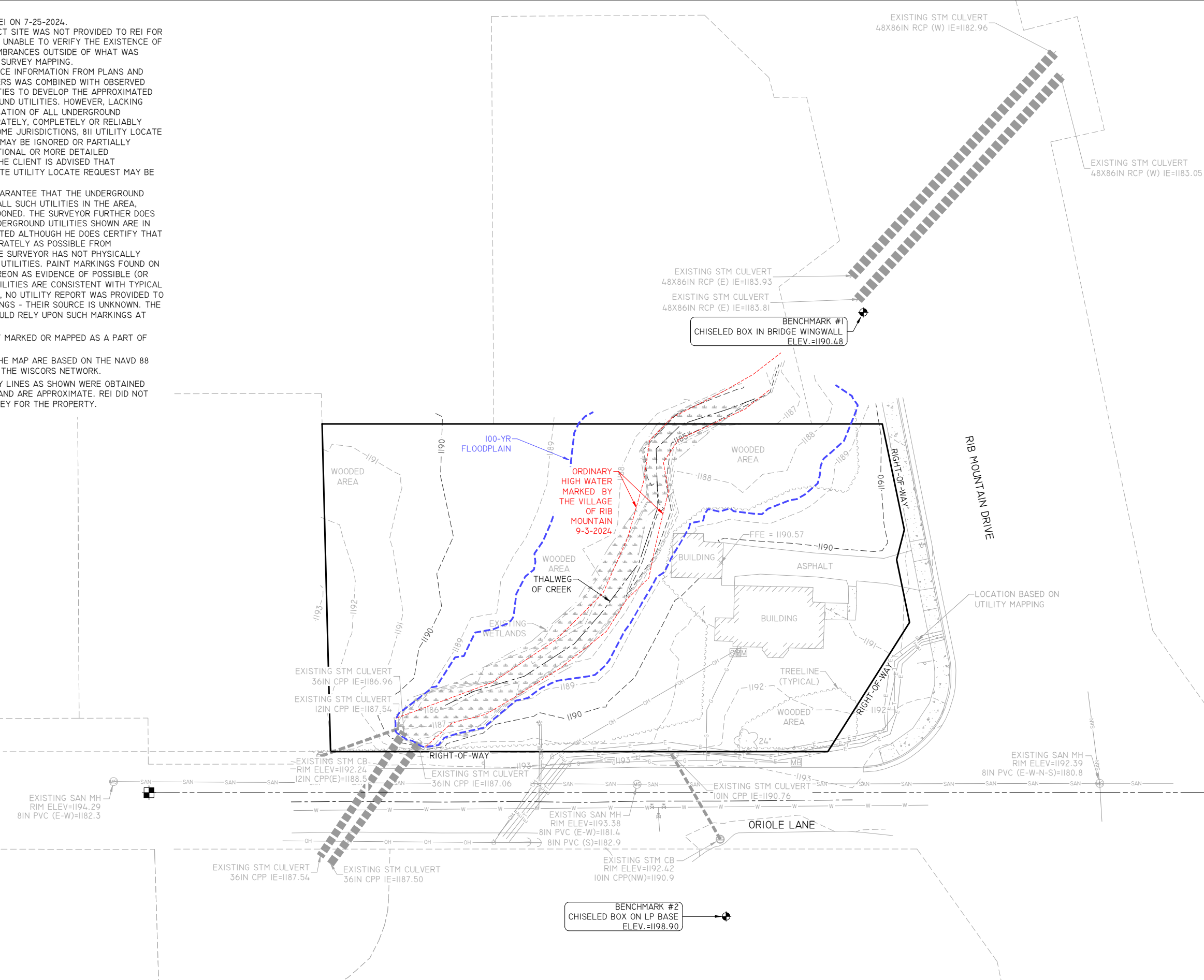
TITLE SHEET
EBNER PROPERTY
226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401



REI No. 11667
SHEET C001

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PLOTTED: MAR 14, 2025 - 10:23AM PLOTTED BY: LOGANZ

- SURVEY NOTES:**
1. FIELDWORK PERFORMED BY REI ON 7-25-2024.
 2. TITLE WORK FOR THE PROJECT SITE WAS NOT PROVIDED TO REI FOR REVIEW, THEREFORE REI WAS UNABLE TO VERIFY THE EXISTENCE OF EASEMENTS OR OTHER ENCUMBRANCES OUTSIDE OF WHAT WAS FOUND DURING TOPOGRAPHIC SURVEY MAPPING.
PUBLIC UTILITIES - THE SOURCE INFORMATION FROM PLANS AND MARKINGS PROVIDED BY OTHERS WAS COMBINED WITH OBSERVED SURFACE EVIDENCE OF UTILITIES TO DEVELOP THE APPROXIMATED LOCATION OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY OR RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR PARTIALLY RESPONDED TO, WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. PAINT MARKINGS FOUND ON THE GROUND AND SHOWN HEREON AS EVIDENCE OF POSSIBLE (OR PROBABLE) UNDERGROUND UTILITIES ARE CONSISTENT WITH TYPICAL UTILITY MARKINGS. HOWEVER, NO UTILITY REPORT WAS PROVIDED TO AUTHENTICATE THESE MARKINGS - THEIR SOURCE IS UNKNOWN. THE USER OF THIS PLAT/MAP SHOULD RELY UPON SUCH MARKINGS AT THEIR OWN RISK.
 3. PRIVATE UTILITIES WERE NOT MARKED OR MAPPED AS A PART OF THIS SURVEY.
 4. ELEVATIONS AS SHOWN ON THE MAP ARE BASED ON THE NAVD 88 DATUM AND ESTABLISHED BY THE WISCORS NETWORK.
 5. PROPERTY AND RIGHT-OF-WAY LINES AS SHOWN WERE OBTAINED FROM ONLINE COUNTY DATA AND ARE APPROXIMATE. REI DID NOT COMPLETE A BOUNDARY SURVEY FOR THE PROPERTY.

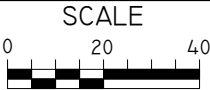


REI Engineering, INC.
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EMAIL: MAIL@REIENGINEERING.COM



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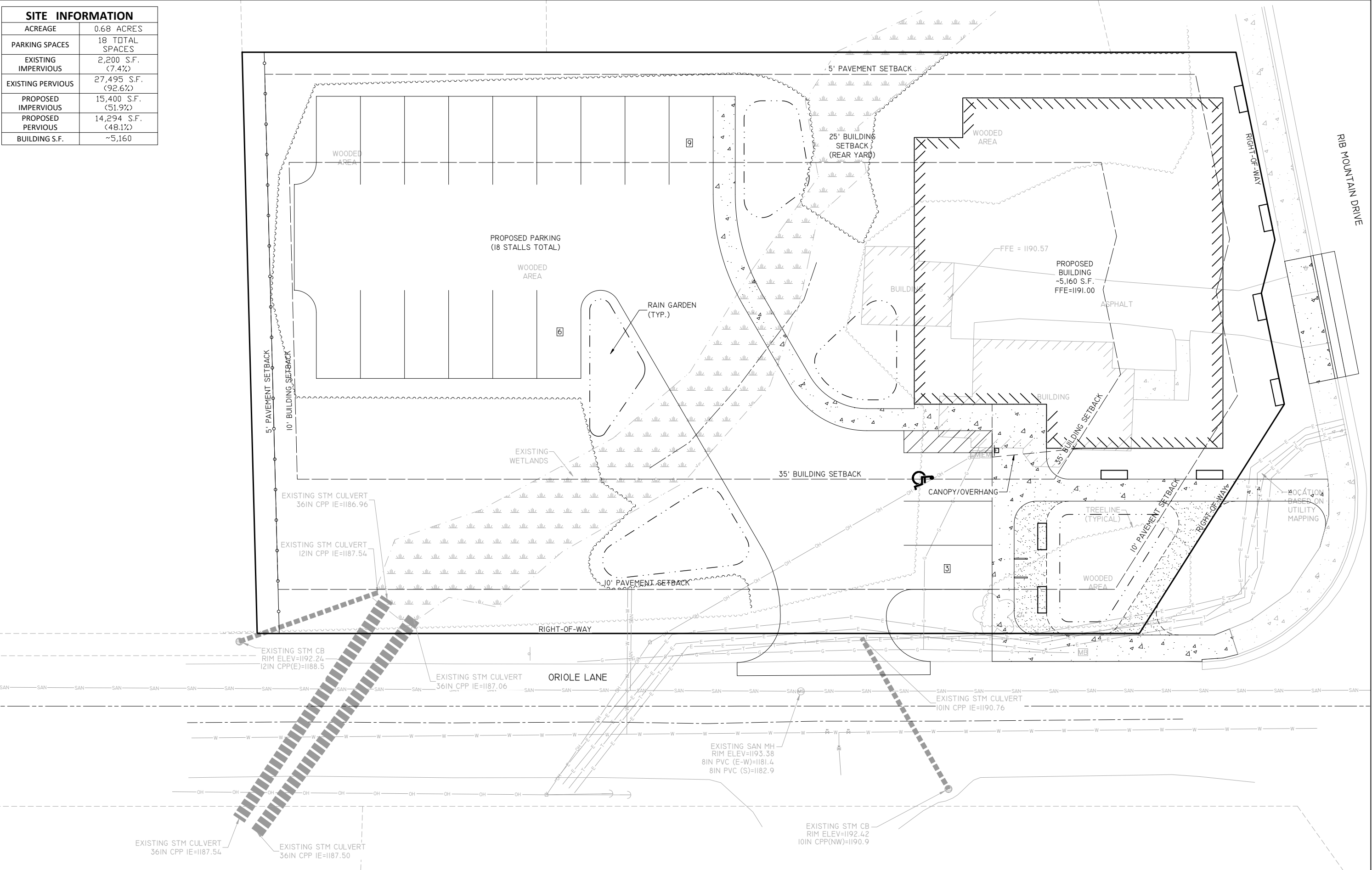
DATE	ISSUANCE	BY	CHKD	SURVEYED BY: BDE, AJB	DESIGNED BY: LAZ	SURVEY DATE: 7-29-2024
				SURVEY CHKD BY: JLR	CIVIL CHKD BY: JJB	CIVIL DATE: 03/13/2025
				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: NAP

EXISTING SITE CONDITIONS
EBNER PROPERTY
226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401

REI
REI No. 11667
SHEET C010

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PLOTTED: MAR 14, 2025 - 3:29PM PLOTTED BY: LOGANZ

SITE INFORMATION	
ACREAGE	0.68 ACRES
PARKING SPACES	18 TOTAL SPACES
EXISTING IMPERVIOUS	2,200 S.F. (7.4%)
EXISTING PERVIOUS	27,495 S.F. (92.6%)
PROPOSED IMPERVIOUS	15,400 S.F. (51.9%)
PROPOSED PERVIOUS	14,294 S.F. (48.1%)
BUILDING S.F.	~5,160

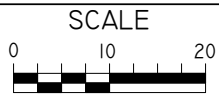


REI Engineering, INC.
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WAUSAU, WISCONSIN 54401
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EMAIL: MAIL@REIENGINEERING.COM



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ENGINEERING, SURVEYING**

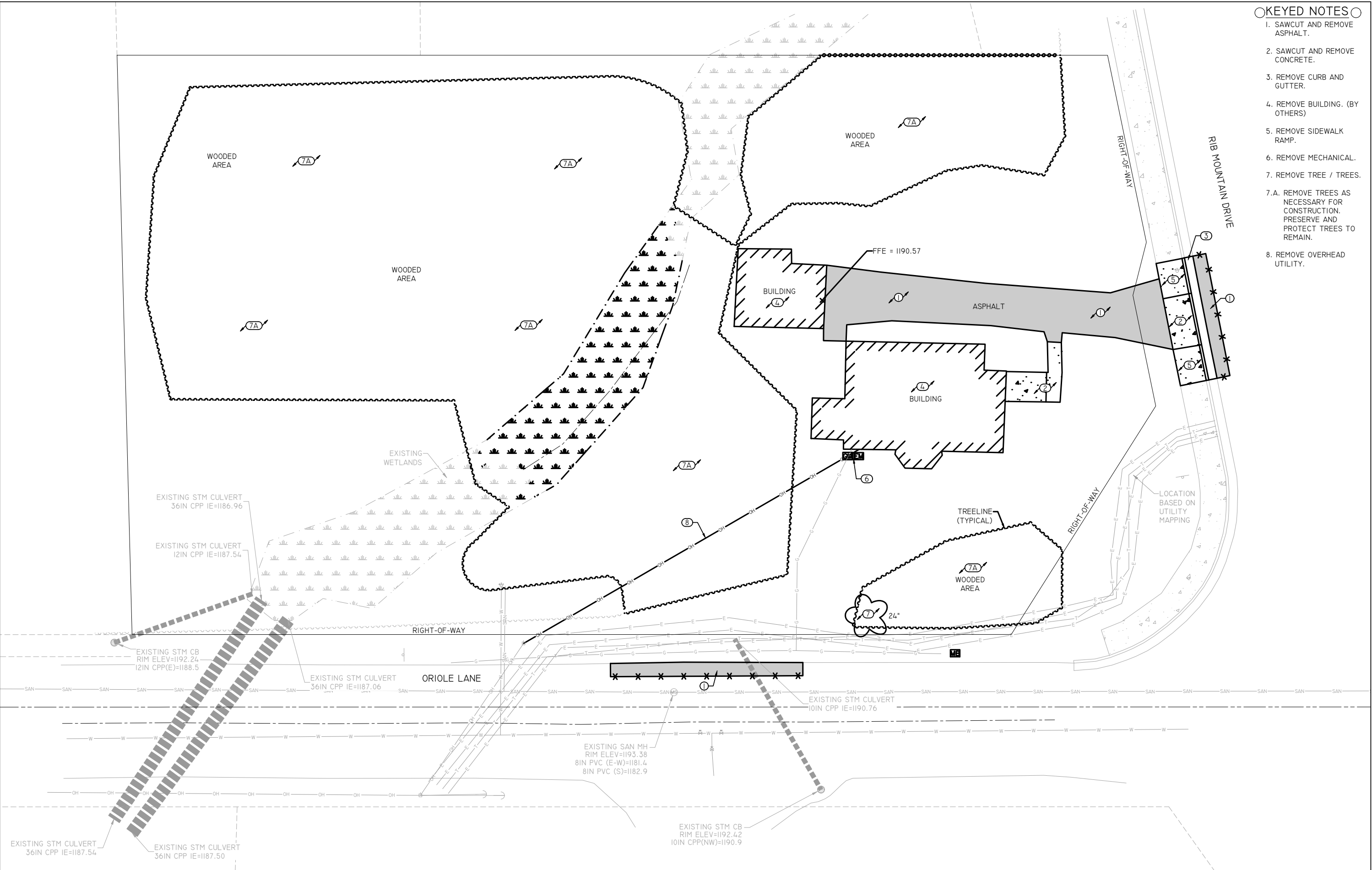


DATE	ISSUANCE	BY	CHKD	SURVEYED BY: BDE, AJB	DESIGNED BY: LAZ	SURVEY DATE: 7-29-2024
				SURVEY CHKD BY: JLR	CIVIL CHKD BY: JJB	CIVIL DATE: 03/14/2025
				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: NAP

OVERLAY SITE PLAN
EBNER PROPERTY
226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401

REI
REI No. 11667
SHEET C020

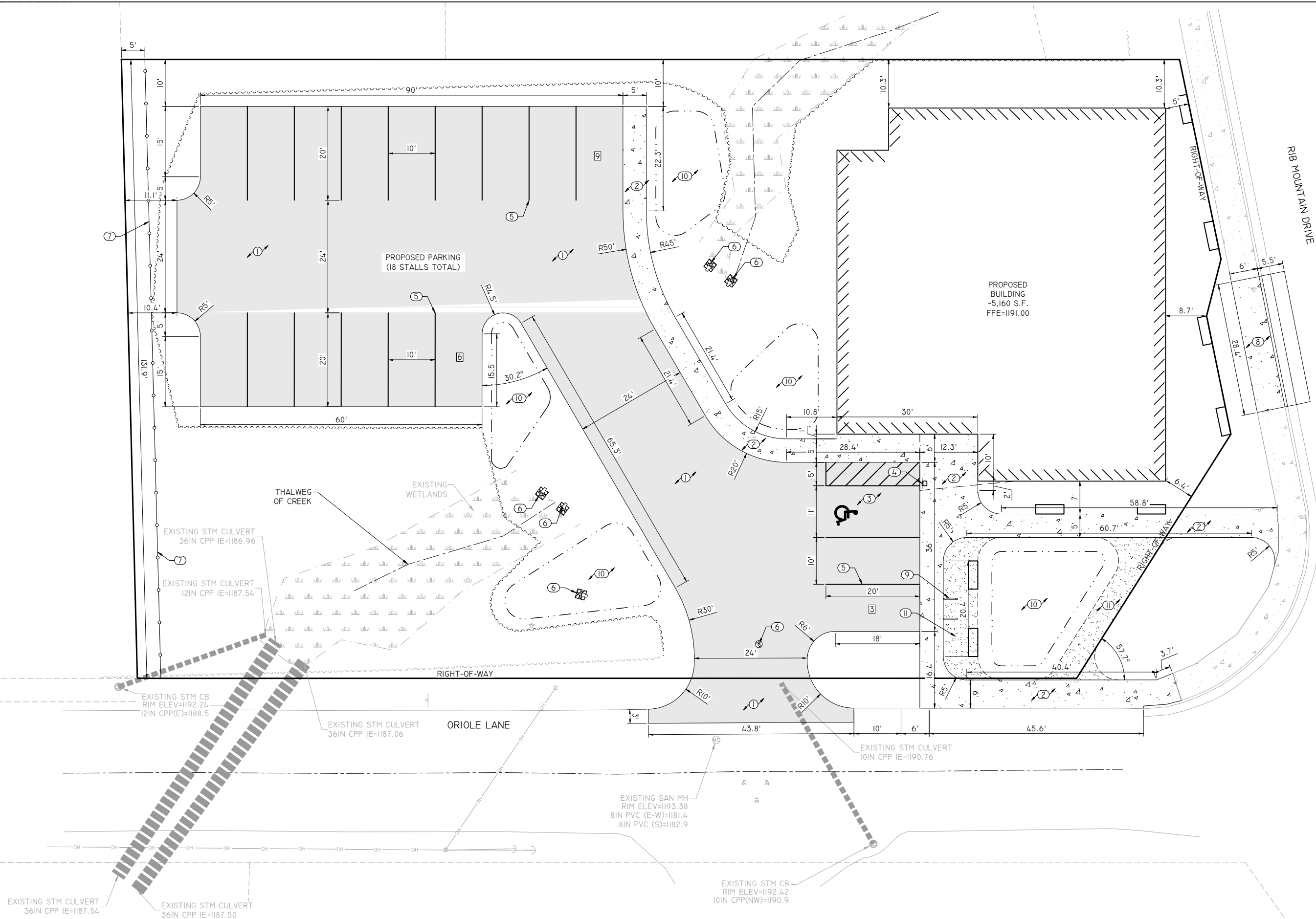
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PLOTTED: MAR 14, 2025 - 10:23AM PLOTTED BY: LOGANZ



KEYED NOTES

1. SAWCUT AND REMOVE ASPHALT.
2. SAWCUT AND REMOVE CONCRETE.
3. REMOVE CURB AND GUTTER.
4. REMOVE BUILDING. (BY OTHERS)
5. REMOVE SIDEWALK RAMP.
6. REMOVE MECHANICAL.
7. REMOVE TREE / TREES.
- 7.A. REMOVE TREES AS NECESSARY FOR CONSTRUCTION. PRESERVE AND PROTECT TREES TO REMAIN.
8. REMOVE OVERHEAD UTILITY.

DRAWING FILE: Q:\1600-11699\11667 - TYLER TATE - 2269
PLOTTED: MAR 14, 2025 - 10:23AM PLOTTED BY: LOGANZ



○KEYED NOTES○

1. ASPHALT PAVEMENT. SEE DETAIL A/C800.
2. 4" CONCRETE SIDEWALK. SEE DETAIL B/C800.
3. HANDICAP PARKING SPACES & STRIPING. SEE DETAIL C/C800.
4. VAN ACCESSIBLE HANDICAP SIGN. SEE DETAIL D/C800.
5. PAINTED STRIPING, YELLOW. (TYPICAL)
6. PROPOSED STORM STRUCTURE.
7. PROPOSED 6' HT SCREENING FENCE.
8. REPLACE SIDEWALK, CURB & GUTTER, AND ASPHALT IN-KIND.
9. BIKE RACK. SIMILAR TO DETAIL E/C800.
10. RAIN GARDEN AREA. SEE SHEET C400 FOR DETAILS.
11. GRAVEL PAVEMENT. SEE DETAIL F/C800.

NOTES:

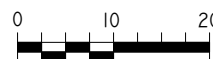
- (A) BUILDINGS AND PARKING SPACES ARE PARALLEL AND PERPENDICULAR TO REFERENCE LINE LABELED, S89°59'46"E, AS TAKEN FROM THE SURVEY.
- (B) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.
- (C) BUILDING SETBACK VARIANCES HAVE BEEN PURSUED THROUGH THE VILLAGE.

REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784, FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**

SCALE



DATE	ISSUANCE	BY	CHKD	SURVEYED BY: BDE, AJB	DESIGNED BY: LAZ	SURVEY DATE: 7-29-2024
				SURVEY CHKD BY: JLR	CIVIL CHKD BY: JJB	CIVIL DATE: 03/13/2025
				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: NAP

SITE PLAN
EBNER PROPERTY
226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401



REI No. 11667
SHEET C100

KEYED NOTES

1. TEMPORARY CONSTRUCTION ENTRANCE/EXIT. SEE DETAIL A/C810.
2. INSTALL SILT FENCE. PROVIDE DOUBLE ROW OR TIE BACKS WHEN ADJACENT TO WETLANDS. SEE DETAIL B/C810.
3. INSTALL LIGHT RIPRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL C/C810.
- 3A. INSTALL MEDIUM RIPRAP ON TYPE HR GEOTEXTILE FABRIC. SEE DETAIL C/C810.
4. CONSTRUCT VEGETATED DRAINAGE SWALE. SEE DETAIL D/C810.
5. INSTALL DITCH CHECKS @ MAX. OF 200-FT INTERVALS OR EVERY 2-FT OF DROP. SEE DETAIL E/C810.
6. PROPOSED CULVERT PROTECTION. SEE DETAIL F/C810.
7. PROPOSED CONCRETE WASHOUT AREA. SEE DETAIL G/C810.
8. INSTALL NON-ERODIBLE COFFER DAM UP STREAM OF PROPOSED CROSSING. BYPASS WATER USING PUMP OR TEMPORARY NON-ERODIBLE DIVERSION. DIVERT WATER AWAY FROM WORK AREA DURING CULVERT INSTALL.
9. INSTALL TEMPORARY ROCK FILLED/SAND FILLED BAGS ON THE DOWNSTREAM SIDE OF CULVERT TO ISOLATE THE WORK AREA. SEE F/C810.

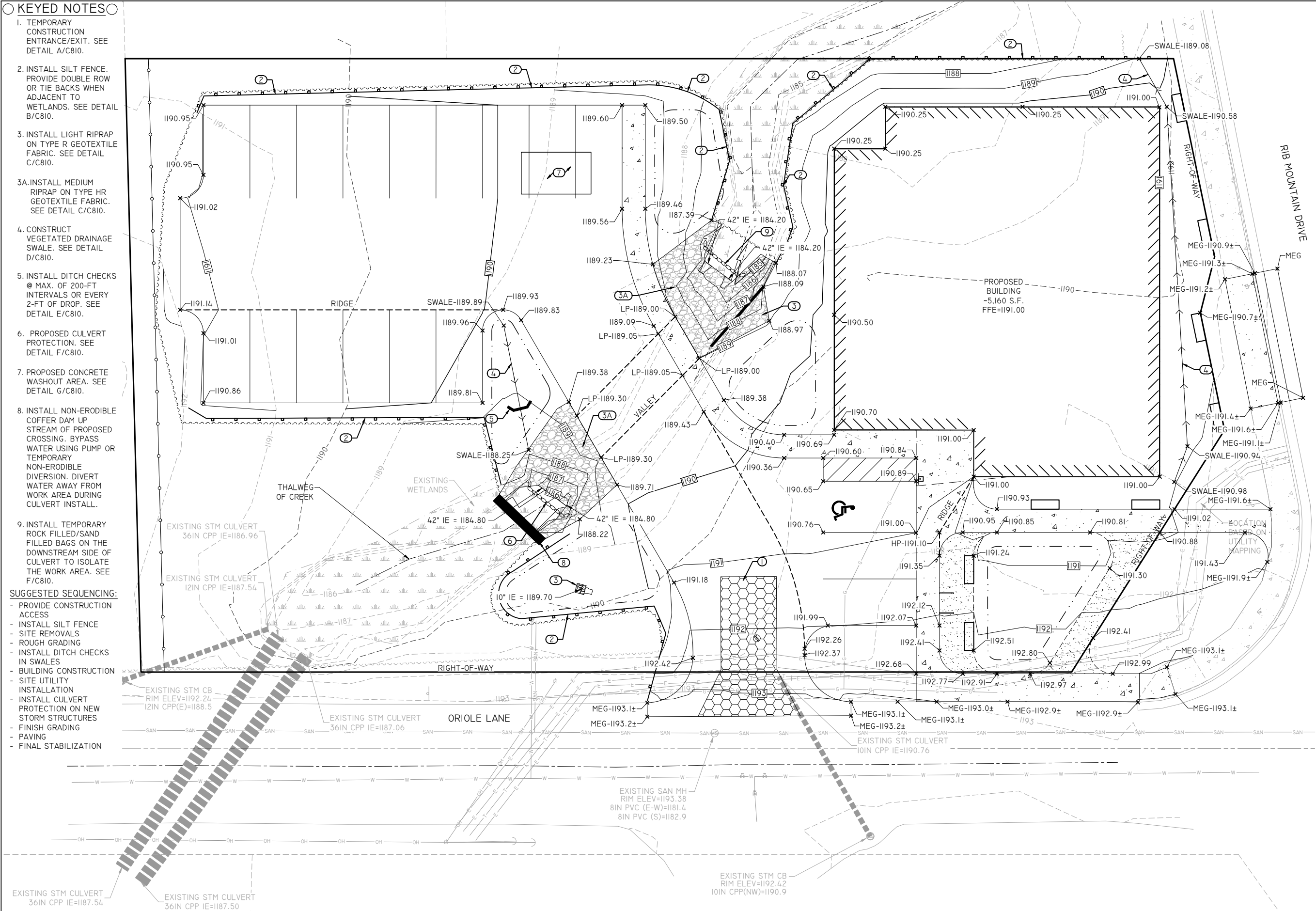
SUGGESTED SEQUENCING:

- PROVIDE CONSTRUCTION ACCESS
- INSTALL SILT FENCE
- SITE REMOVALS
- ROUGH GRADING
- INSTALL DITCH CHECKS IN SWALES
- BUILDING CONSTRUCTION
- SITE UTILITY INSTALLATION
- INSTALL CULVERT PROTECTION ON NEW STORM STRUCTURES
- FINISH GRADING
- PAVING
- FINAL STABILIZATION

NOTES:

- (A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (D) ADJUST ALL MANHOLES, INLETS, AND VALVE BOXES TO FINISH GRADE.
- (E) INSTALL WISDOT CLASS I, TYPE B EROSION MAT ON ALL REVEGETATED SLOPES 4:1 OR GREATER AND WITHIN SWALE BOTTOMS.
- (F) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL.
- (G) GRADING CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONTOURS.
- (H) IN AREAS WHERE THE PAVEMENT DRAINS ONTO ADJACENT GRASS AREAS, MAINTAIN PAVEMENT 1" ABOVE GRASS.
- (I) WETLAND DELINEATION COMPLETED BY STAR ENVIRONMENTAL INC. SEPTEMBER, 2024.

DRAWING FILE: Q:\11600-11699\11667 - TYLER TATE - 226904 RIB MOUNTAIN DRIVE - VILLAGE OF RIB MOUNTAIN - MARATHON COUNTY\DRAWING\ANSI\11667-C200-GRADING-EC.DWG LAYOUT: C200
PLOTTED: MAR 14, 2025 - 10:24AM PLOTTED BY: LOGANZ



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**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**

SCALE
0 10 20



DATE	ISSUANCE	BY	CHKD

SURVEYED BY: BDE, AJB	DESIGNED BY: LAZ	SURVEY DATE: 7-29-2024
SURVEY CHKD BY: JLR	CIVIL CHKD BY: JJB	CIVIL DATE: 03/13/2025
SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: NAP

GRADING & EROSION CONTROL PLAN
EBNER PROPERTY
226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401

REI
REI No. 11667
SHEET C200

1. INSTALL STORM SEWER MANHOLE. SEE DETAIL A/C820.
2. INSTALL INSULATION OVER WATER PIPE AT CROSSING. SEE DETAIL B/C820.
3. INSTALL 4" SANITARY CLEANOUT. SEE DETAIL C/C820.
4. INSTALL 1" WATER SERVICE LATERAL WITH CURB STOP / SHUT-OFF. SEE DETAIL D/C820.
5. INSTALL WATER GATE VALVE. SEE DETAIL E/C820.
6. INSTALL 4" SANITARY SERVICE LATERAL @ 1.00% MINIMUM. SEE DETAIL F/C820.
7. CONNECT TO EXISTING 10" STORM CULVERT USING APPROPRIATE ADAPTORS.
8. CULVERT IE TO BE 12" BELOW GRADE/STEAM BOTTOM. 42" CULVERTS TO BE SPACED AT 3' APART.
9. CONNECT TO EXISTING UTILITIES. FIELD VERIFY SIZE AND IE.

(A) CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 7.5' GRADE OVER PROPOSED WATER LINE.

(B) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.

(C) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.

(D) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE REQUIRED HORIZONTAL AND VERTICAL PIPE SEPARATION BETWEEN SEWER AND WATER PIPES. SEE DETAIL G/C820. VERTICAL CLEARANCES ARE MEASURED FROM OUTSIDE PIPE DIAMETER, HORIZONTAL CLEARANCES ARE MEASURED FROM PIPE CENTER.

(E) SEE DETAIL H/C820 FOR PIPE BEDDING.

(F) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.

(G) CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS TO LOCATE NON-METALLIC WATER AND SEWER (SANITARY AND STORM) PER SPS 382.

(H) PRIOR TO INSTALLATION OF SANITARY AND WATER SERVICES, CONFIRM SIZE AND LOCATION WITH GENERAL CONTRACTOR.

(I) THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF SITE UTILITIES SHALL PROVIDE A TEMPORARY CAP OR PLUG AT BUILDING TERMINATION. REFER TO PLUMBING PLANS FOR CONTINUATION OF WORK INSIDE THE BUILDING.

(J) PIPE LENGTHS PROVIDED ARE GIVEN TO CENTER OF STRUCTURE OR END OF END STRUCTURE.

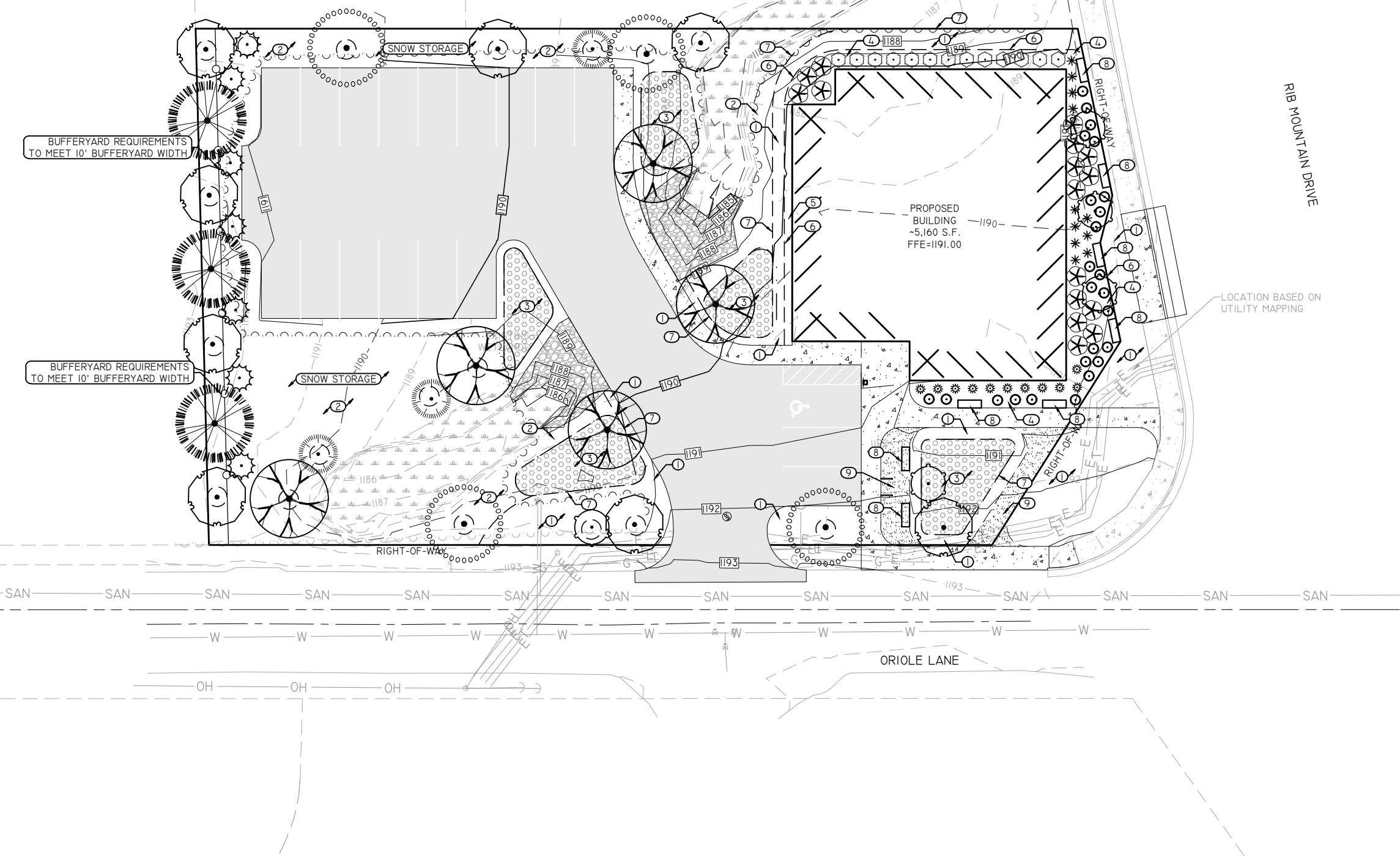
SHEET C30

GENERAL PLAN:

THE OVERALL GOAL OF THE LANDSCAPE PLAN IS TO ACCOMMODATE ALL LANDSCAPE REQUIREMENTS AS OUTLINED BY THE VILLAGE OF RIB MOUNTAIN PER THE EXISTING ZONING CODE TO EVERY EXTENT POSSIBLE. THE PROPOSED GENERAL LANDSCAPE PLAN INDICATES APPROXIMATE AREAS THESE REQUIREMENTS ARE INTENDED TO BE ACCOMMODATED TO ADDRESS THE STANDARD CATEGORIES OF BUILDING FOUNDATIONS, DEVELOPED LOTS, STREET FRONTAGES, PAVED AREAS & BUFFERYARDS. ***FINAL PLANT QUANTITIES, MATERIALS & ARRANGEMENTS MAY VARY DEPENDING ON POINT REQUIREMENT CALCULATIONS & FINAL SITE LAYOUT.**

OVERALL, THERE IS INTENDED TO BE A DIVERSE VARIETY OF ORNAMENTAL PERENNIALS, SHRUBS, EVERGREENS AND DECIDUOUS TREES THROUGHOUT THE SITE, ALL OF WHICH WILL BE APPROVED/NATIVE SPECIES BY THE VILLAGE OF RIB MOUNTAIN. PLANT SIZES UPON INSTALLATION WILL ALSO BE APPROPRIATELY SPECIFIED TO MEET MINIMUM SIZE REQUIREMENTS AS OUTLINED BY THE VILLAGE.

PLANT SPECIES WILL BE LOW MAINTENANCE, COLD HARDY, SALT/URBAN TOLERANT AND DROUGHT TOLERANT.



KEYED NOTES

1. SEED, FERTILIZER & MULCH, *ALL AREAS NOTED ON PLAN & ALL DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITY.
2. **SHORELAND RESTORATION AREAS:** AGRECOL, SHORTGRASS PRAIRIE FOR MEDIUM SOILS, APPLY GLYPHOSATE HERBICIDE TO AREA WHEN MAJORITY OF WEEDS ARE 2"-3" TALL. WAIT 10 DAYS THEN FINELY TILL THE SOIL ONLY 1"-2" DOWN AND PLANT IMMEDIATELY BY HAND BROADCASTING AT A RATE OF 11 LBS/ACRE. RAKE OR DRAG AREA LIGHTLY, COVERING THE SEED WITH ABOUT 1" TO 1 1/2" OF SOIL. ROLL AREA FIRMLY AFTER RAKING. MULCH PRAIRIE SEEDED AREAS LESS THAN 4:1 SLOPE WITH 1" OF WEED FREE STRAW MULCH. APPLY WISDOT NET-FREE CLASS I, URBAN TYPE B EROSION MAT ON SLOPING AREAS STEEPER THAN 4:1. *REFER TO AGRECOL'S "NATIVE SEEDING INSTRUCTIONS" ON THEIR WEBSITE FOR DETAILED INSTRUCTIONS/GUIDELINES FOR SUCCESSFUL SEED ESTABLISHMENT AND MANAGEMENT. (LINK BELOW)

[HTTPS://WWW.AGRECOL.COM/NATIVE-SEEDING-INSTRUCTIONS_EP_44_HTML](https://www.agrecol.com/Native-Seeding-Instructions_EP_44_HTML)
3. **RAIN GARDENS, AGRECOL, RAINWATER RENEWAL PLUGS, 6" O.C. -OR- AGRECOL, RAINWATER RENEWAL NATIVE VEGETATED MAT (NVM),** SELECT ONE OPTION TO INSTALL BASED ON PREFERENCE. REFER TO AGRECOL.COM FOR DETAILED INSTALLATION & SITE PREPARATION GUIDELINES/INSTRUCTIONS FOR EACH ALTERNATIVE. MULCH PLUGGED AREAS WITH 1" OF WEED FREE STRAW MULCH OR WOOD MULCH PRIOR TO INSTALLATION. *REFER TO THE WI DNR GUIDELINES FOR RAINGARDEN CONSTRUC AND MAINTENANCE.
4. SHREDDED HARDWOOD MULCH, 3"-4" DEPTH, DARK BROWN COLOR.
5. DECORATIVE STONE MULCH, 3"-4" ROUND COBBLES, 4"-5" DEPTH, WITH COMMERCIAL GRADE WEED BARRIER FABRIC UNDERLAYMENT.
6. ALUMINUM EDGING, CURV-RITE 200 SERIES, BRONZE COLOR, INSTALL PER MANUFACTURER SPECIFICATIONS.
7. SHOVEL CUT EDGE, 4"-5" DEPTH CLEAN CUT EDGE AROUND PLANTING BEDS WITHIN SOD AREAS.
8. (8 EA TOTAL) ACCENT BOULDERS/SEAT WALLS, (48" X 18" X 18") LIMESTONE BLOCKS/CUBES, PLAN SYMBOL:
9. KAFKA GRANITE WAX POLYMER PATHWAY MIX. COLOR TO BE DETERMINED BY OWNER. INSTALL PER MANUFACTURER SPECIFICATIONS.

PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	CONT.	PTS/PLANT	QTY
DECIDUOUS TREES						
	Red Oak	Quercus rubra	1.5" Cal.	B&B	30	4
	Regal Prince® Oak	Quercus x warei 'Long'	1" Cal.	B&B	15	5
	Sugar Maple	Acer saccharum	2" Cal.	B&B	30	8
	Swamp White Oak	Quercus bicolor	1.5" Cal.	B&B	30	5
EVERGREEN TREES						
	Black Hills White Spruce	Picea glauca 'Densata'	4' HT.	B&B	12	7
	White Pine	Pinus alba	6' HT.	B&B		3
	White Spruce	Picea glauca	6' HT.	B&B	30	3
DECIDUOUS SHRUBS						
	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	3 gal.	Pot	3	13
EVERGREEN SHRUBS						
	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	12" Tall/Wide	Pot	3	16
PERENNIALS						
	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	12" Tall/Wide	Pot	1	11
	Prairie Dropseed	Sporobolus heterolepis	12" Tall/Wide	Pot	1	25
	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'	12" Tall/Wide	Pot	1	11

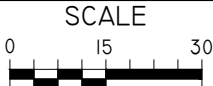
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PLOTTED: MAR 14, 2025 - 4:26PM PLOTTED BY: KURTS

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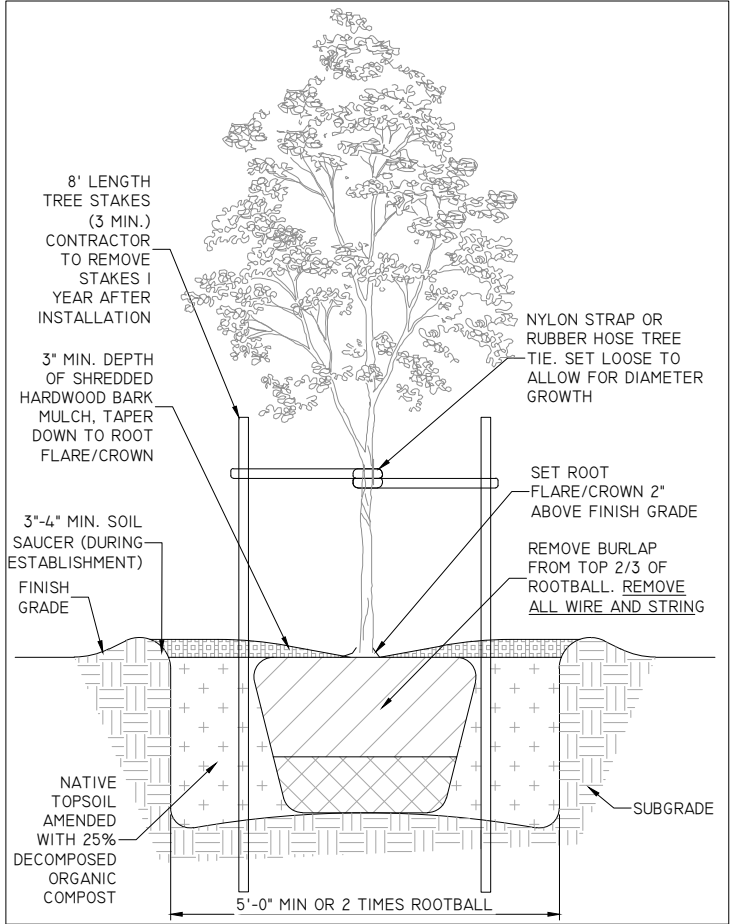


DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				BDE, AJB	LAZ	7-29-2024
				SURVEY CHKD BY: JLR	CIVIL CHKD BY: JJB	CIVIL DATE: 03/14/2025
				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: KJS

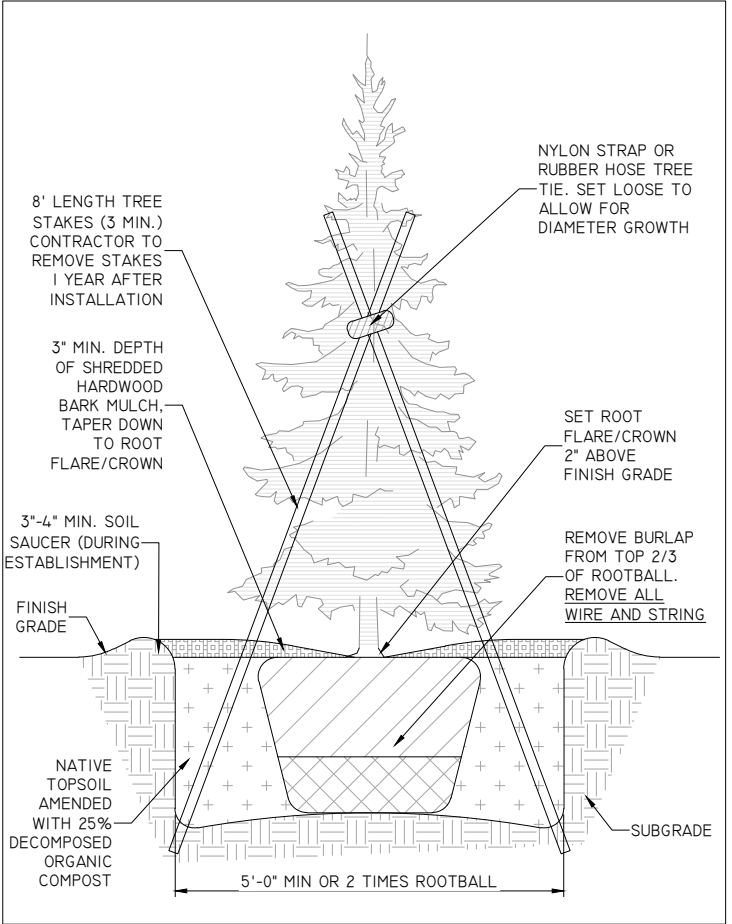
LANDSCAPE PLAN
EBNER PROPERTY
226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401

REI
REI No. 11667
SHEET C400

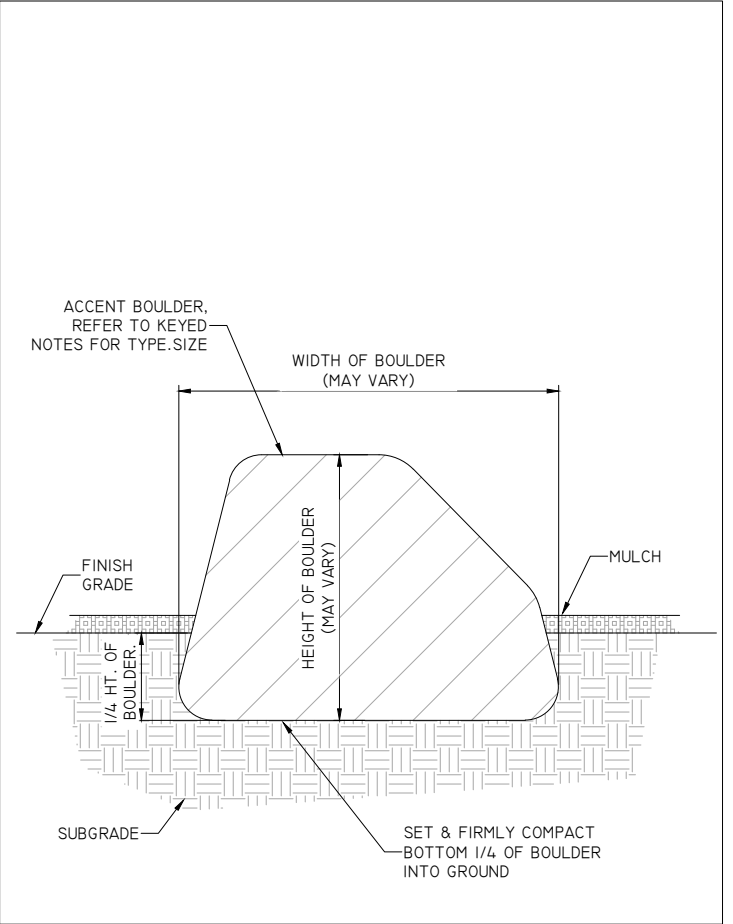
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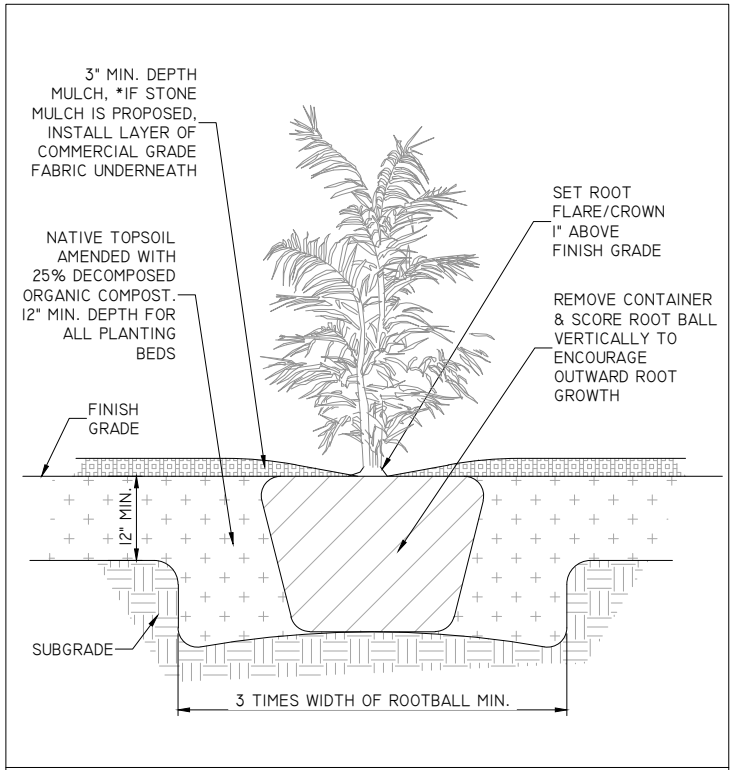
DECIDUOUS TREE - PLANTING DETAIL



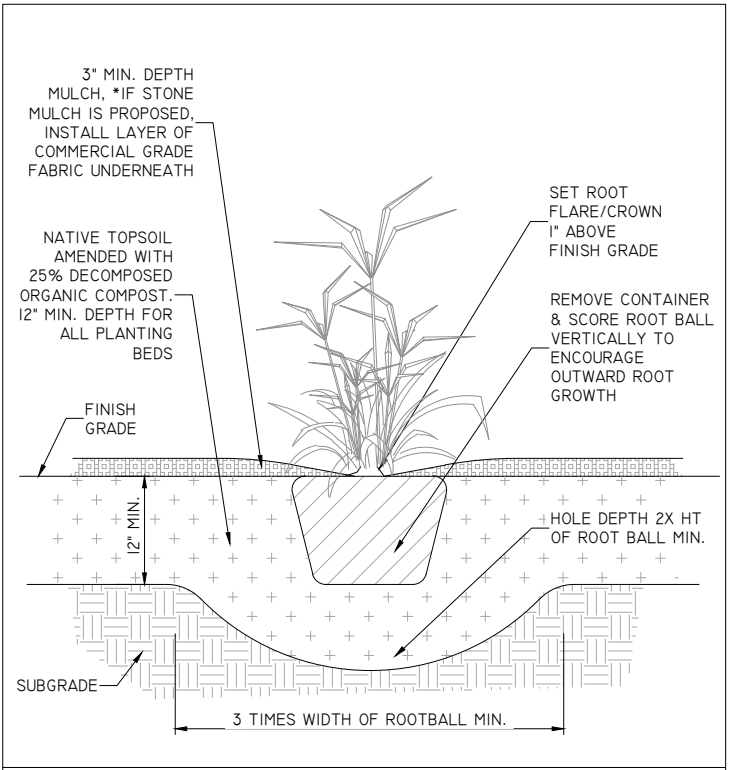
EVERGREEN TREE - PLANTING DETAIL



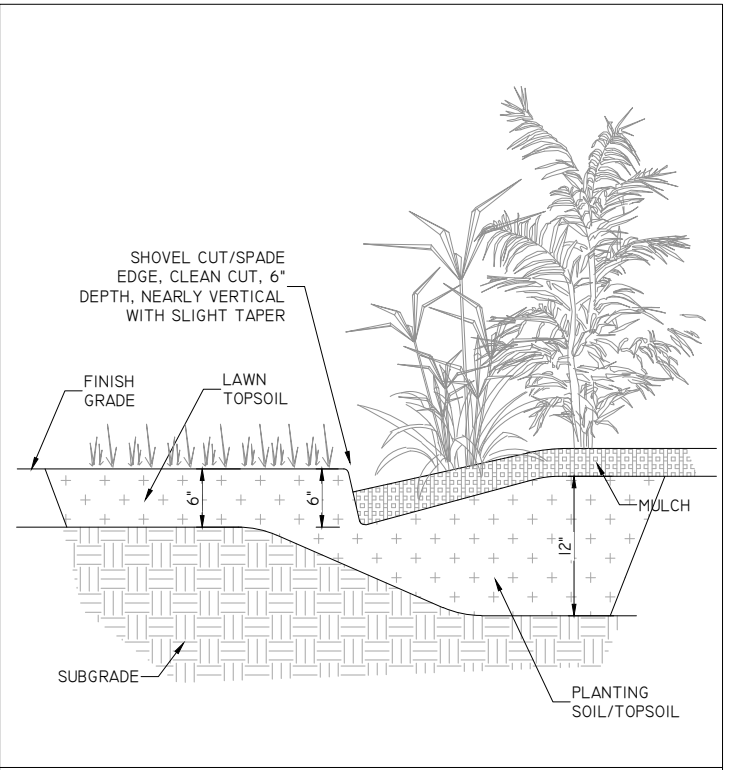
ACCENT BOULDER - DETAIL



SHRUB - PLANTING DETAIL



PERENNIAL - PLANTING DETAIL



SHOVEL CUT EDGE - DETAIL

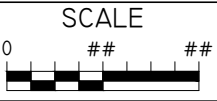
GENERAL NOTES:

- (A) LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 5 WORKING DAYS PRIOR TO DEMOLITION, EXCAVATION OR ANY CONSTRUCTION ACTIVITY.
- (C) ALL PLANT MATERIAL SHALL BE GUARANTEED ONE (1) FULL YEAR UPON TOTAL COMPLETION OF PROJECT AND ACCEPTANCE BY OWNER, WITH A ONE TIME REPLACEMENT WARRANTY UPON REQUEST BY OWNER. WARRANTY EXPIRES AFTER FIRST FULL YEAR FOLLOWING PROJECT COMPLETION.
- (D) LANDSCAPE CONTRACTOR SHALL VERIFY MINIMUM 6" TOPSOIL DEPTH FOR ALL AREAS TO BE SEEDED/SODDED THROUGHOUT PROJECT SITE. CONTRACTOR IS REQUIRED TO CORRECT ANY DEFICIENCIES PRIOR TO SEED/SOD. TOPSOIL SHALL BE CLEAN AND FREE OF STONES, WEEDS AND OTHER UNDESIRABLE DEBRIS.
- (E) LANDSCAPE CONTRACTOR SHALL VERIFY MINIMUM 12" PLANTING SOIL DEPTH FOR ALL PROPOSED PLANTING BED AREAS THROUGHOUT THE PROJECT SITE. CONTRACTOR IS REQUIRED TO CORRECT ANY DEFICIENCIES PRIOR TO PLANT INSTALLATION. PLANTING SOIL & AREA SHALL BE CLEAN AND FREE OF STONES, WEEDS, CONCRETE WASTE AND OTHER UNDESIRABLE DEBRIS.
- (F) LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING TOPSOIL AND SEEDING OR SODDING ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY, INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- (G) CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS AFTER LANDSCAPE CONSTRUCTION ACTIVITIES ARE COMPLETE AND APPROVED BY OWNER. *THIS TO BE DONE DAILY AS DEEMED NECESSARY BY MUNICIPALITY.

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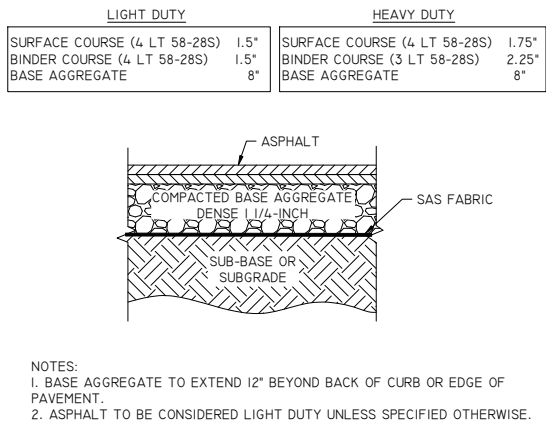


DATE	ISSUANCE	BY	CHKD	SURVEYED BY: BDE, AJB	DESIGNED BY: LAZ	SURVEY DATE: 7-29-2024
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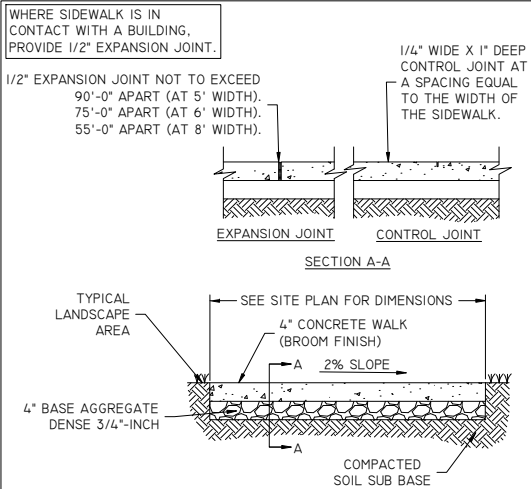
LANDSCAPE NOTES & DETAILS
EBNER PROPERTY
226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401

REI
REI No. 11667
SHEET C401

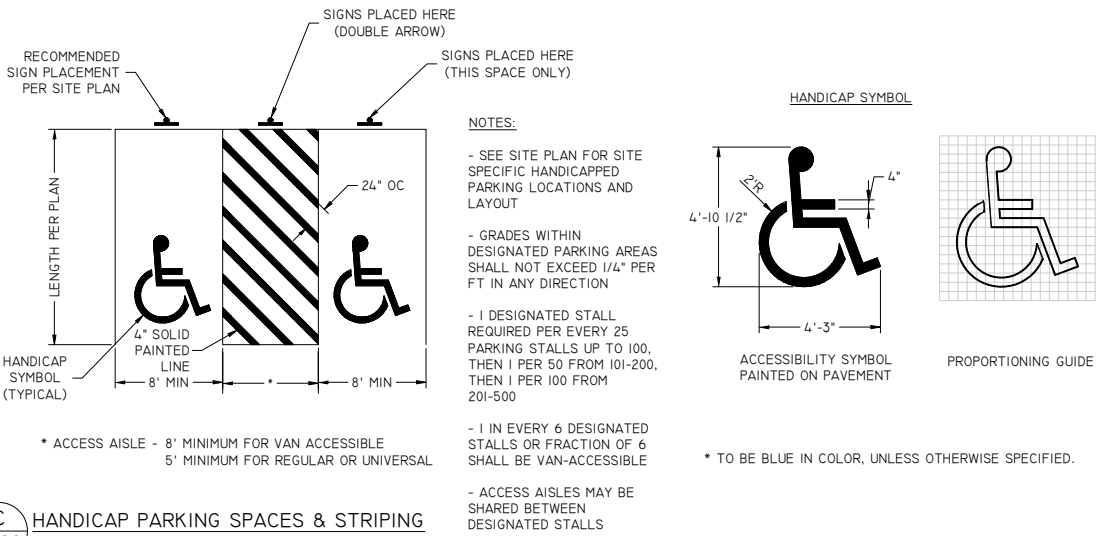
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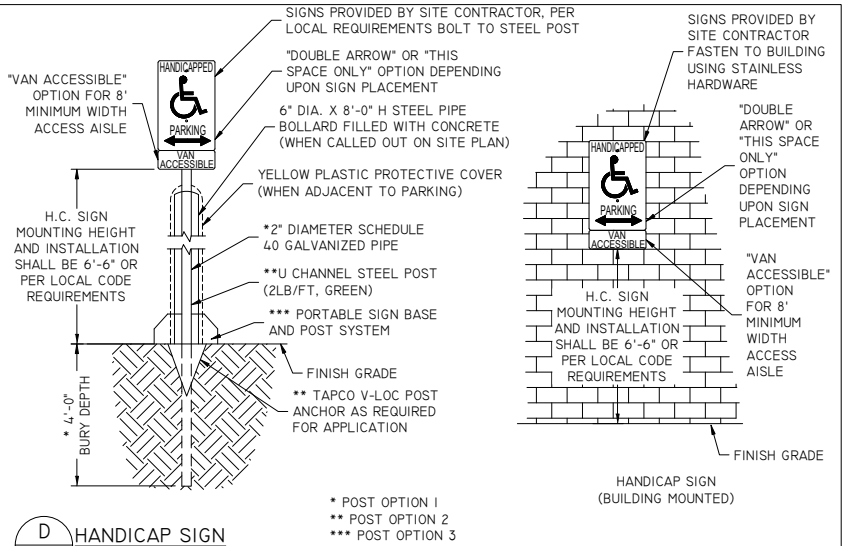
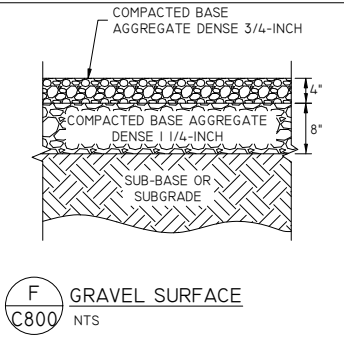
A ASPHALT PAVEMENT
C800 NTS



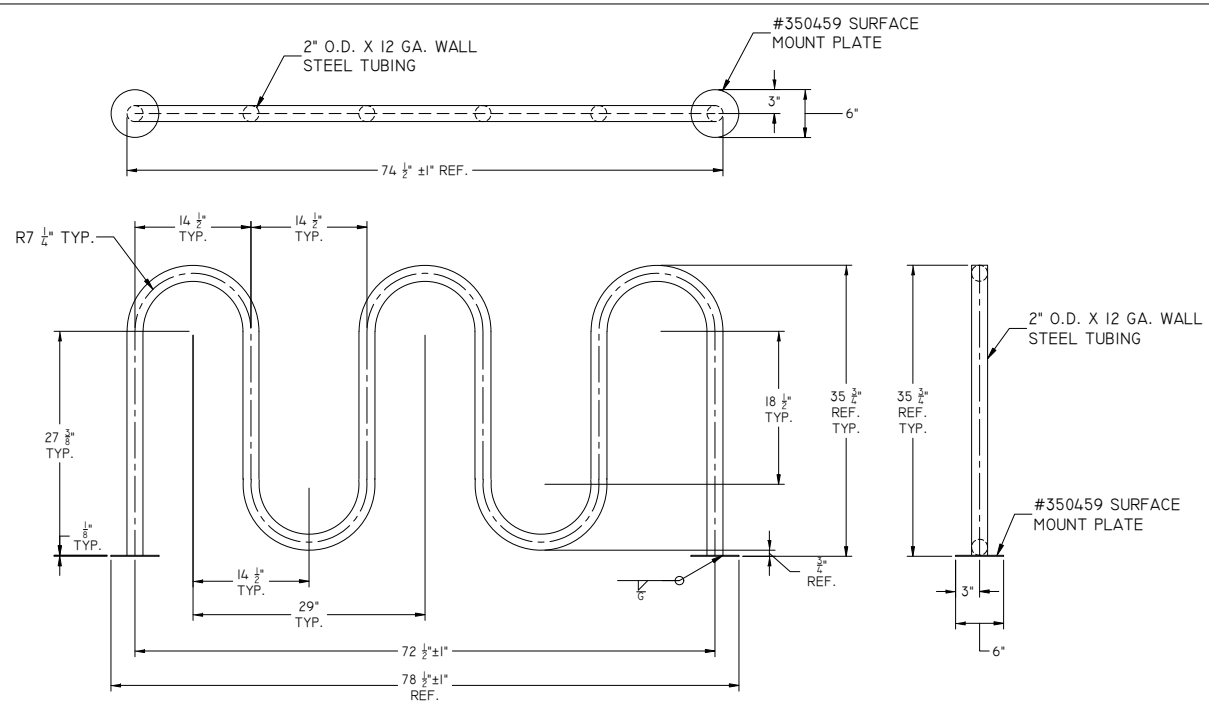
B SIDEWALK SECTION
C800 NTS



C HANDICAP PARKING SPACES & STRIPING
C800 NTS



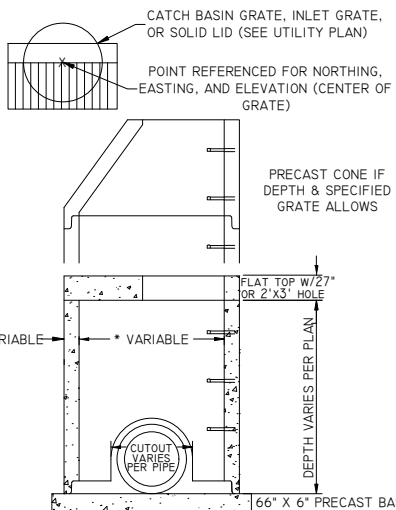
D HANDICAP SIGN
C800 NTS



E BIKE RACK
C800 NTS



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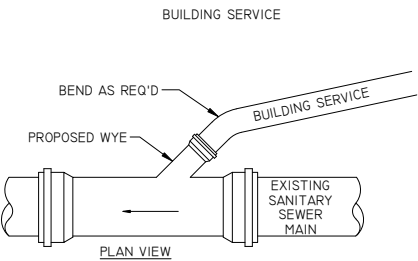


SPECIFICATIONS:
• MANUFACTURED TO ASTM C-478 SPECIFICATIONS
• CONCRETE STRENGTH - 4000 P.S.I.
• STEEL DESIGN IN ACCORDANCE WITH A.S.T.M. C-478 0.12 SQ.IN./FT.
• ALL REINFORCING DESIGNED FOR 1" MIN. COVER
• STEP - STEEL, PLASTIC COATED, 16" ON CENTER
• 6" ADJUSTMENT RINGS (2" THICK EACH RING)
• NEENAH #I550A-C FRAME AND LID FOR MANHOLE APPLICATION
• NEENAH #I550A FRAME WITH #2050 GRATE FOR CATCH BASIN APPLICATION
• NEENAH #R-3067 SERIES FOR INLET APPLICATION. (TYPE C FOR SAG, TYPE L FOR ON-GRADE). SUBSTITUTE HM BOX FOR DRIVEWAY APPLICATION.

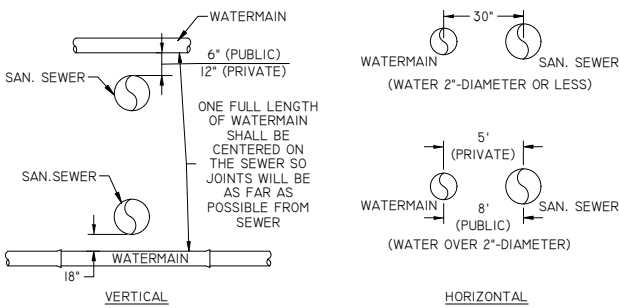
PIPE DIAMETER	MANHOLE DIAMETER	WALL THICKNESS
8" THRU 27"	3'-6"	4-1/2"
30"	4'-0"	5"
36"	5'-0"	6"
42"	6'-0"	7"

A
C820 STORM SEWER CATCH BASIN OR MANHOLE
NTS

NOTE: ALL MATERIALS SHALL BE SCHEDULE 40 PVC EXCEPT LATERAL WYE. WYE SHALL BE OF SUCH DIMENSION TO ACCOMMODATE THE DIAMETER OF THE LATERAL PIPE AND THE TYPE AND SIZE OF THE EXISTING MAIN

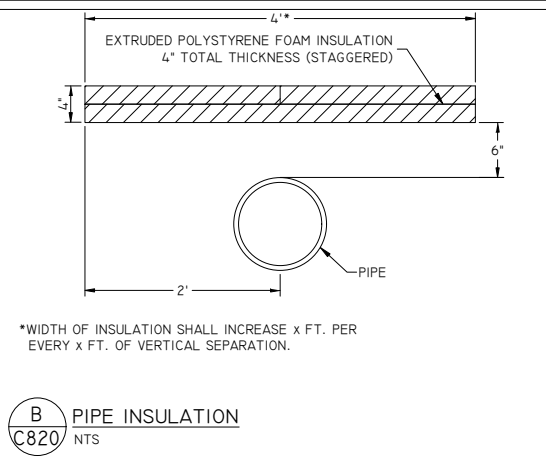


F
C820 SANITARY SEWER LATERAL
NTS

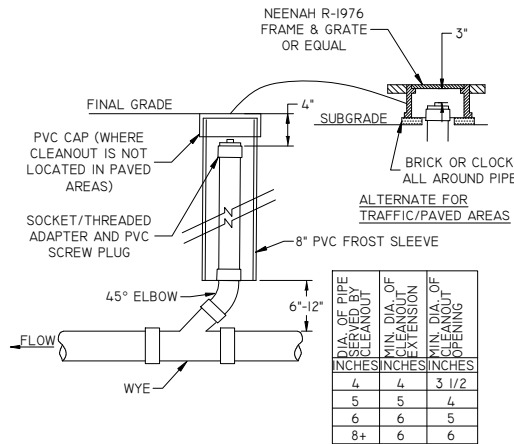


NOTES:
1. WHEN THE ABOVE SEPARATIONS CANNOT BE MAINTAINED, THE ENGINEER MAY REQUIRE THE CONTRACTOR TO ENCASE THE SEWER IN CONCRETE.
2. NO PRIVATE WATER MAIN OR WATER SERVICE SHALL BE INSTALLED WITHIN 6' OF A STORM SEWER. PUBLIC WATER MAIN MUST MEET THE SAME HORIZONTAL AND VERTICAL SEPARATION DISTANCES AS REQUIRED FOR SANITARY SEWER.

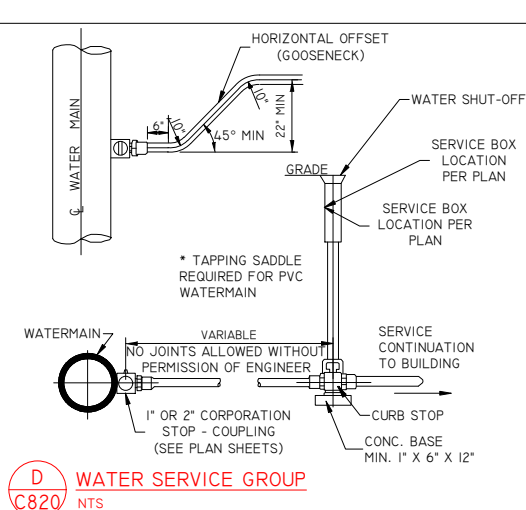
G
C820 SEWER / WATERMAIN SEPARATION DISTANCE
NTS



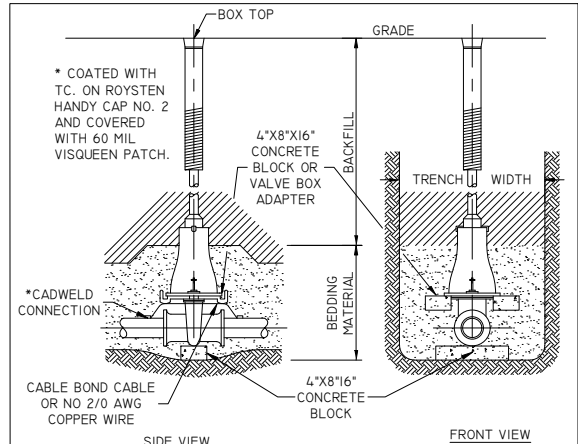
B
C820 PIPE INSULATION
NTS



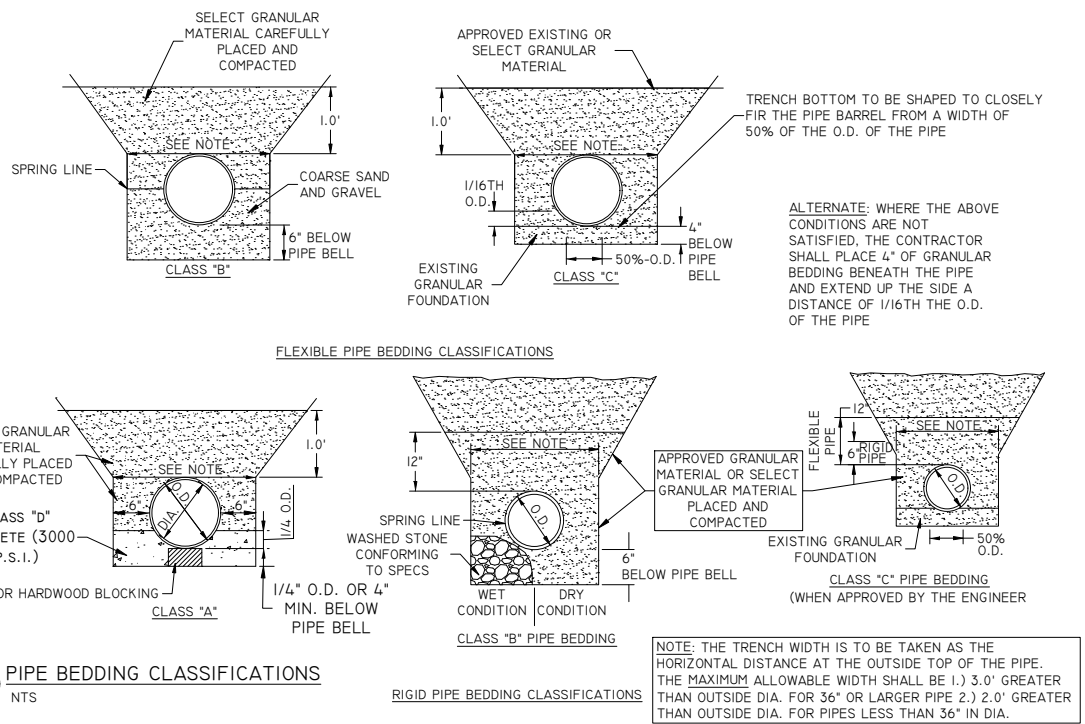
C
C820 CLEANOUT
NTS



D
C820 WATER SERVICE GROUP
NTS



E
C820 GATE VALVE BOX SETTING
NTS



H
C820 PIPE BEDDING CLASSIFICATIONS
NTS



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PLOTTED: MAR 14, 2025 - 10:25AM PLOTTED BY: LOGANZ

GENERAL NOTES/SPECIFICATIONS

1. SITE USAGE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS TO FACILITATE CONSTRUCTION OF PROPOSED IMPROVEMENTS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH EQUIPMENT AND MATERIALS. MATERIAL STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
2. ALL SUB-CONTRACTORS SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR (OR OWNER'S REPRESENTATIVE) WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
3. THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNER'S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, SAFE ACCESS TO FACILITIES, FIRE PREVENTION, AND PROJECT PHASING, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER'S PROPERTY.
4. CONTRACTOR SHALL KEEP A CLEAN SITE DURING CONSTRUCTION AND THROUGH FINAL ACCEPTANCE.
5. ALWAYS FOLLOW WRITTEN DIMENSIONS. DO NOT SCALE. IF DISCREPANCY EXISTS, CONTACT THE ENGINEER.
6. REMOVE ALL TREES WITHIN THE GRADING LIMITS, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER TO LOCATE ALL TREES TO REMAIN.
7. PROTECT TREES, UTILITY POLES, ABOVE AND BELOW GRADE UTILITIES, AND OTHER FEATURES THAT ARE TO REMAIN. THE REPAIR OF ANY DAMAGE TO FEATURES TO REMAIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO PAYMENT DUE FOR SUCH REPAIRS.
8. PROTECT ABOVE AND BELOW GRADE UTILITIES THAT ARE TO REMAIN.
9. ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, WATER VALVES, LIGHT POLES, HYDRANTS , ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. REFER TO THE SITE GRADING PLAN SHEET.
10. PROTECT BENCHMARKS, REFERENCE SURVEY POINTS AND OTHER PROVIDED CONSTRUCTION STAKES.
11. CALL DIGGER'S HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
12. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
13. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS, AND RELOCATIONS.
14. NOTIFY ELECTRIC UTILITY AT LEAST ONE WEEK PRIOR TO WORKING IN AREAS WHERE UTILITY POLES EXIST. UTILITY COMPANY WILL PROTECT POLES AS NECESSARY.
15. DURING CONSTRUCTION THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL DEVICES.
16. EROSION CONTROL DEVICES SHALL ABIDE BY THE WDNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS.
HTTPS://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML
17. CONFIRM THAT ALL TOPSOIL HAS BEEN STRIPPED FROM AREAS TO RECEIVE EMBANKMENT BEFORE PLACING EMBANKMENT MATERIAL.
18. EMBANKMENT MATERIAL SHALL BE EXCAVATED SITE MATERIAL AND/OR IMPORTED MATERIAL DEEMED SUITABLE BY THE OWNER AND OWNER'S REPRESENTATIVE, AND CONFORM TO THE REQUIREMENTS OF SUB-SECTION 207.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MODIFY WATER CONTENT OF THE MATERIAL AS NECESSARY TO OBTAIN SPECIFIED COMPACTION FOR ALL EMBANKMENT MATERIAL.
19. CONSTRUCT ALL EMBANKMENT THAT WILL SUPPORT ROADWAYS OR ASPHALT PARKING IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; AND MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE.
20. CONSTRUCT UTILITY TRENCHES IN EMBANKMENT AREAS AFTER CONSTRUCTION OF EMBANKMENT.
21. BORROW MATERIAL SHALL BE IMPORTED MATERIAL MEETING THE REQUIREMENTS OF SECTION 208.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL IDENTIFY ITS BORROW SOURCES TO THE OWNER'S CONSTRUCTION REPRESENTATIVE AT LEAST TWO WEEKS IN ADVANCE OF HAULING MATERIAL TO THE PROJECT SITE SO THE OWNER'S CONSTRUCTION REPRESENTATIVE CAN OBTAIN

SAMPLES AND PERFORM THE DESIRED TESTING.

22. STRUCTURAL FILL IS REQUIRED IN ALL AREAS THAT WILL SUPPORT PRESENT OR FUTURE BUILDING STRUCTURES, AND WITHIN AREAS EXTENDING DOWNWARD AND OUTWARD FROM THE BUILDING LIMITS AT FINISHED GRADE ON A 1-TO-1 (HORIZONTAL TO VERTICAL) SLOPE TO THE BOTTOM OF THE FILL. CONFIRM THAT ALL UNSUITABLE MATERIAL HAS BEEN REMOVED FROM AREAS TO RECEIVE STRUCTURAL FILL BEFORE PLACING MATERIAL. SUB GRADES MAY NOT RECEIVE STRUCTURAL FILL IF FROZEN, AND FROZEN STRUCTURAL FILL IS NOT ACCEPTABLE FOR USE. PROVIDE ADEQUATE ADVANCED NOTIFICATION, ACCESS, EQUIPMENT, AND OPERATOR TO PERMIT TESTING AGENCY TO OBSERVE COMPACTING OF SUB GRADE PRIOR TO PLACEMENT OF STRUCTURAL FILL MATERIAL. PROVIDE ADEQUATE ADVANCE NOTIFICATION, ACCESS AND COOPERATION TO TESTING AGENCY TO PERFORM DENSITY TESTING ON EACH LIFT OF FILL PLACED, PRIOR TO PLACING FILL ABOVE THE LIFT. THE TESTING FREQUENCY WILL BE DETERMINED BY THE OWNER OR OWNER'S DESIGNATED REPRESENTATIVE. CONSTRUCT ALL STRUCTURAL FILL IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; ALL LIFTS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557; MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE; THE LIMIT OF STRUCTURAL FILL FOR PURPOSES OF COMPACTION REQUIREMENTS IS DEFINED AS THE AREA ENCOMPASSED BY PLANS EXTENDING DOWNWARD AND OUTWARD FROM THE EDGES OF THE STRUCTURE OR CONCRETE SLAB AT 45-DEGREE ANGLES RELATIVE TO HORIZONTAL (I.E. 1:1 SLOPES).
23. THE CONTRACTOR SHALL PREPARE THE SITE TO SUPPORT THE PROPOSED SURFACE PER SECTION 211 OF THE WISDOT STANDARD SPECIFICATIONS.
24. DENSE GRADED BASE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS FOR DENSE GRADED BASE, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
25. HOT MIX ASPHALT PAVEMENT SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 460 OF THE WISDOT STANDARD SPECIFICATIONS FOR PAVEMENT, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
26. CONCRETE PAVING SHALL CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS. CONCRETE CURB AND GUTTER SHALL CONFORM TO THE APPLICABLE REGULATIONS OF SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS. CONCRETE MATERIAL SHALL BE TYPE A OR A-FA AS DEFINED WITHIN SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS WITH A DESIGN STRENGTH OF 4,500 PSI.
27. HDPE STORM SEWER SHALL BE CORRUGATED EXTERIOR WITH SMOOTH INTERIOR AND SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M 294 TYPE S, ASTM F667, ASTM F405. END SECTIONS FOR CULVERTS SHALL BE OF THE SAME MATERIAL TYPE AS THE PIPE TO WHICH THE APRON END WALL WILL BE CONNECTED, EXCEPT STEEL END SECTIONS MAY BE USED FOR HDPE PIPE. INSTALL HDPE PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 608 OF THE WISDOT STANDARD SPECIFICATIONS.
28. NON-PRESSURE POLYVINYL CHLORIDE PIPE SHALL BE SDR 35 OR SCHEDULE 40 PVC PIPE.
29. POLYVINYL CHLORIDE PIPE FOR PRESSURE APPLICATIONS SHALL CONFORM TO THE REQUIREMENTS OF AWWA C900, PRESSURE CLASS 150.
30. WATER TUBING SHALL BE OF MATERIALS SPECIFIED IN 8.24.1 OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADDENDA.
31. DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST REVISION OF ANSI A21.51 (AWWA C151). DUCTILE IRON PIPE SHALL BE CEMENT-MORTAR LINED AND COATED IN ACCORDANCE WITH THE LATEST REVISION OF ANSI A21.4 (AWWA C104). ALL DUCTILE IRON PIPE SHALL BE PRESSURE CLASS 350 UNLESS OTHERWISE SPECIFIED.
32. PIPE INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADDENDA.
33. PIPE INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.30(11)(C)2 AS REQUIRED BY SPS 382.30(11), SPS 382.36(7) & SPS 382.40(8).
34. STORM SEWER AND ROOF DRAIN LEADERS ARE SUBJECT TO FREEZING REGARDLESS OF BURY DEPTH AS THESE DRAINAGE SYSTEMS ARE TYPICALLY OPEN TO THE SURFACE. AS A MEASURE TO REDUCE FREEZE UP, REI SUGGESTS THE INSTALLATION OF HEAT TAPE AND/OR PIPE INSULATION TO ANY ROOF DRAIN LEADER OR CONNECTING PIPE. CONTRACTOR SHALL COORDINATE THIS WORK WITH THE OWNER AS WELL AS ELECTRICAL AND PLUMBING DESIGNERS.
35. RIPRAP SHALL CONFORM TO THE REQUIREMENTS OF SECTION 606 OF THE WISDOT STANDARD SPECIFICATIONS, WITH THE GRADE BEING SPECIFIED ON THE PLANS. REFER TO SECTION 645 OF THE WISDOT STANDARD SPECIFICATIONS REGARDING GEOTEXTILE FABRIC FOR RIPRAP.
36. PAVEMENT MARKING PAINT SHALL BE PRE-MIXED WATERBORNE EMULSION APPLIED TO A CLEAN SURFACE AT MANUFACTURER'S RATES. CONFIRM COLOR WITH OWNER PRIOR TO APPLICATION. PAVEMENT MARKINGS PLACED WITHIN THE PUBLIC RIGHT OF

WAY SHALL CONFORM TO THE REQUIREMENTS OF SECTION 646 OF THE WISDOT STANDARD SPECS (EPOXY).

37. AFTER FINAL STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF LEGALLY OFFSITE.
38. AT A MINIMUM RESTORE SITE BY SEEDING & MULCHING ALL DISTURBED AREAS TO BE VEGETATED AND ENSURE ESTABLISHMENT OF ADEQUATE VEGETATION. SEED IS TO BE OF A SINGLE URBAN LAWN MIX TYPE INTENDED FOR THE EXISTING SITE SOILS AND CONFORMING WITH SECTION 630 OF THE WISDOT STANDARD SPECIFICATION.
39. SITE AND IMPORTED TOPSOIL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF SECTION 625 OF THE WISDOT STANDARD SPECIFICATIONS, GRADED FREE OF STONES AND LUMPS LARGER THAN 1 INCH AND FREE OF ROOTS, VEGETATION, AND OTHER UN-DECOMPOSED ORGANIC MATERIAL.
40. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL EXCESS AND UNUSED MATERIALS FROM THE SITE FOLLOWING COMPLETION OF THEIR WORK.

REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784, FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



REI

CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING

DATE	ISSUANCE	BY	CHKD

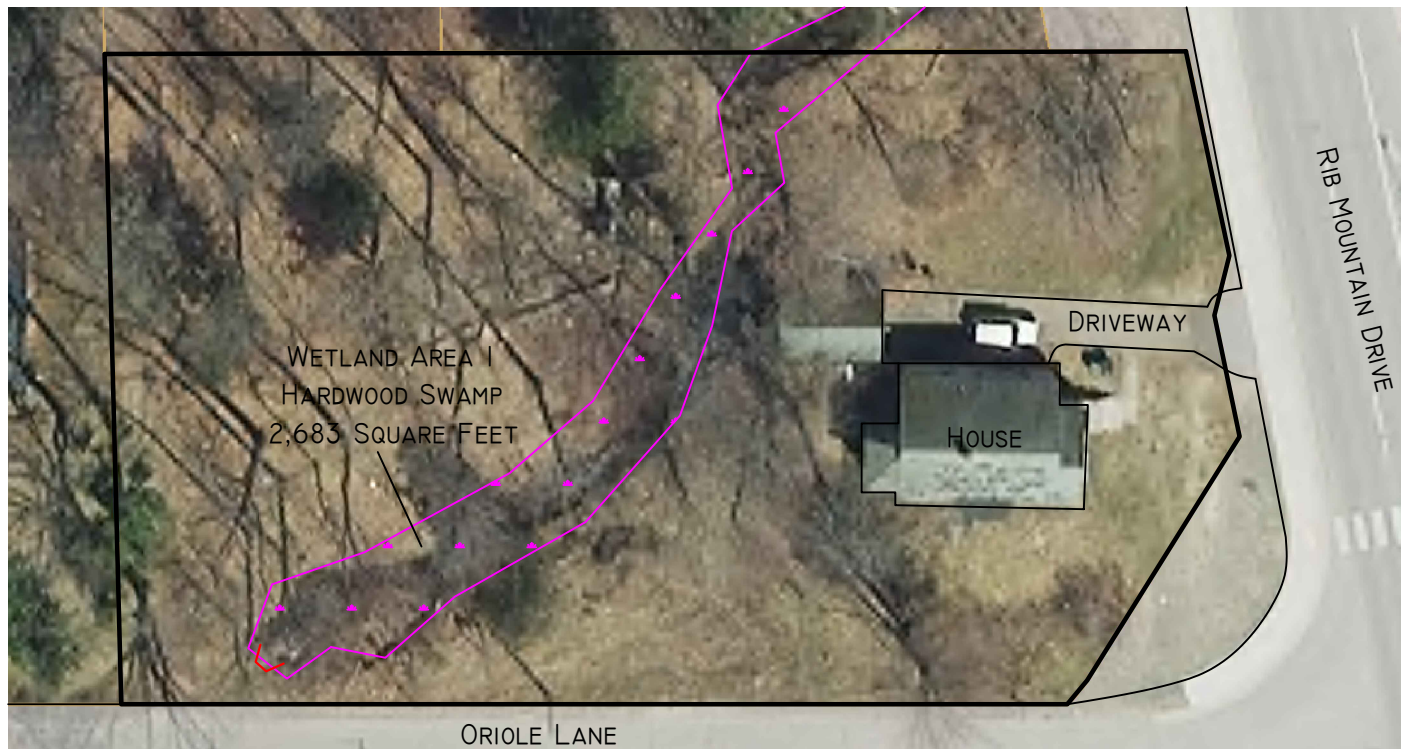
SURVEYED BY: BDE, AJB	DESIGNED BY: LAZ	SURVEY DATE: 7-29-2024
SURVEY CHKD BY: JLR	CIVIL CHKD BY: JJB	CIVIL DATE: 03/13/2025
SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: TAW

SITE SPECIFICATIONS
EBNER PROPERTY
226904 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401

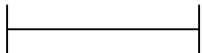

REI No. 11667
SHEET C900

WETLAND DELINEATION MAP

REALCO WISCONSIN LLC. PROPERTY LOCATED THE NE1/4, NE1/4, SECTION 10, TOWNSHIP 28 NORTH,
RANGE 7 EAST, VILLAGE OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN



SCALE: 1" = 40' UNLESS NOTED



NOT A CERTIFIED SURVEY MAP

LEGEND:

— PROJECT BOUNDARY

— WETLAND BOUNDARY

> CULVERT

CREATED BY:



705 3RD STREET, PO BOX 434
MARATHON, WISCONSIN 54448
PHONE: (715) 443-6115
STARENVIRONMENTAL@HOTMAIL.COM

Report Criteria:
Permit.Permit number = "DKT - 2025 - 007"

Permit Number	Application Date	Permit Type	Property Address	Applicant	Status
DKT - 2025 - 00	03/17/2025	CD - Zoning Map Amendment	226904 RIB MOUNTAIN DR	Kurt Schmidt	Submitted

Description of Work
Proposed zoning district: PD (Planned Development District)

Contractors

Name	Contractor Type	Primary Contractor
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Transactions

Date	Description	Source ID	Fee Number	Quantity	Unit of Measurement	Amount	Due at
03/17/2025	Zoning Code Map Amendment		3	.0000		300.00	Setup
Grand Totals:						300.00	

Approvals

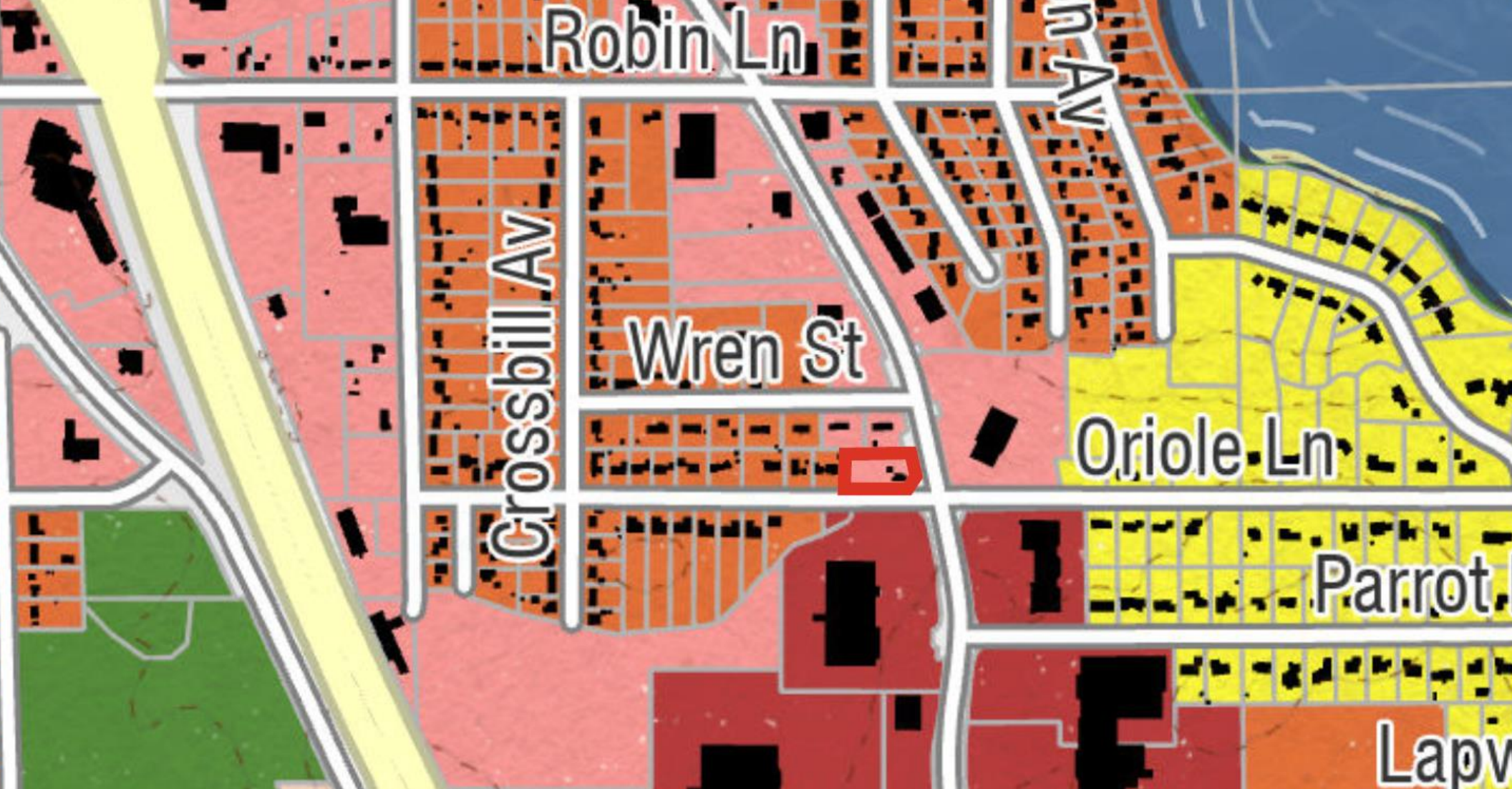
Approval Type	Days to Approve	Due Date	Status	Approved Date	Assigned To
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Inspection Activity

Inspection Number	Inspection Type	Status	Appointment Date	Appointment Time
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Conditions

Condition	Comment
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ZONING DISTRICTS

- OP - Outdoor Recreation/Preserve
- RL - Rural Living
- RM - Rural Mix
- RE - Rural Estate
- RN - Rural Neighborhood
- SN - Suburban Neighborhood

- UN - Urban Neighborhood
- NC - Neighborhood Commercial
- GC - General Commercial
- CC - Corridor Commercial
- RC - Rib Mountain Center

- PD - Planned Development
- GI - General Industrial

- Building Footprints
- Water Bodies

ADOPTION DATE: February 4, 2025

MAIL_NAME1	MAIL_ADDR1	CITY	STATE	ZIP5
DEAN D PIKE	152007 WREN ST	WAUSAU	WI	54401
EDWARD & SANDRA CVEYKUS JR	1835 JAYNES RD	KRONENWETTER	WI	54455
REALCO WISCONSIN LLC	153105 CLOVERLAND LN	WAUSAU	WI	54401
HPI PROPERTIES LLC	PO BOX 116	ROTHSCHILD	WI	54474
DANIEL M BJORK	151971 WREN ST	WAUSAU	WI	54401
HENRY & SANDRA YACH II	152844 PHLOX LN	WAUSAU	WI	54401
STACY M HOLMBERG	151909 ORIOLE LN	WAUSAU	WI	54401
ROBERT & SHIRLEY JEHN	152051 WREN ST	WAUSAU	WI	54401
DAZZLING LLC	PO BOX 68	ROTHSCHILD	WI	54474
JULIE WIEGERT	151901 ORIOLE LN	WAUSAU	WI	54401
BAUER REAL ESTATE LLC	145889 FLINT CREEK CIR	WAUSAU	WI	54401
CASTLETON INVESTORS LLC	895 LOMBARDI AVE	GREEN BAY	WI	54304
BETTY J IMHOFF	151905 WREN ST	WAUSAU	WI	54401
MELVIN & CARLA COSSETTE	151940 ORIOLE LN	WAUSAU	WI	54401
ETCL WAUSAU LLC	8027 FORSYTH BLVD STE 1100	ST LOUIS	MO	63105
CALEB GEBERT & EMILY SCHROEDER	151908 ORIOLE LN	WAUSAU	WI	54401
HARVEY L WILDE	911 WOODLAWN RD	WAUSAU	WI	54403

VILLAGE OF RIB MOUNTAIN
NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that public hearing(s) will be held before the Plan Commission of the Village of Rib Mountain, Marathon County, Wisconsin, at the **Rib Mountain Municipal Center, 227800 Snowbird Ave, on Wednesday, April 9, 2025**, at 5:00 P.M. to hear and consider the request of:

Conditional Use for a detached accessory structure exceeding 1,000 square feet per Rib Mountain Municipal Code Section 17.2.03 Table 2.4 – Maximum area square feet. Owner: James Howe. Location: 219321 County Rd KK. DKT-2025-006

Zoning Map Amendment of .6920 acres from General Commercial (GC) to Planned Development (PD) with General Development Plan per Rib Mountain Municipal Code Section 17.8.11 - Planned Development District Procedures. Owner: Realco Wisconsin LLC. Location: SEC 10-28-07 PT OF N 1/2 NE 1/4 COM ON W LN OF HWY -N- 1 ROD N OF S LN OF N1/2 NE1/4 W 20 RDS N 8 RDS E 20 RDS TO SD HWY S TO BEG EX VOL 402D-587 EX M660-1262 EX DOC# 1728616-RD. DKT-2025-007

Written testimony may be forwarded to the Village of Rib Mountain Plan Commission, Jared Grande, 227800 Snowbird Ave, Wausau, WI 54401 or emailed to jgrande@ribmountainwi.gov by noon on the date of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.

DATED this 24th day of March 2025.

Jared Grande, Community Development Director



AGENDA ITEM COVER SHEET

MEETING/DATE:	Village Board, May 20, 2025
ITEM:	Docket #2025-009: Discussion and recommendation on permanent accessory structure over 1000 SQFT.
FROM:	Jeremy Kloos Building Inspector / Assistant Zoning Administrator

APPLICANT & PROPERTY INFORMATION

APPLICANT:	Jeremiah Karpinski					
OWNER:	Jeremiah Karpinski					
PROPERTY ADDRESS:	52850 Cloverland Ln.					
PIN/PARCEL #:	168-2807-113-0998					
ZONING:	Suburban Neighborhood SN					
ADJACENT ZONING:	NORTH:	SN	SOUTH:	SN	EAST:	SN
FUTURE LAND USE:	Suburban Neighborhood					

BACKGROUND

The applicant is looking to build an accessory structure for MISC storage. Our current zoning allows up to a 1000 SQFT total accessory structure allowance on a property. Under the conditional use permit a property under 5 acres could be increased to 1500 SQFT.

PREVIOUS ACTIONS:	<i>Motion by Carry Edmondson seconded by Jeanine Knapp to approve with the conditions outlined by staff.</i> <i>Motion carried 6/0.</i>
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STAFF COMMENTS:	See Determination Report (attached).
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ATTACHMENTS:	Conditional Use Determination Report, Permit Report, Site Plan, Building plans, Narrative, Public Notice items, Zoning Map,
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POSSIBLE ACTIONS TO BE TAKEN

See Determination Report (attached)

REQUESTED ACTION:	Recommend approval with staff recommendations with additional condition: 1. The garage exterior shall match the house.
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FURTHER ACTION(s):	Notify applicant of the Board's decision (Staff)
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CONDITIONAL USE PERMIT DETERMINATION REPORT

FROM:	Jeremy Kloos Building Inspector / Assistant Zoning Administrator		
DOCKET No.	2025-009	HEARING DATE:	May 14, 2025
APPLICANT:	Jeremiah Karpinski 52850 Cloverland Ln. Wausau, WI 54401		
OWNER:	Jeremiah Karpinski 52850 Cloverland Ln. Wausau, WI 54401		
LOCATION:	52850 Clover Ln. Wausau, WI 54401		
DESCRIPTION:	A detached private residential garage, carport or utility shed in excess of 1,000 square feet.		

The Department of Community Development of the Village of Rib Mountain, pursuant to the Village of Rib Mountain Zoning Code, Subchapter 11 Processes, Section 17.8.08 Conditional Use Procedures, hereby makes the following findings and evaluation to the Village of Rib Mountain Plan Commission:

GENERAL INFORMATION

ZONING: (SN) Suburban Neighborhood

DEFINITION:
17..2.03(6) This district is intended to permit development which has a moderate suburban community character. This district is intended to be used for single-family areas served by public water and public sanitary sewer. The principal land use is Single Family Detached residential.

LAND USE: Accessory use or structure

DEFINITION SECTION:
17.10.04(6) A use or structure subordinate to, and serving, the principal use or structure on the same lot and customarily incidental thereto.

REVIEW OF PERFORMANCE STANDARDS

- a. The total floor area of an accessory building, when added together, shall adhere to the dimensional standards under the zoning district. (1000 SQFT permitted by rite)

Does not meet requirements.

Proposed garage is 1488 sq/ft.

The above performance standards outlined can be exceeded through the conditional use process. The proposed detached garage meets all other performance standards not outlined in this report.



DETERMINATION / FINDING OF FACT

1. How is the proposed conditional use permit (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Village of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

The proposed structure appears to be intended for residential use, so overall impact on neighboring properties or the neighborhood will be at a minimum.

2. How is the proposed conditional use permit (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Village of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

The area is suburban in character. Staff does not believe this will be detrimental to neighbors nearby.

3. Is it likely that the proposed conditional use permit, in its proposed location and as depicted on the required site plan, will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Chapter, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide growth and development?

Future Land use shows this area as Suburban Neighborhood, which this use fits as an accessory use.

4. Does the proposed conditional use permit maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed structure furthers the intent of the single-family residents, as detached structures are permitted use, when under 1,000 sq. ft. The request for conditional use is due to the location and size of the property. The property is under 5 acres located in residential area with the ability to increase size to 1,500 sq. ft. under a conditional use.

5. Is the proposed conditional use permit located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?

There are not any public utility facilities in this area of the Village.

6. Do the potential public benefits of the proposed conditional use permit outweigh any and all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. through 5., above), after taking into consideration any proposal by the Applicant and any requirements recommended by the Applicant to ameliorate such impacts?

Indoor storage of motorized and nonmotorized passenger and recreation vehicles, the storage of recreation equipment, the storage of residential maintenance equipment and the storage of other household items is encouraged and reduce visual impacts to neighboring properties.



BACKGROUND INFORMATION

The owner is requesting a total of 1488 sq./ft. through the conditional use permit process. The Village allows 1000 sq/ft permitted by rite and up to 1500 sq/ft through the conditional use process.

CURRENT PROPERTY CONDITIONS

There currently is a new residential single-family house under construction on this property with an attached two car garage.

STAFF COMMENTS

The applicant provided elevation drawings and floor plan showing the design of the building. The proposed garage will be constructed and finished in a complimentary architectural style and with complimentary materials to the principal structure located on the property.

POSSIBLE ACTIONS TO BE TAKEN

RECOMMEND APPROVAL: Plan Commission recommends the Village Board approve the application for conditional use allowing for the installation of an accessory structure in excess of 1,000 SQFT, at 52850 Cloverland Ln. with the following conditions:

1. Construction of the accessory structure shall be in accordance with the performance standards depicted on the Site Plan and Building Specifications (as approved by the Building Permit).
2. The detached garage shall not be used for dwelling purposes.
3. The total accessory structure area on the parcel described above shall not exceed 1,500 square feet.
4. The Community Development Director can approve minor alterations to the terms of the permit and have it documented in the property file. Any substantial change determined by the Community Development Director requires following the same procedures for a new conditional use permit application.
5. Should the work associated with the building permit not be completed and inspected prior to the permit expiring, then this approval shall be revoked, per Section 17.8.08(14)
6. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing herein shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption, or exception to any law, ordinance, order or rule by the Village, Marathon County, State of Wisconsin, United States, or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property in any specific respects described herein; and
7. Should any paragraphs or phase of herein be determined by a court of competent jurisdiction to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the remainder of this conditional use and the remainder shall continue in full force and effect.

RECOMMEND APPROVAL WITH MODIFICATIONS: Plan Commission recommends the Village Board approve the application for a conditional use allowing for the installation of an accessory structure in excess of 1,000 SQFT, at 52850 Cloverland Ln, with additional (or less) conditions, as discussed based on substantial evidence (or lack thereof) following 2017 WI Act 67.

DEFER ACTION: Defer action on the conditional use based on insufficient material/evidence provided by the applicant or uncertainty among the commissioners based on evidence presented at the public hearing. A decision shall be made within 60 days after the filing of a complete application. If the Plan Commission chooses not to make a recommendation or fails to make a recommendation to the Village Trustees within 45 days of the public hearing, the request for the



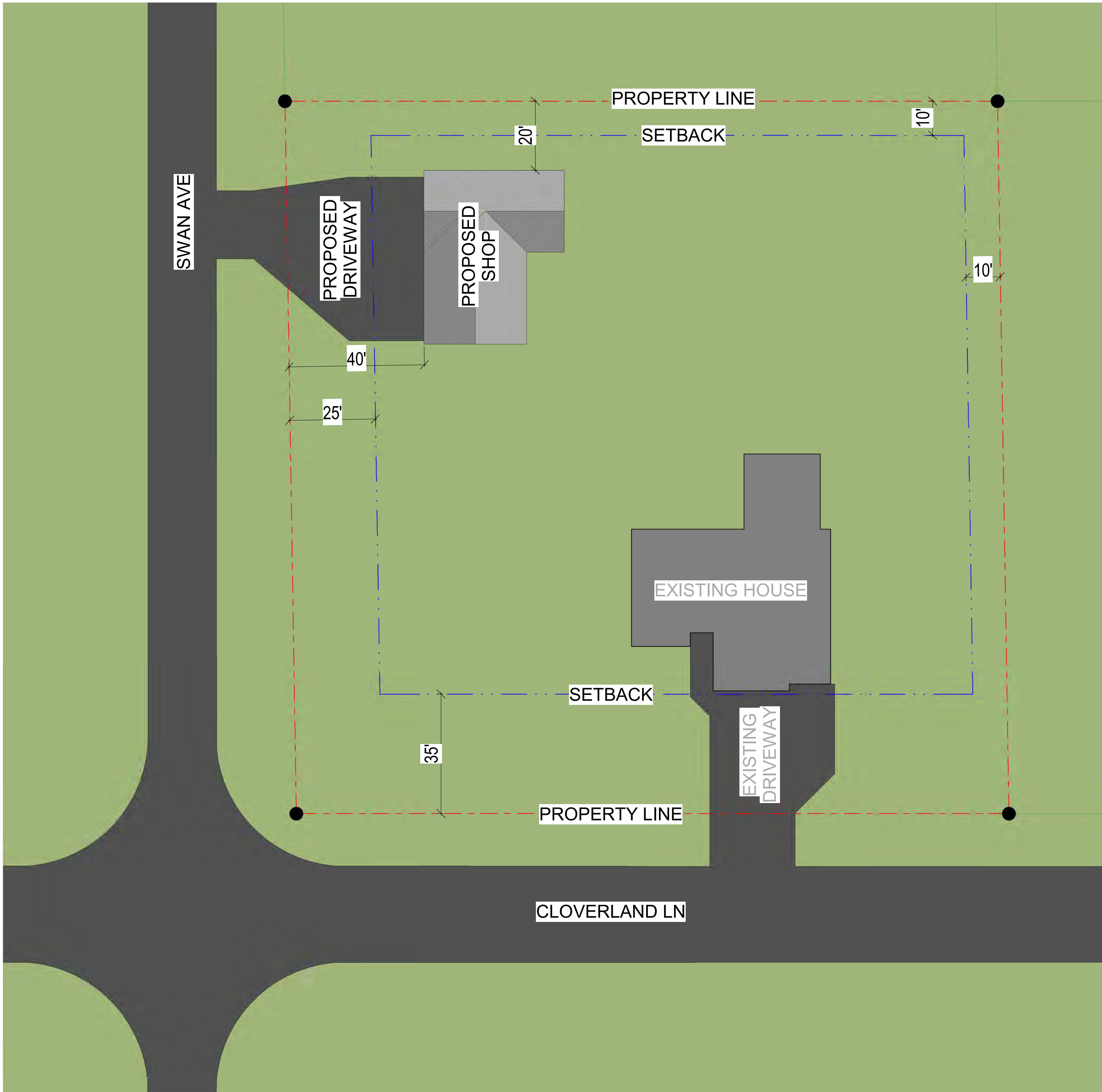
installation of an accessory structure in excess of 1,000 SQFT at location stated above shall be forwarded to the Village Trustees without a Plan Commission recommendation.

RECOMMEND DENIAL: Plan Commission recommends the Village Trustees deny the application for conditional use permit based on substantial evidence (or lack thereof) following 2017 WI Act 67 provided at the public hearing.

**JERIMIAH KARPINSKI
SHOP**

WAUSAU, WI 54401

2025-04-21



① PROPOSED SITE PLAN
1" = 20'-0"

SHEET INDEX

A000	TITLE SHEET
A101	PLANS
A300	EXTERIOR ELEVATIONS

WAUSAU, WI 54401

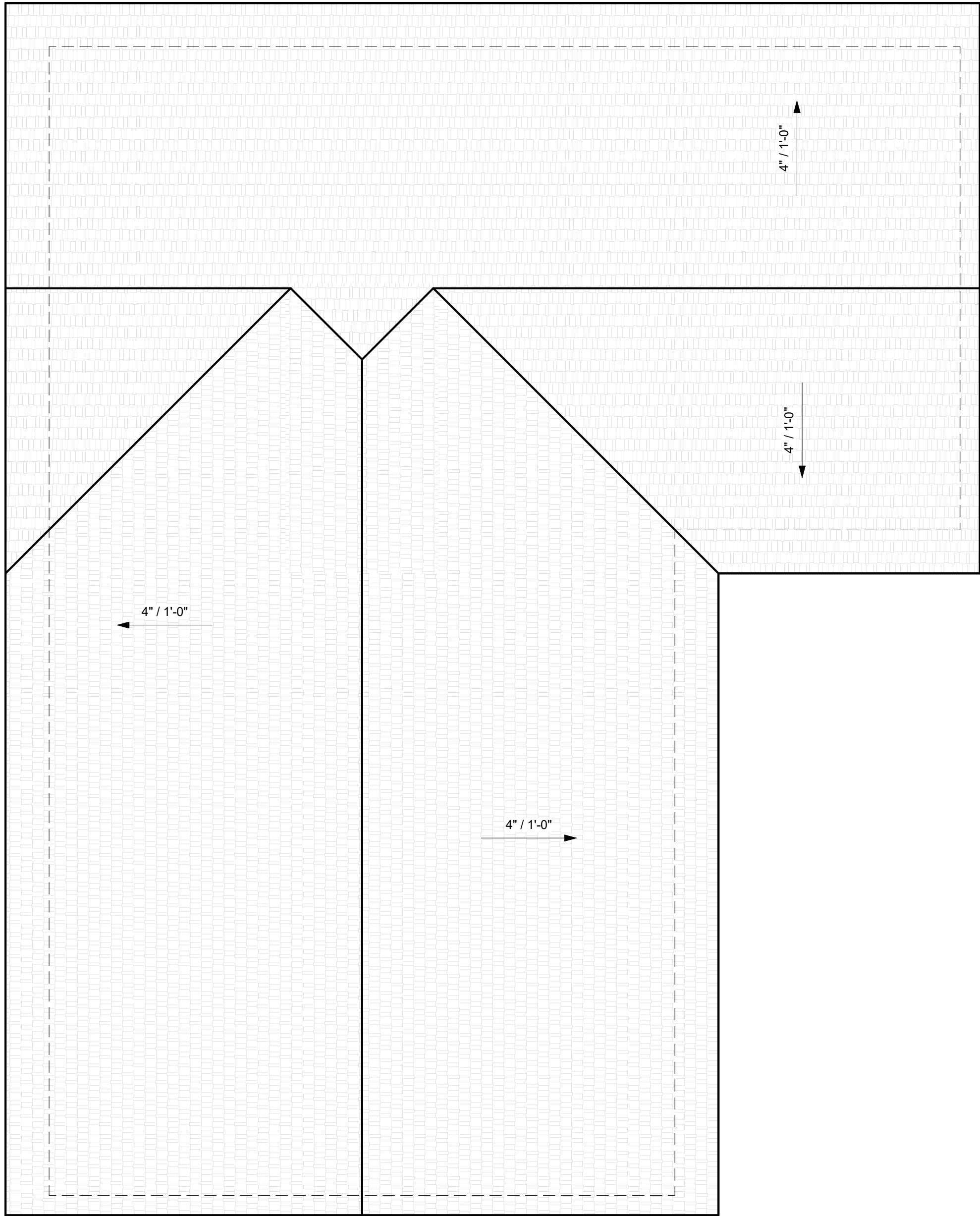
**JERIMIAH
KARPINSKI SHOP**

TITLE SHEET

Project number	063d
Date	2025-04-21
Drawn by	SK

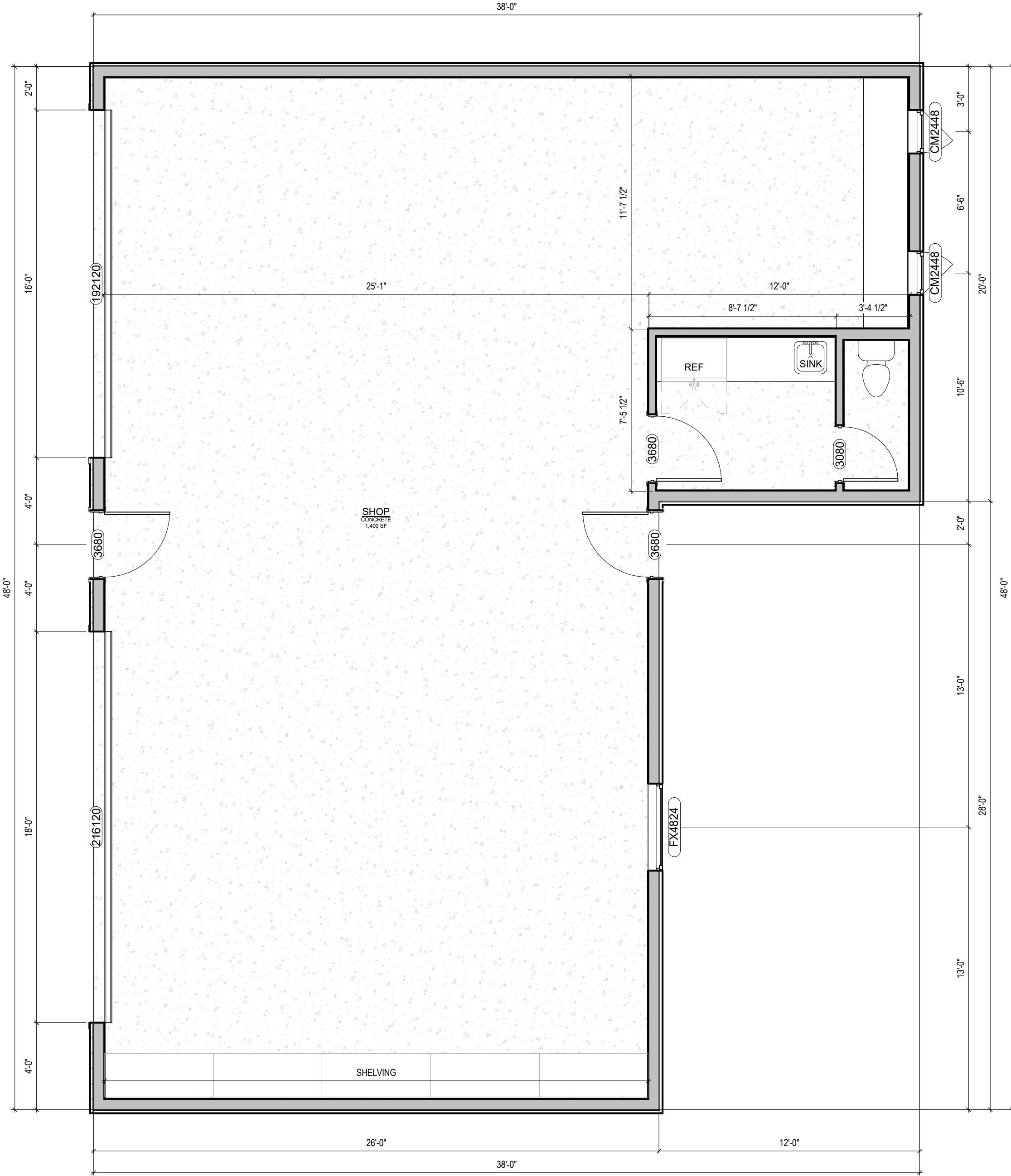
A000

Scale	1" = 20'-0" (24x36)
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1
N

2 ROOF PLAN
1/4" = 1'-0"



1
N

1 FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

1. ALL WALL DIMENSIONS ARE TO FACE OF STUD.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON JOBSITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE DESIGNERS ATTENTION IMMEDIATELY.
3. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING ALL BUILDING CODES.

TAG LEGEND

DOOR TAG:	
WIDTH (INCHES)	HEIGHT (INCHES)
WINDOW TAG:	
WIDTH (INCHES)	NUMBER OF MULLED UNITS
HEIGHT (INCHES)	
OPERATION:	
AW - AWNING	
CM - CASEMENT	
FX - FIXED	
SH - SINGLE HUNG	
SL - SLIDER	
BASE CABINETS:	
B - BASE	WIDTH (INCHES)
SB - SINK BASE	
P - PANTRY (FULL HEIGHT)	
WALL CABINETS:	
WIDTH (INCHES)	HEIGHT (INCHES)
WIRE SHELVING:	
WIRE SHELVING	WIDTH (INCHES)

WAUSAU, WI 54401

JERIMIAH
KARPINSKI SHOP

PLANS

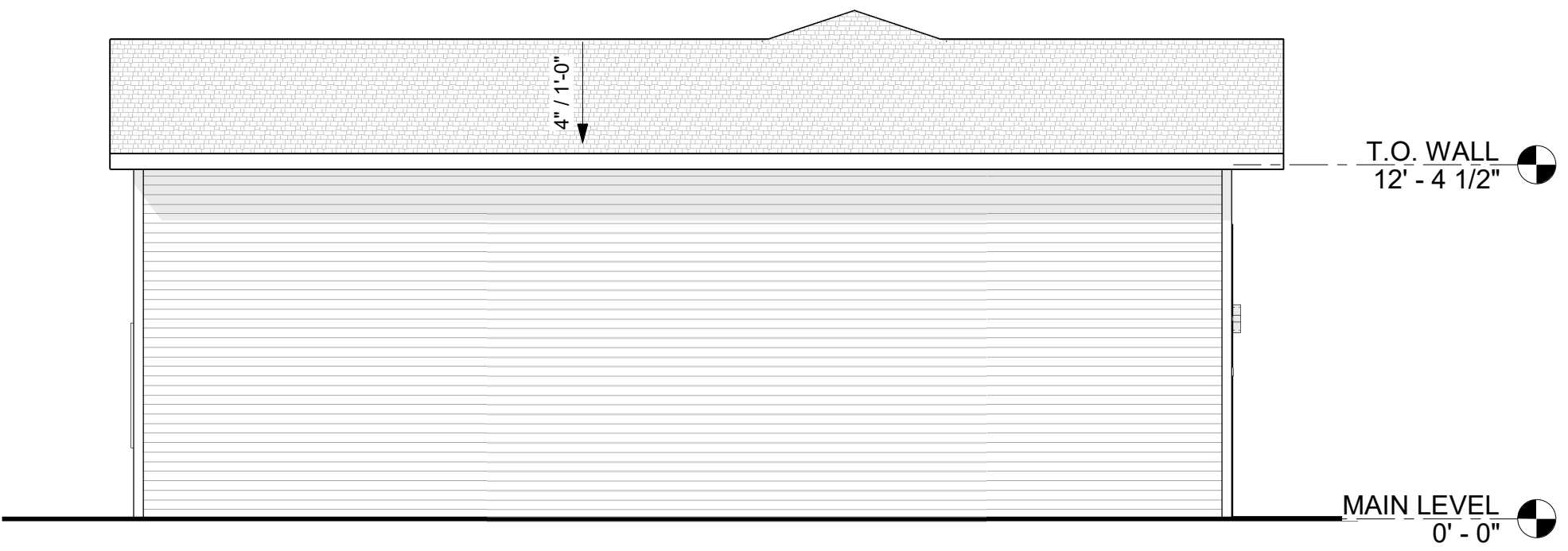
Project number 063d
Date 2025-04-21
Drawn by SK

A101

Scale 1/4" = 1'-0" (24x36)



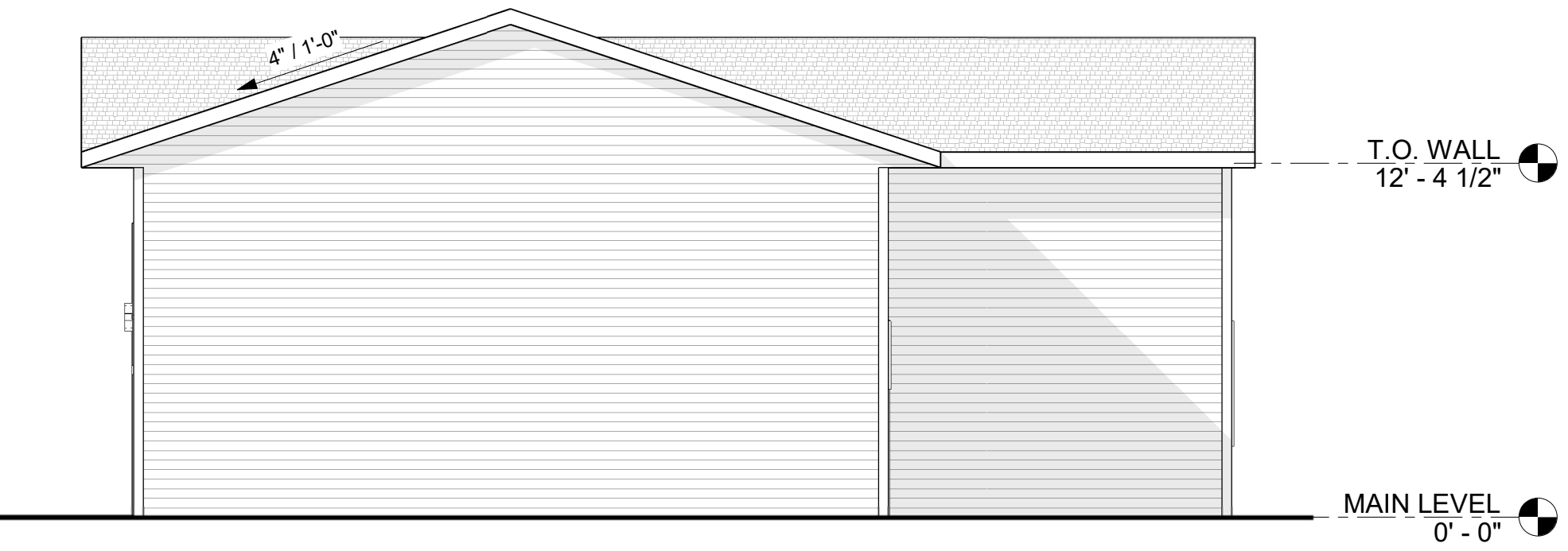
W WEST
3/16" = 1'-0"



N NORTH
3/16" = 1'-0"



E EAST
3/16" = 1'-0"



S SOUTH
3/16" = 1'-0"

GENERAL NOTES

1. ALL WALL DIMENSIONS ARE TO FACE OF STUD.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON JOBSITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE DESIGNERS ATTENTION IMMEDIATELY.
3. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING ALL BUILDING CODES.

TAG LEGEND

DOOR TAG:	
WIDTH (INCHES)	HEIGHT (INCHES)
WINDOW TAG:	
WIDTH (INCHES)	NUMBER OF MULLED UNITS
HEIGHT (INCHES)	
OPERATION:	
AW - AWNING	
CM - CASEMENT	
FX - FIXED	
SH - SINGLE HUNG	
SL - SLIDER	
BASE CABINETS:	
B - BASE	B80
SB - SINK BASE	WIDTH (INCHES)
P - PANTRY (FULL HEIGHT)	
WALL CABINETS:	
WIDTH (INCHES)	HEIGHT (INCHES)
WIRE SHELVING:	
WIRE SHELVING	WS30
	WIDTH (INCHES)

WAUSAU, WI 54401

JERIMIAH
KARPINSKI SHOP

EXTERIOR
ELEVATIONS

Project number 063d

Date 2025-04-21

Drawn by SK

A300

Scale As indicated (24x36)

(a) A map of the subject property showing all lands for which the conditional use is proposed;

(b) A map of the generalized location of the subject property in relation to the Town as a whole;

(c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

-More storage needed than the 1000 feet and taller walls for boats that I have

(d) A site plan of the subject property as proposed for development.

(e) Written rationale for the proposed conditional use, consisting of the reasons why the Applicant believes the proposed conditional use is appropriate for the proposed site;

-looking to remove the storage shed that is currently on the property, and add a matching detached garage

-1 acre lot with plenty of space for the proposed building

-materials will match and accent the house on the property

(f) How is the proposed conditional use (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Zoning Code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

- the removal of an ugly storage shed and replaced with a building to add value to the property

(g) How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Town of Rib Mountain Comprehensive Plan, this Zoning Code, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Town?

- the removal of an ugly storage shed and replaced with a building to add value to the property

-keep items inside an envelope instead of sitting outside

(h) Is it likely that the proposed conditional use, in its proposed location and as depicted on the required site plan, will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Zoning Code, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Town or other governmental agency having jurisdiction to guide growth and development?

-unlikely negative affect on any property since it will look like the house with roof line and materials

(i) Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

- with the building being raised up it will be able to slope water away better into the ditch and help with removal of water

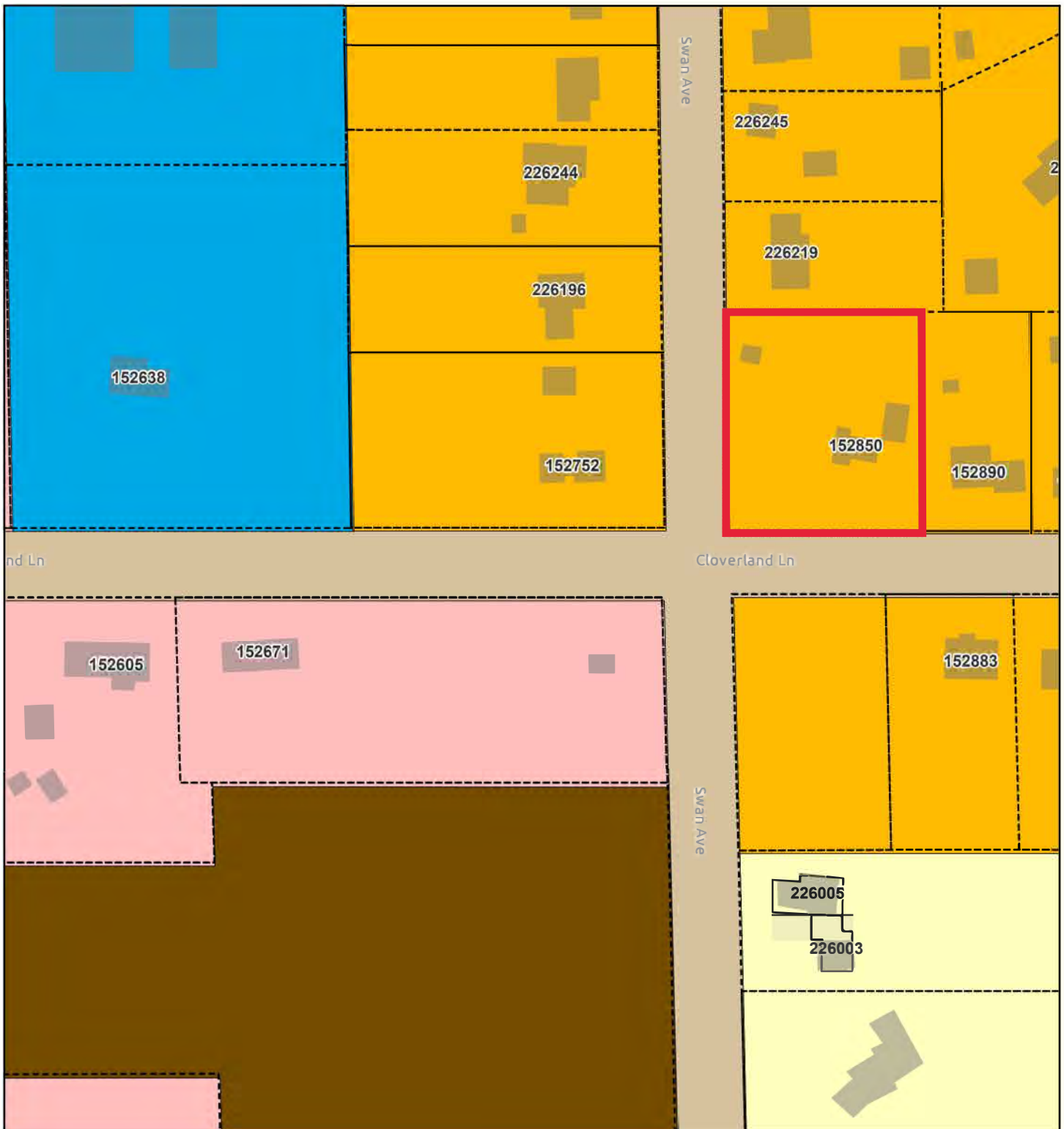
(j) Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

- building will be 40 feet off the road lot line so it will not effect any upgrades to roads or drainage

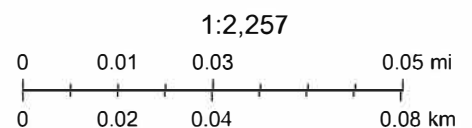
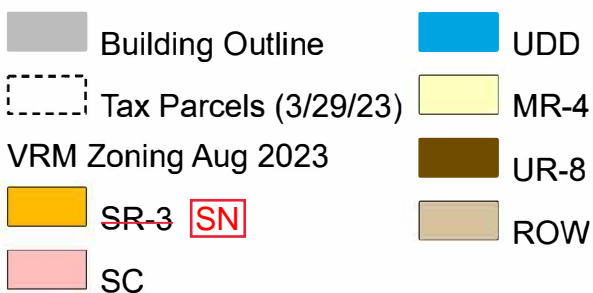
(k) Do the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use?

- I **don't** see any thing that will out weigh positive vs negative

Town of Rib Mountain Zoning Map



5/8/2025, 1:26:18 PM



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

MAIL_NAME1	MAIL_ADDR1	CITY	STATE	ZIP5
LORI WOLDT	226260 SWAN AVE	WAUSAU	WI	54401
TODD & BEVERLY LINK	152906 CLOVERLAND LANE	WAUSAU	WI	54401
DAMIAN B RIEDEL	152883 CLOVERLAND LN	WAUSAU	WI	54401
JEREMIAH M KARPINSKI	152580 CLOVERLAND LN	WAUSAU	WI	54401
DAMIAN B RIEDEL	152883 CLOVERLAND LN	WAUSAU	WI	54401
FRIEDA L ESSEX	152905 CLOVERLAND LN	WAUSAU	WI	54401
BRYANT WHEELER	226196 SWAN AVE	WAUSAU	WI	54401
TONY SHILT	152948 CLOVERLAND LN	WAUSAU	WI	54401
TRAVIS L JOHNSON	226044 KINGLET CIR	WAUSAU	WI	54401
APW INCOME TRUST; ALLAN P WOLDT	226287 SWAN AVE	WAUSAU	WI	54401
MATTHEW R BALGORD	3104 W WAUSAU AVE	WAUSAU	WI	54401
RBMTN LLC	1150 SPRINGHURST DR	GREEN BAY	WI	54304
ADAMS REVOCABLE TRUST	226465 KINGLET CIR	WAUSAU	WI	54401
FORTRESS RENTALS LLC	PO BOX 307	WAUSAU	WI	54402
DEBRA KONDZELA	226219 SWAN AVE	WAUSAU	WI	54401
TALL DRINK TRUST	25107 VILLAGE 25	CAMARILLO	CA	93012
JONATHON & HAELEY GNATZ	226451 KINGLET CIR	WAUSAU	WI	54401
JENSEN REVOCABLE TRUST	226433 KINGLET CIR	WAUSAU	WI	54401
JAYNE M FUGLISTER FUGLISTER REVOCABLE TRUS	152941 CLOVERLAND LN	WAUSAU	WI	54401
MICHAEL W & CAROL A REICH 2022 TRUST	226244 SWAN AVE	WAUSAU	WI	54401
MICHAEL & CHRISTINE SEIDLER	226245 SWAN AVE	WAUSAU	WI	54401
JOHN & BONNIE MARTIN	152890 CLOVERLAND LN	WAUSAU	WI	54401

VILLAGE OF RIB MOUNTAIN
NOTICE OF PUBLIC HEARINGS

[See back for page 2](#)

NOTICE IS HEREBY GIVEN that public hearing(s) will be held before the Plan Commission of the Village of Rib Mountain, Marathon County, Wisconsin, at the **Rib Mountain Municipal Center, 227800 Snowbird Ave, on Wednesday, May 14, 2025**, at 5:00 P.M. to hear and consider the request of:

Conditional Use for a detached accessory structure exceeding 1,000 square feet per Rib Mountain Municipal Code Section 17.2.03 Table 2.4 – Maximum area square feet. Owner: Jeremiah Karpinski. Location: 152850 Cloverland Ln. DKT-2025-009.

Zoning Text Amendment to Rib Mountain Municipal Code, Chapter 17 Zoning Ordinance, modifying and adding to the Conditional Use Regulations per Section 17.3.03.3(15) Outdoor Entertainment and Recreation. Applicant: Kurt Schmidt, REI Engineering. Location. N/A. DKT-2025-008.

Conditional Use for a Private Land Trailhead & Trail Network per Rib Mountain Municipal Code Section 17.3.03.3(15) Outdoor Entertainment and Recreation. Owner: RSW Investments, LLC per Land Contract. Location 147711 County Road NN and associated properties. DKT-2025-010.

Zoning Map Amendment of 4.899 acres from Rural Neighborhood (RN) to Outdoor Recreation/Preserve (OP) per Rib Mountain Municipal Code Section 17.8.07 Zoning Map Amendment. Owner: RSW Investments, LLC. Location (three parcels): **1.** That part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Beginning at the Southeast corner of that parcel of land conveyed to Arllein A. James and Sandra J. James, his wife, joint tenants, by Warranty Deed dated October 29, 1973 and recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on October 30, 1973 in Micro-Record 177 on page 627, as Document No. 660807; running thence South, 220 feet; running thence West, to the East line of a town road on the West line of the SW¼ of SW¼; running thence North, along the Easterly line of said Town Road, to a point directly West of the point of beginning; and running thence East, to the point of beginning. AND Outlot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the (now Village) of Rib Mountain, Marathon County, Wisconsin; **2.** That part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows: Commencing 220 feet South of the Southwest corner of the premises conveyed to School District 5 of the Town of Weston, which Deed was recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on May 22, 1890 in Deed Book 50 on page 544; thence South, parallel with the West line of said forty, 660 feet; thence West, to the West Section line of Section 5; thence North, along said Section line, where it intersects the highway running North and South; thence along the East boundary line of said highway, to a point directly West from the point of beginning; thence East, to the point of beginning; excepting the following parcels: Warranty Deed to Merlin Heuhnerfuss and Nancy Huehnerfuss, joint tenants, dated May 10, 1960 and recorded in said Register's office in Deed Book 460 on page 39; and Warranty Deed to Merlin Huehnerfuss and Nancy Huehnerfuss, joint tenants, dated November 25, 1960 and recorded in said Register's office in . Deed Book 460 on page 384; **3.** Lot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty- eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin. DKT-2025-011.

Conditional Use for unique sign per Rib Mountain Municipal Code Section 17.6.04(10) Unique Signs. Owner: HSH Mountain Properties LLC. Location: Village right-of-way near 152630 Menton Ln. DKT-2025-012.

Written testimony may be forwarded to the Village of Rib Mountain Plan Commission, Jared Grande, 227800 Snowbird Ave, Wausau, WI 54401 or emailed to jgrande@ribmountainwi.gov by noon on the date of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.

DATED this 25th day of April 2025.

Jared Grande, Community Development Director



AGENDA ITEM COVER SHEET

MEETING/DATE: Village Board, May 20, 2025

ITEM: Docket #2025-012: Discussion and recommendation on unique sign relocation request.

FROM: Jeremy Kloos Building Inspector / Assistant Zoning Administrator

APPLICANT & PROPERTY INFORMATION

APPLICANT: Henery Yach III

OWNER: HSH Mountain Properties LLC.

PROPERTY ADDRESS: 152630 Menton Ln. Wausau Wi. 54401 / Village right of way Lilac Ave. & Menton Ln. intersection

PIN/PARCEL #: 168-2807-142-0996

ZONING: (GC) General Commercial

ADJACENT ZONING: **NORTH:** GC **SOUTH:** UN **EAST:** GC **WEST:** CC

FUTURE LAND USE: Suburban Neighborhood

BACKGROUND

July 1st, 2012, The Town of Rib Mountain now Village entered into a lease agreement allowing the applicant to erect a monument style sign to be located within the Village right of way on the intersection of Lilac Ave. and Menton Ln. The Village is now in the process of reconstruction and improvements along Lilac Ave with changes to this intersection. With the current changes it is necessary to relocate the existing approved unique sign..

PREVIOUS ACTIONS: ***Motion by Scott Pagenkopf seconded by Cory Sillars to approve with the conditions outlined by staff.***
Motion carried 5/1.

STAFF COMMENTS: See Determination Report (attached).

ATTACHMENTS: Conditional Use Determination Report, Permit Report, Site Plan, Narrative, Public Notice items, Zoning Map.

POSSIBLE ACTIONS TO BE TAKEN

See Determination Report (attached)

REQUESTED ACTION: Recommend approval with staff recommendations with the additional condition:

1. A similar Lease be executed between the Village and applicant excluding rent. Staff with Village legal can complete the lease document.

FURTHER ACTION(s): Notify applicant of the Board's decision (Staff)



CONDITIONAL USE PERMIT DETERMINATION REPORT

FROM:	Jeremy Kloos Building Inspector / Assistant Zoning Administrator		
DOCKET No.	2025-012	HEARING DATE:	May 14, 2025
APPLICANT:	Henery Yach III		
OWNER:	HSH Mountain Properties LLC 152844 Phlox Ln.		
LOCATION:	152630 Menton Ln. Wausau Wi. 54401 / Village right of way Lilac Ave. & Menton Ln. intersection		
DESCRIPTION:	Unique sign located within the Village right of way		

The Department of Community Development of the Village of Rib Mountain, pursuant to the Village of Rib Mountain Zoning Code, Subchapter 11 Processes, Section 17.8.08 Conditional Use Procedures, hereby makes the following findings and evaluation to the Village of Rib Mountain Plan Commission:

GENERAL INFORMATION

ZONING: (GC) General Commercial

DEFINITION:
17..2.03(9)

This district is intended to be located along primary traffic corridors where users are transitioning from developed neighborhoods to the Corridor Commercial district. Development includes office, retail, personal professional services, restaurants, etc. with relatively low maximum Floor Area Ratios (FARs) allowing large and small-scale development served by public sewer and water which enhance the overall suburban community character. Auto-oriented uses are prohibited in this district.

SIGN TYPE: Unique Sign

DEFINITION SECTION:
17.10.04(339)

A sign which, in the opinion of the Zoning Administrator, does not fall into any of the other defined signage categories.

REVIEW OF PERFORMANCE STANDARDS

1. When any element of the approved sign is altered including the exterior appearance of any part of the sign, its frame, its supporting structure, or its lighting; or changing the symbols, color, material, height, or location of the sign, the sign shall be removed unless the Village Board approves the alteration following the conditional use procedures in Section 17.8.04
2. All other general sign regulations apply.

Does not meet requirements.

Sign proposed to be located within the Village right of way.



The above performance standards outlined can be exceeded through the conditional use process. The existing unique sign meets all other performance standards not outlined in this report.

DETERMINATION / FINDING OF FACT

1. How is the proposed conditional use permit (the use in general) in harmony with the purposes, goals, objectives, policies and standards of the Village of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

The proposed relocation of this unique sign is a minor adjustment to the previously approved location within the Village right of way. The location change is due to the upcoming Lilac Ave. reconstruction project along with right-of-way improvements.

2. How is the proposed conditional use permit (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the Village of Rib Mountain Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

The Sign has been located within the Village right of way since 2012 . Staff does not believe this will be detrimental to neighbors nearby as this is a long-standing business within our community at this location.

3. Is it likely that the proposed conditional use permit, in its proposed location and as depicted on the required site plan, will have an adverse impact on the use of adjacent property, the neighborhood, the physical environment, pedestrian or vehicular traffic, parking, public improvements, public property or rights-of-way or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the regulations or recommendations of this Chapter, the Comprehensive Master Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide growth and development?

This unique sign fits within the intended zoning regulations for this area.

4. Does the proposed conditional use permit maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed unique sign location supports the desired consistency of commercial land use in this area.

5. Is the proposed conditional use permit located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?

Yes, this area of Lilac Ave is currently served by public water and sewer.

6. Do the potential public benefits of the proposed conditional use permit outweigh any and all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. through 5., above), after taking into consideration any proposal by the Applicant and any requirements recommended by the Applicant to ameliorate such impacts?

Yes, this sign is a low impact use located within the right-of-way allowing the public to navigate to the business site location without confusion on correct access points for the business.



BACKGROUND INFORMATION

July 1st, 2012, The Town of Rib Mountain now Village entered into a lease agreement allowing the applicant to erect a monument style sign to be located within the Village right of way on the intersection of Lilac Ave. and Menton Ln. The Village is now in the process of reconstruction and improvements along Lilac Ave with changes to this intersection. With the current changes it is necessary to relocate the existing approved unique sign.

CURRENT PROPERTY CONDITIONS

The Existing unique sign is located with the Village right-of way which was approved by the Town Board now Village in 2012

STAFF COMMENTS

The applicant provided site plan drawings showing the proposed relocation site of the unique sign outside of the DOT vision triangle standards within the Village right of way.

POSSIBLE ACTIONS TO BE TAKEN

RECOMMEND APPROVAL: Plan Commission recommends the Village Board approve the application for conditional use allowing for the relocation of the unique sign within the Village right of way located at the intersection of Lilac Ave. and Menton Ln. with the following conditions:

1. The relocation and use of unique signs shall be in accordance with the approved site plan.
2. The footing and related supporting structure of a pylon or monument sign, including bolts, flanges, brackets, etc., shall be concealed by the sign exterior, masonry covering, earth and permanent groundcover, or through the use of evergreen shrubs. The foundation finish shall consist of decorative concrete block (similar to previous sign) or decorative rock and include plantings.
3. Should the work associated with the building permit not be completed and inspected prior to the permit expiring, then this approval shall be revoked, per Section 17.8.08(14);
4. The Community Development Director can approve minor alterations from the terms of the permit and have it documented in the property file. Any substantial change determined by the Community Development Director requires following the same procedures for a new conditional use permit application.
5. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing herein shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption, or exception to any law, ordinance, order or rule by the Village, Marathon County, State of Wisconsin, United States or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property in any specific respects described herein; and
6. Should any paragraphs or phase of herein be determined by a court of competent jurisdiction to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the remainder of this conditional use and the remainder shall continue in full force and effect.

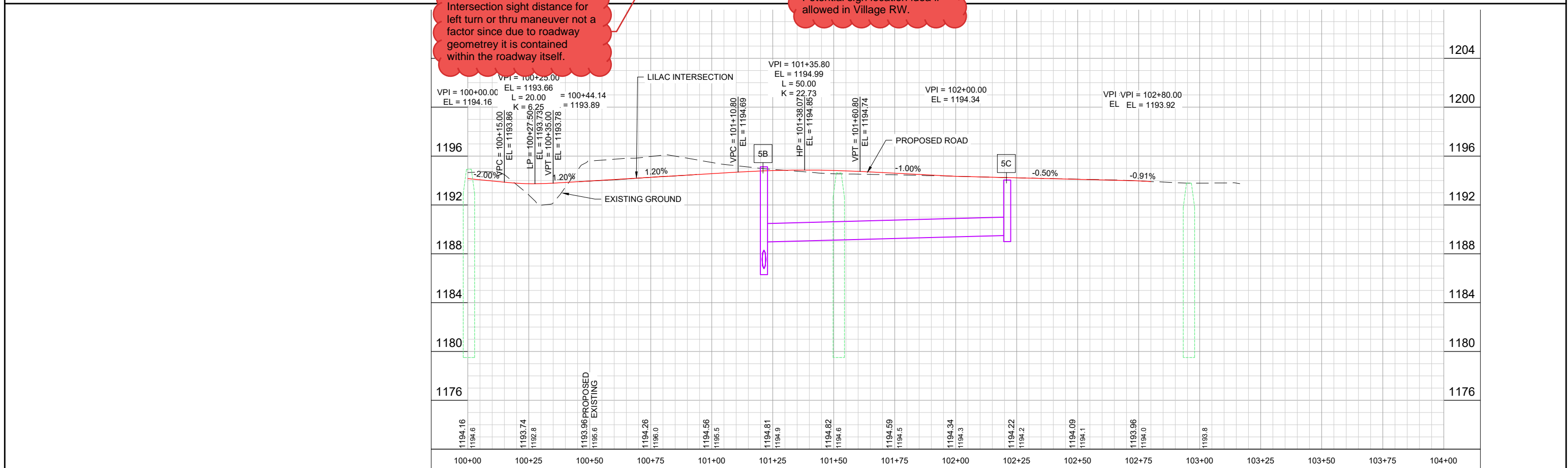
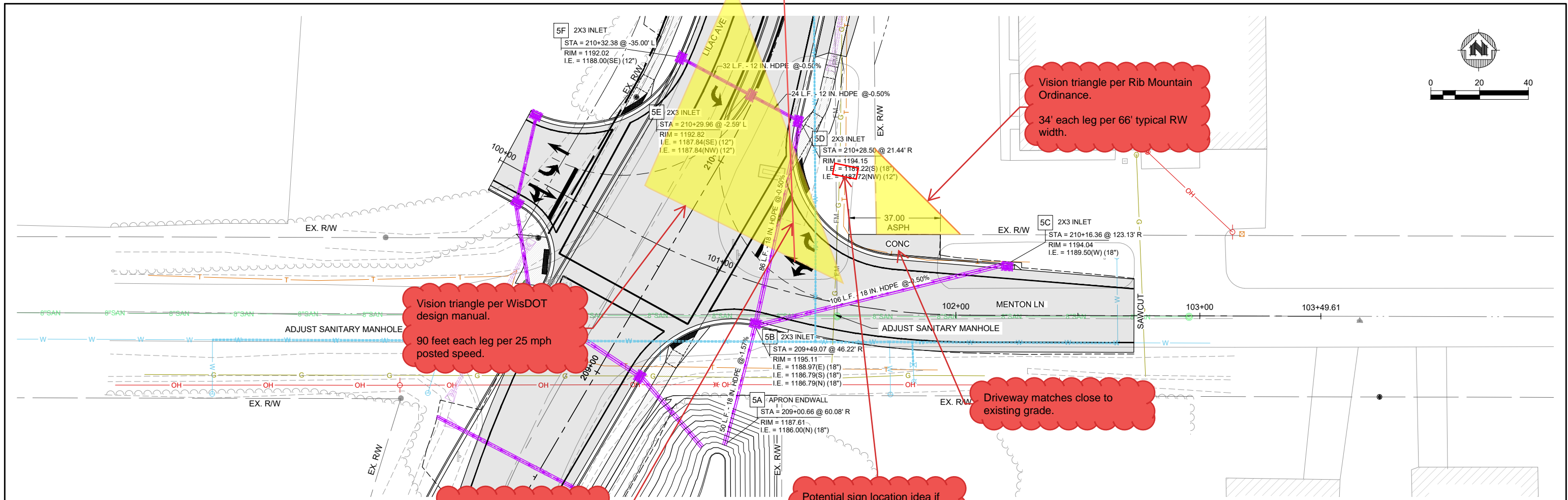
RECOMMEND APPROVAL WITH MODIFICATIONS: Plan Commission recommends the Village Board approve the application for conditional use allowing for the relocation of the unique sign within the Village right of way located at the intersection

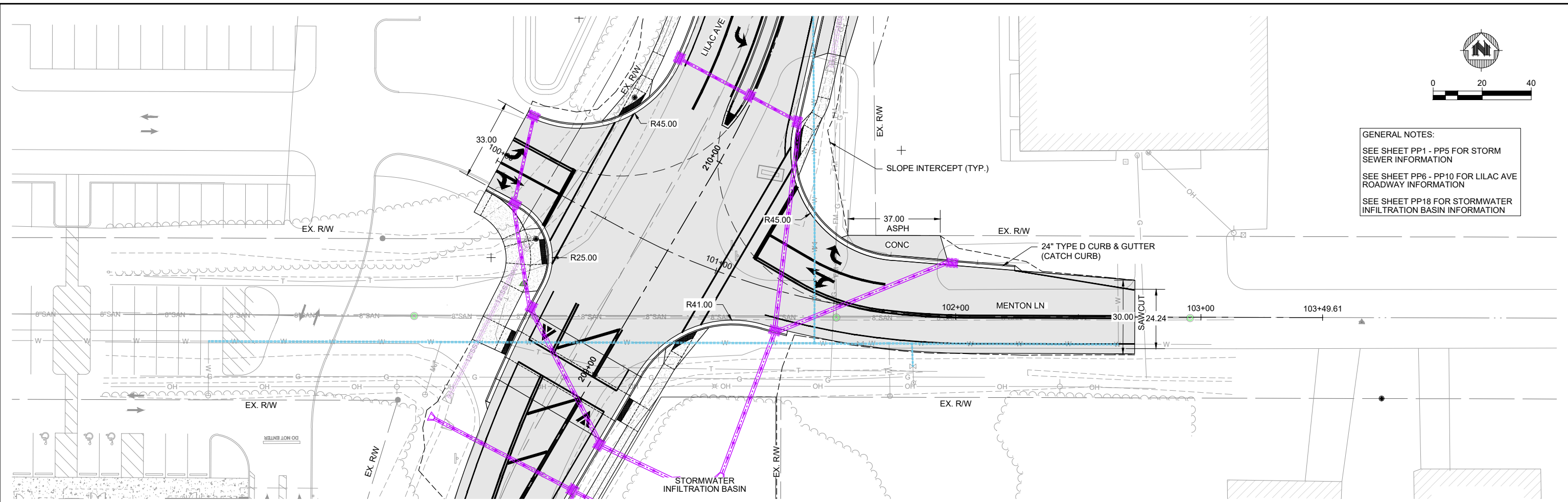


of Lilac Ave. and Menton Ln. with additional (or less) conditions, as discussed based on substantial evidence (or lack thereof) following 2017 WI Act 67.

DEFER ACTION: Defer action on the conditional use based on insufficient material/evidence provided by the applicant or uncertainty among the commissioners based on evidence presented at the public hearing. A decision shall be made within 60 days after the filing of a complete application. If the Plan Commission chooses not to make a recommendation or fails to make a recommendation to the Village Trustees within 45 days of the public hearing, the request for the relocation of the unique sign within the Village right of way located at the intersection of Lilac Ave. and Menton Ln. shall be forwarded to the Village Trustees without a Plan Commission recommendation.

RECOMMEND DENIAL: Plan Commission recommends the Village Trustees deny the application for conditional use permit based on substantial evidence (or lack thereof) following 2017 WI Act 67 provided at the public hearing.

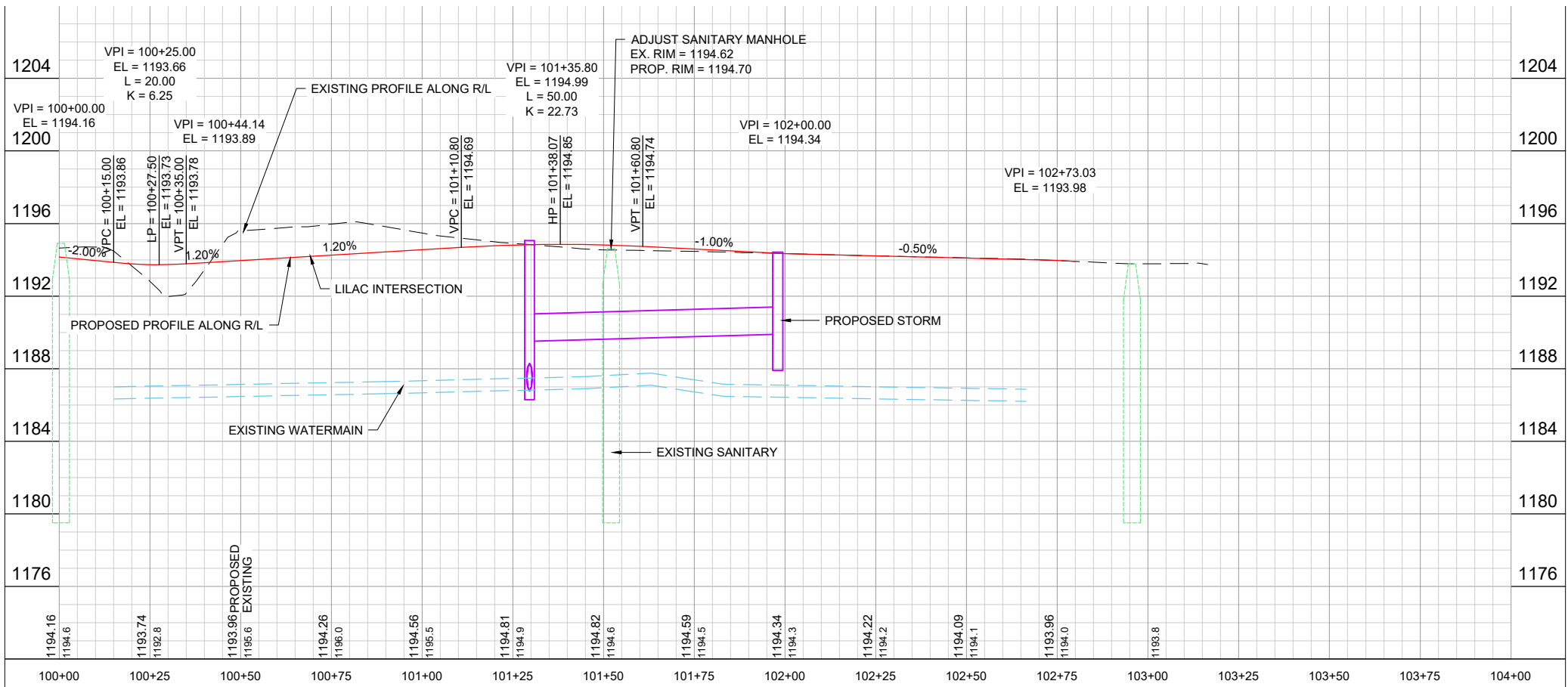




GENERAL NOTES:
SEE SHEET PP1 - PP5 FOR STORM
SEWER INFORMATION

SEE SHEET PP6 - PP10 FOR LILAC AVE
ROADWAY INFORMATION

SEE SHEET PP18 FOR STORMWATER
INFILTRATION BASIN INFORMATION



PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY:
	JFK	-	-		-
	DESIGNED BY:	CDG	-		-
	CHECKED BY:	CDG	-		-
PLOT DATE: 5/1/2025 8:50 AM, G:\09\09459\09459037\CADD\Construction Documents\PLAN PRODUCTION\SIDE ROAD PLAN AND PROFILES.dwg					

LEASE

THIS LEASE, made effective as of July 1 , 2012 (the "Effective Date"), by and between the Town of Rib Mountain, a Wisconsin township, with an address of 3700 North Mountain Road, Wausau, Wisconsin 54401 (the "Town"), and HSH Mountain Properties, LLC, a Wisconsin limited liability company, with an address of 701 Phlox Lane, Wausau, Wisconsin 54401 (the "Tenant").

RECITALS

- A. Town is the owner of the real estate described in Exhibit A attached hereto and incorporated herein by reference (the "Premises").
- B. Town desires to lease the Premises to Tenant, and Tenant desires to lease the Premises from Town, pursuant to the terms of this Lease.

IN WITNESS WHEREOF, the parties agree as follows:

1. Demising Clause. Town hereby leases to Tenant, and Tenant hereby leases from Town, the Premises, subject to the terms and conditions set forth herein.
2. Term. The term of this Lease shall commence on the Effective Date for and continue on a month to month basis, unless terminated in writing by either party. Either party may terminate this Lease by providing thirty (30) days written notice. The Tenant shall be obligated to remove the Sign upon thirty (30) days notice by the Town. The Tenant shall be entitled to no damages for the removal of the Sign, and shall be removed at the Tenant's expense.
3. Rent. On or before the first day of each lease month hereunder, Tenant shall pay to Town at the address set forth above base rent equal to \$20.83 per month.
4. Taxes. Tenant agrees to pay any personal property taxes as to the Sign or other personal property of Tenant located upon the Premises.
5. Use by Tenant. The Premises shall be used by Tenant to erect a monument style sign, 7' x 10' tall (the "Sign"), and for no other purpose without the express prior written consent of Town. The Sign must comply with all applicable laws and ordinances and shall not reference or include any noxious or offensive material or trade. All signage displayed on the Sign is subject to Town approval in advance of its use or display. The Sign may not obstruct or limit traffic or access to any public right of way or to and from any private property. Tenant shall not permit any nuisance or noxious or offensive trade or activity to be carried on or upon the Premises at any time.

6. Repairs and Maintenance. Tenant shall, as additional rent and at its own expense, be responsible for all repairs and maintenance on or about the Premises or with respect to the Sign. Town shall not be obligated to perform any maintenance or make any replacements made necessary by the fault or negligence of Tenant, its employees, agents or invitees. Notwithstanding the foregoing, Town shall have the right, but not the obligation, to perform any such replacements, maintenance and repairs if Tenant fails to do so within a reasonable period of time after the same becomes necessary, and Tenant shall reimburse Town, as additional rent, for its costs of so performing.

7. Alterations by Tenant. Tenant shall not make any alterations to the Premises, except as otherwise provided in this Lease as to the installation and use of the Sign, without the prior written consent of Town.

8. Indemnification. Tenant shall and hereby agrees to indemnify and hold Town, its employees, elected or non-elected officials, contractors, and agents and their respective heirs, successors and assigns (collectively, the "Town Indemnified Parties") harmless from and against and with respect to any claim, demand, action, cause of action, loss, cost, expense, liability, injury, or damage, including, without limitation, reasonable attorneys' fees, and all costs and expenses of all actions, suits, proceedings, demands, assessments, claims and judgments resulting from, occurring in connection with, or arising out of the Tenant's use of the Premises, installation of use of the Sign, or breach of any provision of this Lease.

9. AS IS. The Premises are leased to the Tenant on an AS IS, WHERE IS AND WITH ALL FAULTS BASIS. Town disclaims any representation or warranty of any kind as to the suitability, safety, location, environmental status, or other aspects of the Premises. Tenant leases the Premises from Town at its sole risk and hereby releases the Town from any liability related thereto.

10. Assignment and Subletting. Tenant may not assign or sublet this Lease, in whole or in part, without the prior written consent of Town.

11. Default. In the event of (a) default in the prompt and full payment of any sums due under this Lease, or (b) in the event of default in the prompt and full performance of any provision of this Lease, and such default shall continue for thirty (30) days after written notice to cure such default, then Town shall, without further notice, at its option, have the right to re-enter said Premises, to remove Tenant and all persons holding under it therefrom immediately and to immediately terminate this Lease, require the immediate removal of the Sign by the Tenant at the Tenant's expense, and repossess itself of the Premises. Notwithstanding the foregoing, such repossession shall not constitute a waiver by Town of any other rights which it might have to enforce collection of rents for the balance of the term or to recover damages from Tenant for default in payment of rents.

12. Notice. Any notice required or permitted under this Lease shall be deemed sufficiently given or served if sent by regular mail or certified mail, return receipt requested, to the parties at the addresses set forth above.

13. Expenses. Tenant shall pay upon demand all Town's costs, including the fees of attorneys, agents and others retained by Town, incurred in enforcing Tenant's obligations hereunder or incurred by Town in any litigation in which Town, without Town's fault, becomes involved or concerned by reason of the existence of this Lease or the relationship hereunder of Town and Tenant.

14. Waiver. No waiver of any default by Tenant hereunder shall be implied from any omission by Town to take any action on account of such default if such default persists or is repeated and no express waiver shall effect any default other than the default specified in the express waiver, and then only for the time and the extent therein stated. One or more waivers of any covenant, term or condition of this Lease by Town shall not be construed as a waiver of a subsequent breach of the same covenant, term or condition.

15. Binding Effect. Each provision hereof shall extend to and shall, as the case might require, bind and inure to the benefit of Tenant and Town and their respective permitted successors and assigns.

16. Quiet Enjoyment. Town agrees that so long as Tenant shall fully and punctually pay all the rents and other amounts provided to be paid hereunder by Tenant, and shall fully and punctually perform all of its other covenants and agreements hereunder, Tenant shall peaceably and quietly have, hold and enjoy the Premises.

17. Severability. In the event that any provision of this Lease shall be held invalid or unenforceable by any court of competent jurisdiction, such holding shall not invalidate or render unenforceable any other provision hereof.

18. Amendment. This Lease may not be amended, changed, modified or altered without in each instance the prior written consent of both Town and Tenant.

19. Governing Law. This Lease is prepared and entered into with the intention that the laws of the state of Wisconsin shall govern its construction without reference to conflicts of laws principles.

20. Review by Counsel. Tenant agrees it has had the opportunity to have this Lease reviewed by counsel in advance of signature and that this Lease reflects the agreement reached by Town and Tenant. Tenant acknowledges that signing this Lease has important legal consequences.

IN WITNESS WHEREOF, the parties hereto have executed this Lease as of the date first above written.

TOWN OF RIB MOUNTAIN

By: Allen Opall
Allen Opall
as its Chairman

HSH MOUNTAIN PROPERTIES, LLC

By: Henry J. Hush
as its President

Report Criteria:

Permit.Permit number = "DKT - 2025 - 012"

Permit Number	Application Date	Permit Type	Property Address	Applicant	Status
DKT - 2025 - 01	04/22/2025	CD - Conditional Use Permit	152630 MENTON LN	Henry Yach III	Submitted

Description of Work

Unique sign located in village - right away. Proposed location of sign located directly east of current location. Proposed location does not impede visibility to the Village vision triangle per the WisDOT definition, per MSA Professional Services.

Please see attachment provided by MSA "potential sign location idea if allowed Village RW"

Contractors

Name	Contractor Type	Primary Contractor
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Transactions

Date	Description	Source ID	Fee Number	Quantity	Unit of Measurement	Amount	Due at
04/22/2025	Conditional Use		12	.0000		300.00	Setup
Grand Totals:						300.00	

Approvals

Approval Type	Days to Approve	Due Date	Status	Approved Date	Assigned To
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Inspection Activity

Inspection Number	Inspection Type	Status	Appointment Date	Appointment Time
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Conditions

Condition	Comment
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(a) Is in harmony with the Comprehensive Plan.

Yach's Body & Custom, Inc. appreciates the partnership with the Village of Rib Mountain, and the Yach family is thankful to live and serve here for over 70 years. We believe that the proposed conditional use for our signage is in harmony with the Comprehensive plan for the following reasons:

1.) The overall mission and growth of the village:

The Village of Rib Mountain has attracted residents and businesses because of its natural beauty and quality of living. Yach's Body & Custom, Inc. has built a brand synonymous with quality, professionalism and care. We believe that our longevity in the Village, positive brand reputation, and continued growth aligns with what the Village has represented and continues to build on.

2.) Using the hired Village of Rib Mountain's engineering firm- MSA for their recommended sign placement location:

Yach's has appreciated the current location of the signage on the Village Right of Way since it was approved and welcomed by the town board back in 2012. When originally finding out that the current signage needed to be moved several months ago, Henry Yach II and Henry Yach III started working with the Village to come up with a location that did not impact vision triangles or adversely affect safety of residents. MSA suggested the exact location of our proposed conditional use site. Our signage is professional, well landscaped, and aligns well with the Village's natural beauty and quality of businesses located in it.

(b) Would result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare.

The well landscaped sign and surrounding area enhances the character of the neighborhood and environment. Traffic factors and right of way compliance and safety has been ensured by MSA's recommended placement. We also understand that because it is located in the Village Right of Way, the Village has the right to request its removal if future changes are made in the future.

(c) Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The signage and location are in compliance and ensures all conditions are met with the land use.

- (d) The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public or private agencies serving the subject property.

For the past thirteen years, the signage has not imposed any cost on the Village or negatively affected any public or private entities or residents.

- (e) The potential public benefits outweigh any potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

A business having a professional, well-maintained sign that is properly placed and landscaped allows customers and residents to safely navigate to its location. We believe by having our signage in the proposed location, will continue to allow customers and residents navigating to our businesses safely and ensuring the aesthetic beauty of the area.

Thank you, Village of Rib Mountain board, for your consideration of this conditional use permit.

Sincerely,

Henry Yach III

MAIL_NAME1	MAIL_ADDR1	CITY	STATE	ZIP5
RYDER TRUCK RENTAL INC; C/O PROPERTY TAX DEPT	PO BOX 025719	MIAMI	FL	33102
JEREMY OWENS	152610 PHLOX LN	WAUSAU	WI	54401
JOHN W KENDRICK II & MEGAN L KENDRICK	152759 MENTON LN	WAUSAU	WI	54401
HARRY HUSTEDT	152702 PHLOX LN	WAUSAU	WI	54401
RL 225421 RIB MOUNTAIN DRIVE LLC & MM 225421 RIB				
MOUNTAIN DRIVE LLC	PO BOX 215	PLOVER	WI	54467
RYDER TRUCK RENTAL INC REAL ESTATE TAX DEPT	11690 NW 105TH ST	MIAMI	FL	33178
RICHARD & DORITA VAN BUSKIRK	152648 PHLOX LN	WAUSAU	WI	54401
HSH MOUNTAIN PROPERTIES	152844 PHLOX LN	WAUSAU	WI	54401
TONI C RAYALA	152744 PHLOX LN	WAUSAU	WI	54401
ROBERT J HENNING	152667 MENTON LN	WAUSAU	WI	54401
HAMID & KATHRYN MILANI	152770 PHLOX LN	WAUSAU	WI	54401
BARBARA A WOLLER TRUST; BARBARA A WOLLER	152781 MENTON LN	WAUSAU	WI	54401
LOIS E RUDE	152725 MENTON LN	WAUSAU	WI	54401
MICHAEL & LYNETTE VOLKERS	152660 PHLOX LN	WAUSAU	WI	54401
HENRY & SANDRA YACH	152844 PHLOX LN	WAUSAU	WI	54401
DAVID J KUKUCZKA	152703 MENTON LN	WAUSAU	WI	54401
EDWIN R ABENDROTH PHYLLIS E ABENDROTH	152790 PHLOX LN	WAUSAU	WI	54401
KT REAL ESTATE HOLDINGS LLC	1626 OAK ST	LA CROSSE	WI	54603
JAMES J SEKORSKI	154165 PARAMOUNT DR	WAUSAU	WI	54401
HARRY & JACQUELINE HUSTEDT	152702 PHLOX LN	WAUSAU	WI	54401
YACH'S BODY & CUSTOM INC	152746 MENTON LN	WAUSAU	WI	54401

VILLAGE OF RIB MOUNTAIN
NOTICE OF PUBLIC HEARINGS

[See back for page 2](#)

NOTICE IS HEREBY GIVEN that public hearing(s) will be held before the Plan Commission of the Village of Rib Mountain, Marathon County, Wisconsin, at the **Rib Mountain Municipal Center, 227800 Snowbird Ave, on Wednesday, May 14, 2025**, at 5:00 P.M. to hear and consider the request of:

Conditional Use for a detached accessory structure exceeding 1,000 square feet per Rib Mountain Municipal Code Section 17.2.03 Table 2.4 – Maximum area square feet. Owner: Jeremiah Karpinski. Location: 152850 Cloverland Ln. DKT-2025-009.

Zoning Text Amendment to Rib Mountain Municipal Code, Chapter 17 Zoning Ordinance, modifying and adding to the Conditional Use Regulations per Section 17.3.03.3(15) Outdoor Entertainment and Recreation. Applicant: Kurt Schmidt, REI Engineering. Location. N/A. DKT-2025-008.

Conditional Use for a Private Land Trailhead & Trail Network per Rib Mountain Municipal Code Section 17.3.03.3(15) Outdoor Entertainment and Recreation. Owner: RSW Investments, LLC per Land Contract. Location 147711 County Road NN and associated properties. DKT-2025-010.

Zoning Map Amendment of 4.899 acres from Rural Neighborhood (RN) to Outdoor Recreation/Preserve (OP) per Rib Mountain Municipal Code Section 17.8.07 Zoning Map Amendment. Owner: RSW Investments, LLC. Location (three parcels): **1.** That part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Beginning at the Southeast corner of that parcel of land conveyed to Arllein A. James and Sandra J. James, his wife, joint tenants, by Warranty Deed dated October 29, 1973 and recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on October 30, 1973 in Micro-Record 177 on page 627, as Document No. 660807; running thence South, 220 feet; running thence West, to the East line of a town road on the West line of the SW $\frac{1}{4}$ of SW $\frac{1}{4}$; running thence North, along the Easterly line of said Town Road, to a point directly West of the point of beginning; and running thence East, to the point of beginning. AND Outlot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the (now Village) of Rib Mountain, Marathon County, Wisconsin; **2.** That part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows: Commencing 220 feet South of the Southwest corner of the premises conveyed to School District 5 of the Town of Weston, which Deed was recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on May 22, 1890 in Deed Book 50 on page 544; thence South, parallel with the West line of said forty, 660 feet; thence West, to the West Section line of Section 5; thence North, along said Section line, where it intersects the highway running North and South; thence along the East boundary line of said highway, to a point directly West from the point of beginning; thence East, to the point of beginning; excepting the following parcels: Warranty Deed to Merlin Heuhnerfuss and Nancy Huehnerfuss, joint tenants, dated May 10, 1960 and recorded in said Register's office in Deed Book 460 on page 39; and Warranty Deed to Merlin Huehnerfuss and Nancy Huehnerfuss, joint tenants, dated November 25, 1960 and recorded in said Register's office in . Deed Book 460 on page 384; **3.** Lot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty- eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin. DKT-2025-011.

Conditional Use for unique sign per Rib Mountain Municipal Code Section 17.6.04(10) Unique Signs. Owner: HSH Mountain Properties LLC. Location: Village right-of-way near 152630 Menton Ln. DKT-2025-012.

Written testimony may be forwarded to the Village of Rib Mountain Plan Commission, Jared Grande, 227800 Snowbird Ave, Wausau, WI 54401 or emailed to jgrande@ribmountainwi.gov by noon on the date of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.

DATED this 25th day of April 2025.

Jared Grande, Community Development Director



AGENDA ITEM COVER SHEET

MEETING/DATE:	Village Board, May 20, 2025
ITEM:	Docket #2025-008: Discussion and recommendation on a Future Land Use map amendment (Ord. No. 2025-04) from Suburban Neighborhood to Outdoor Commercial Recreation at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, and PIN # 168-2807-053-0992.
FROM:	Jared Grande, Community Development Director

BACKGROUND

There are multiple applications (zoning code amendment, comprehensive plan amendment, zoning map amendment, and conditional use permit) being presented to the Village for the redevelopment of the State Park Speedway which was first constructed in 1951 according to the Rib Mountaineer [here](#). The redevelopment is being proposed on the heels of Wisconsin Department of Natural Resources approving the Rib Mountain State Park Master Plan [here](#) on December 14, 2022 and most recently the WDNR releasing a Trail Network Concept Plan [here](#) beginning on January 30, 2025. The Trail Network Concept Plan and application materials show interconnections between the public and private land, most notably for the trail network.

PREVIOUS ACTIONS: ***Motion by Carrie Edmondson seconded by Scott Pagenkopf to approve from Suburban Neighborhood to Outdoor Commercial Recreation at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd and PIN # 168-2807-053-0992.***
Motion carried 5/1.

STAFF COMMENTS: See Determination Report. The applicant did provide an additional document showing the existing waterway and mapped wetlands. This was included in the packet. This was discussed during the Plan Commission meeting which is why staff included it in the packet. Additionally, questions of tax implications came up during the meeting. Below provides some tax information:

2024 Tax amounts – Village portion only
State Park Speedway - \$906.93
147489 Whippoorwill – \$483.62
147571 Whippoorwill – \$401.03

- If the property is taxed exempt, the buildings on the property such as a coffee shop and/or brewpub would be taxed. Without knowing exactly what was to be built, a scenario that uses an existing building within Rib Mountain.
 - o Breakfast Bear Building only value is \$1,000,000 – Rib Mountain's share of taxes with a tax rate of \$3.84/\$1000 would be \$3,840
- If the property were to develop with resident homes, we will not know exactly how many homes could be built. We could use, on the lower end, a home at 1500 square feet at \$250/square ft. The home value is \$375,000 with an additional \$25,000 for private well/water.
 - o Rib Mountain taxes for this would be \$1,536 (at total value of \$400,000 with \$3.84/\$1000 tax rate).
 - o If 20 homes were built there, then this would be \$1,536 * 20 = \$34,176 annually.



ATTACHMENTS: Rezone Determination Report, Park Property, Trailhead Concept, Property Map, Overall Map from Outdoor Rec Plan, Zoning Map, Application, Cover Sheet, and Draft Resolution No. PC-2025-01.

POSSIBLE ACTIONS TO BE TAKEN

See Determination Report (attached).

REQUESTED ACTION: Staff recommends approval of Ord. No. 2025-04.

FURTHER ACTION(S): Notify applicant of the Board's decision (Staff) and sign ordinance.

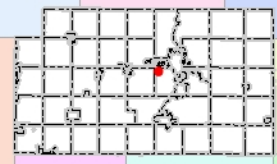


Land Information Mapping System

Received 5/16/2025

TAYLOR

LINCOLN



WOOD

PORTAGE

Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2ft Contour Labels
- County-wide 2ft Contours (2012)
- Index
- Intermediate
- Streams-Rivers
- DNR Wetland Points
- DNR Wetland Areas
- Floodplain
 - A
 - AO
 - AE
 - AE FLOODWAY
 - AE ADMINISTRATIVE FLOODWAY
 - 0.2 PCT ANNUAL CHANCE FLOOD HAZARD

Notes

70.38 0 70.38 Feet



DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

NAD_1983_HARN_WISCRS_Marathon_County_Feet

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COMPREHENSIVE PLAN AMENDMENT DETERMINATION REPORT

FROM:	Jared Grande, Community Development Director		
DOCKET NO.	2024-011	HEARING DATE:	April 10, 2024
APPLICANT:	Kurt Schmidt, REI Engineering, 4080 N. 20 th Ave, Wausau, WI 54401		
OWNER:	RSW Investments, 225900 Hummingbird Rd, Wausau, WI 54401		
LOCATION:	147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, and PIN # 168-2807-053-0992		
DESCRIPTION:	Docket #2025-013: Discussion and recommendation on a Future Land Use map amendment (RESOLUTION NO. PC-2024-01) from Suburban Neighborhood to Outdoor Commercial Recreation at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992.		

The Department of Community Development of the Village of Rib Mountain, pursuant to the Village of Rib Mountain Zoning Code, Subchapter 17.8.15 Comprehensive Plan Amendment, was used to make following findings and evaluation to the Village of Rib Mountain Plan Commission:

INITIAL REVIEW STANDARDS

INITIAL REVIEW STANDARDS STAFF USED

- The change is consistent with the goals and objectives of the Village of Rib Mountain Comprehensive Plan.
- The requested amendment was not reviewed and denied during a previous comprehensive plan amendment cycle.
- The amendment or projected development that would result will not create an adverse impact, unless such impact will be successfully mitigated.
- Projected development that would result from the amendment will not create an undue or adverse impact on surrounding properties, and will be consistent with or upgrade the character of the site and the surrounding neighborhood.
- The amendment or projected development that would result will not create an adverse impact on the following, unless such impact will be successfully mitigated: public facilities; public services; the natural environment, including trees, slopes, and groundwater; or any landmarks or other historically significant structures or properties.
- The amendment is justified by a change in Village actions or neighborhood characteristics.
- The change corrects an error in the Comprehensive Plan.
- There is a community or regional need identified in the Comprehensive Plan for the proposed land use or service.
- The proposed amendment is consistent with other Village plans, policies, and regulations.
- If the proposed amendment is to the future land use map, the amendment must:
 - Respond to a substantial change in conditions beyond the property owner's control applicable to the area within which the subject property lies; or
 - Better implement applicable Comprehensive Plan policies than the current map designation; or
 - Correct a mapping error; or



- iv. Address a deficiency in the Comprehensive Plan as identified by the Commission or Board.

DETERMINATION / FINDING OF FACT

CRITERIA STAFF USED FOR REVIEW OF REQUEST

1. The change is consistent with the goals and objectives of the Village of Rib Mountain Comprehensive Plan.
The proposed change appears to be consistent with Chapter 5 Utilities and Community Facilities, Chapter 8 Land Use, Chapter 3 Natural, Agricultural and Cultural Resources, and the Village's Vision Statement "The Town of Rib Mountain is a unique convergence of quality, balanced commerce with attractive, distinct natural recreational opportunities which provides a welcoming environment to foster a safe, affordable community that enjoys a high quality of life". Any development would be subject to the Village of Rib Mountain Municipal Code for any future commercial development.
2. The requested amendment was not reviewed and denied during a previous comprehensive plan amendment cycle.
Meets requirements.
3. The amendment or projected development that would result will not create an adverse impact, unless such impact will be successfully mitigated.
The proposal is a redevelopment of the existing State Park Speedway. The subject properties appear to only have minimal skills trails development, otherwise appear to be left natural.
4. Projected development that would result from the amendment will not create an undue or adverse impact on surrounding properties, and will be consistent with or upgrade the character of the site and the surrounding neighborhood.
Staff discussed our findings in the Staff Comments section below and believes this adheres to the Comprehensive Plan.
5. The amendment or projected development that would result will not create an adverse impact on the following, unless such impact will be successfully mitigated: public facilities; public services; the natural environment, including trees, slopes, and groundwater; or any landmarks or other historically significant structures or properties.
The request does not have significant adverse impact on the natural environment including steep slopes and groundwater. Rather, it seems the lack of proposed development on the site may provide a benefit to the environment.
6. The amendment is justified by a change in Village actions or neighborhood characteristics
Rib Mountain State Park Master Plan appears to be the significant driver for this project.
7. The change corrects an error in the Comprehensive Plan.
No.
8. There is a community or regional need identified in the Comprehensive Plan for the proposed land use or service.
Refer to question 1. above.
9. The proposed amendment is consistent with other Village plans, policies, and regulations.
Yes, The Official Map and Comprehensive Outdoor Recreation Plan both make references to trails connections, recreation, and a continued effort to make the Village the metro area's premier park and recreation hub.
10. If the proposed amendment is to the future land use map, the amendment must:



- (a) Respond to a substantial change in conditions beyond the property owner's control applicable to the area within which the subject property lies; or
- (b) Better implement applicable Comprehensive Plan policies than the current map designation; or
- (c) Correct a mapping error; or
- (d) Address a deficiency in the Comprehensive Plan as identified by the Commission or Board.

Rib Mountain State Park Master Plan update created new opportunities to expand on recreational opportunities including mountain biking.

BACKGROUND INFORMATION

There are multiple applications (zoning code amendment, comprehensive plan amendment, zoning map amendment, and conditional use permit) being presented to the Village for the redevelopment of the State Park Speedway which was first constructed in 1951 according to the Rib Mountaineer [here](#). The redevelopment is being proposed on the heels of Wisconsin Department of Natural Resources approving the Rib Mountain State Park Master Plan [here](#) on December 14, 2022 and most recently the WDNR releasing a Trail Network Concept Plan [here](#) beginning on January 30, 2025. The Trail Network Concept Plan and application materials show interconnections between the public and private land, most notably for the trail network.

CURRENT PROPERTY CONDITIONS

There currently is State Park Speedway, two single family detached houses, an unnamed waterway, woodland areas, WDNR mapped wetlands, and steep slopes adjacent to Rib Mountain State Park. All parcels included in the proposed project total 118.52 acres according to Marathon County Land Records.

STAFF COMMENTS

Staff is unsure the reasoning why the parcels/land west of the previously approved conditional use permit were not included in the future land use designation "Local Commercial" to abut Partridge Ave; staff currently in the Community Development Department were not employed when the community went through the Plan Update and adoption of the Village of Rib Mountain 2020 Comprehensive Plan.

Reviewing the Plan and specifically Chapter 7 Economic Development and Chapter 8 Land Use, it's in staff's opinion that it's in the best interest of the Village of Rib Mountain to extend Local Commercial west up to Partridge Ave, and if the two parcels to the west were apply and request something similar, staff would support the request. Staff did not find any language in the Plan indicating why Local Commercial was stopped short of Partridge Ave

POSSIBLE ACTIONS TO BE TAKEN

- A. Recommend the Village Board approves the application for a future land use map amendment to the Village of Rib Mountain Comprehensive Plan from Suburban Neighborhood to Local Commercial at 150460 County Road NN specifying in the minutes the reason for approval.
- B. Defer action on the future land use map amendment based on insufficient material/evidence provided by the applicant or uncertainty among the commissioners based on evidence presented at the public hearing. A decision should be made within 60 days of opening the public hearing. If the Plan Commission chooses not to make a recommendation or fails to make a recommendation to the Village Board within 45 days of the public hearing, the request for the future land use map amendment shall be forwarded to the Village Board without a Plan Commission recommendation.



-
- C. Recommend the Village Board deny the application for a future land use map amendment to the Village of Rib Mountain Comprehensive Plan from Suburban Neighborhood to Local Commercial at 150460 County Road NN specifying in the minutes the reason for denial.
-



April 14, 2025

Village of Rib Mountain
Attn: Jared Grande
Economic Development Director
227800 Snowbird Avenue
Wausau, WI 54401



Subject: Comprehensive Plan Amendment (Future Land Use Plan)

Subject Parcels: 16828070530976, 16828070530975, 16828070530992, 16828070530978, 16828070820997

Project Name: Rib Mountain Private Lands Trailhead

Dear Jared,

The REI team is representing our client concerning the proposed redevelopment of an area within the Village of Rib Mountain into a Private Trailhead/Mountain Bike Park Facility. A few parcels involved will require zoning map amendments from RN-Rural Neighborhood to OP-Outdoor Recreation/Preserve to accommodate the proposed development. The proposed land use differs from the Future Land Use Map 8.2 within the current Comprehensive Plan that anticipates the area to be Suburban Neighborhood. We are submitting an amendment request of Map 8.2 to Outdoor Commercial Recreation to accommodate the proposed development prior to future zoning district amendment requests.

The subject land is under a land contract between Philip C. Bickley, Helen Bickley, and Bickley Inc. and RSW Investments, LLC (Wimmer family) recorded at the Marathon County Register of Deeds office as document number 1556275. This land contract will be fulfilled simultaneously upon the real estate closing with our client pending regulatory approvals.

Per the review criteria outlined in zoning code section 17.8.15(4), we have provided direct responses below to each subsection required. Our overall intent is to meet with Plan Commission concerning revising the Comprehensive Plan 'Future Land Use Map 8.2' from Suburban Neighborhood to Outdoor Commercial Recreation for the subject parcels involved.

(4) Review Criteria for Amendments to Comprehensive Plan. The Plan Commission and Village Board shall utilize the following criteria when reviewing each application to amend the Comprehensive Plan:

(a) The change is consistent with the goals and objectives of the Village of Rib Mountain Comprehensive Plan.

Response: The 2020 comprehensive plan outlines a detailed list of goals & objectives under Utility and Community Facilities which is directly referenced below. The highlighted sections indicate 5 core objectives that the project aligns fully with but one could argue that components of the overall project are in alignment with most goals/objectives represented in this section.

Utility and Community Facilities Goals, Objectives and Actions

The following goals, objectives and actions are intended to provide a policy framework and guide for the future development of the Town.

Goal III: Maintain and improve parks in Rib Mountain to improve the quality of life in the Town through the regular modification and adoption of the Outdoor Recreation Plan as prescribed by the Wisconsin Department of Natural Resources.

Objectives:

1. Strive to provide the metro area's premier park and recreation facilities while meeting the needs of current and future residents.
2. Supports development of an interconnected system of parks through trails and parkways.
3. Provide timely and sufficient maintenance of park facilities.
4. Establish a Park Facilities Maintenance Plan to proactively upgrade and replace equipment to ensure safety and accommodate residents' recreational needs. Work with community organizations to develop a community center or similar facility.
5. Routinely review and update the Town's park dedication and impact fee requirements to ensure they are reasonable and sufficient to address needs, and encourage new residential developments to include parks, green space and trails as appropriate.
6. Identify opportunities to purchase property for future park or trail development. Map these properties as "future park" to encourage preservation for future park development on the Official Map.
7. Support the development of a regional multi-use trail system and work with appropriate agencies, such as the WDNR, WDOT, Marathon County, and others, to identify possible trail routes in Rib Mountain to connect to a regional system and to the Mountain-Bay Trail.
8. Work with the Marathon County and surrounding municipalities in efforts to enhance the regional bike and pedestrian route system throughout the Wausau Metro Area.
9. Identify where trails should be installed in conjunction with new development or road construction and map these on the Official Map. Town of Rib Mountain Page 43 2020 Comprehensive Plan
10. Establish requirements for provision of trail easements or the purchasing of right-of-way in conjunction with new development.
11. Continue to work cooperatively with the WDNR on efforts to improve Rib Mountain State Park.
12. Continue to work cooperatively with Granite Peak Ski Resort to ensure that development and expansion is done in an environmentally sensitive manner."

(b) The requested amendment was not reviewed and denied during a previous comprehensive plan amendment cycle.

Response: To our knowledge, the requested amendment has not been reviewed and denied during a previous comprehensive plan cycle.

(c) The amendment or projected development that would result will not create an adverse impact on public services and facilities, unless such impact will be successfully mitigated.

Response: Due to the proposed facilities requiring water and sanitary utilities, a private well and septic system is planned to support those services. No public water and/or sanitary is being requested therefore we do not foresee any adverse impacts to public services and facilities.

(d) Projected development that would result from the amendment will not create an undue or adverse impact on surrounding properties and will be consistent with or upgrade the character of the site and the surrounding neighborhood.

Response: The 'Outdoor Entertainment' conditional use proposed is introducing a Private Land Trailhead & Trail Network offering an array of low impact/multipurpose biking and hiking opportunities open to the general public. The less congested and silent nature of the uses proposed would be a stark contrast to the existing noisy environment of State Park Speedway. We do not foresee any undue or adverse impacts on the surrounding properties, rather we consider the proposal a significant improvement to the character of the site & surrounding neighborhood.

(e) The amendment or projected development that would result will not create an adverse impact on the following, unless such impact will be successfully mitigated: public facilities; public services; the natural environment including trees, slopes, and groundwater; any landmarks or other historically significant structures or properties.

Response: We do not foresee any adverse impacts to the elements indicated above, rather an opportunity to significantly improve the conditions of the site to mitigate environmental and neighborhood impacts.

(f) The amendment is justified by a change in Village actions or neighborhood characteristics.

Response: The subject parcels directly abut the main property involved for the proposed project (Former State Park Speedway) which is currently zoned OP (Outdoor Recreation/Preserve) The request intends to align more appropriately with the existing zoning of that property and expand upon it.

The zoning code defines the intent of the existing zoning abutting these properties as: ***"This district is intended to preserve, protect and enhance open spaces and forested areas of Rib Mountain State Park, Nine Mile Forestry Unit, local parks and environmentally sensitive lands. Principal uses include a variety of recreational opportunities as well as their associated structures and other limited low impact uses."*** It has been our goal that the project encapsulate all characteristics defined above, which is what lead to the strategic planning and positioning of the site. We feel as though the future land use proposed within the comprehensive plan of 'Suburban Neighborhood' is out of alignment with the existing goals for this space, which our project would fight to preserve and enhance.

(g) The change corrects an error in the Comprehensive Plan.

Response: Not applicable to our knowledge.

(h) There is a community or regional need identified in the Comprehensive Plan for the proposed land use or service.

Response: The driving force of the Village of Rib Mountain and it's vibrant community is it's ethos - ***"Where Nature, Family, and Sport Come Together"*** There is no more appropriate land use that is fully reflective of this value than the one being brought before you today. We firmly believe this specific 'Outdoor Recreation' land use fully aligns with the overall goals, vision & values of the village and will further enhance the growth & success of the area's economy and recreational opportunities.

(i) The proposed amendment is consistent with other Village plans, policies, and regulations.

Response: Rib Mountain also adopted an official village map in 2022 that is representative of current and future 'Trail Connectivity' goals for the Village. The map indicates that the village

has goals of expanding the off-street trail system routes through the subject properties of our project area. Our overall plan would complete the implementation of these specific routes, fully aligning with the village's goals.

(j) If the proposed amendment is to the Future Land Use map, the amendment must:

i. Respond to a substantial change in conditions beyond the property owner's control applicable to the area within which the subject property lies, or

ii. Better implement applicable Comprehensive Plan policies than the current map designation; or

Response: The 2020 comprehensive plan outlines a detailed list of goals & objectives under Utility and Community Facilities which is directly referenced below. The highlighted sections indicate 5 core objectives that the project aligns fully with but one could argue that components of the overall project comply with most goals/objectives represented in this section. We believe the proposed amendment better implements applicable Comprehensive Plan policies & goals than the current map designation indicated in the future land use map.

Utility and Community Facilities Goals, Objectives and Actions

The following goals, objectives and actions are intended to provide a policy framework and guide for the future development of the Town.

Goal III: *Maintain and improve parks in Rib Mountain to improve the quality of life in the Town through the regular modification and adoption of the Outdoor Recreation Plan as prescribed by the Wisconsin Department of Natural Resources.*

Objectives:

- 13. Strive to provide the metro area's premier park and recreation facilities while meeting the needs of current and future residents.***
- 14. Supports development of an interconnected system of parks through trails and parkways.***
- 15. Provide timely and sufficient maintenance of park facilities.*
- 16. Establish a Park Facilities Maintenance Plan to proactively upgrade and replace equipment to ensure safety and accommodate residents' recreational needs. Work with community organizations to develop a community center or similar facility.*
- 17. Routinely review and update the Town's park dedication and impact fee requirements to ensure they are reasonable and sufficient to address needs, and encourage new residential developments to include parks, green space and trails as appropriate.*
- 18. Identify opportunities to purchase property for future park or trail development. Map these properties as "future park" to encourage preservation for future park development on the Official Map.*
- 19. Support the development of a regional multi-use trail system and work with appropriate agencies, such as***
the WDNR, WDOT, Marathon County, and others, to identify possible trail routes in Rib Mountain to connect to a regional system and to the Mountain-Bay Trail.
- 20. Work with the Marathon County and surrounding municipalities in efforts to enhance the regional bike and pedestrian route system throughout the Wausau Metro Area.***
- 21. Identify where trails should be installed in conjunction with new development or road construction and map these on the Official Map. Town of Rib Mountain Page 43 2020 Comprehensive Plan*
- 22. Establish requirements for provision of trail easements or the purchasing of right-of-way in conjunction with new development.*

23. Continue to work cooperatively with the WDNR on efforts to improve Rib Mountain State Park.

24. Continue to work cooperatively with Granite Peak Ski Resort to ensure that development and expansion is done in an environmentally sensitive manner.”

iii. Correct a mapping error; or

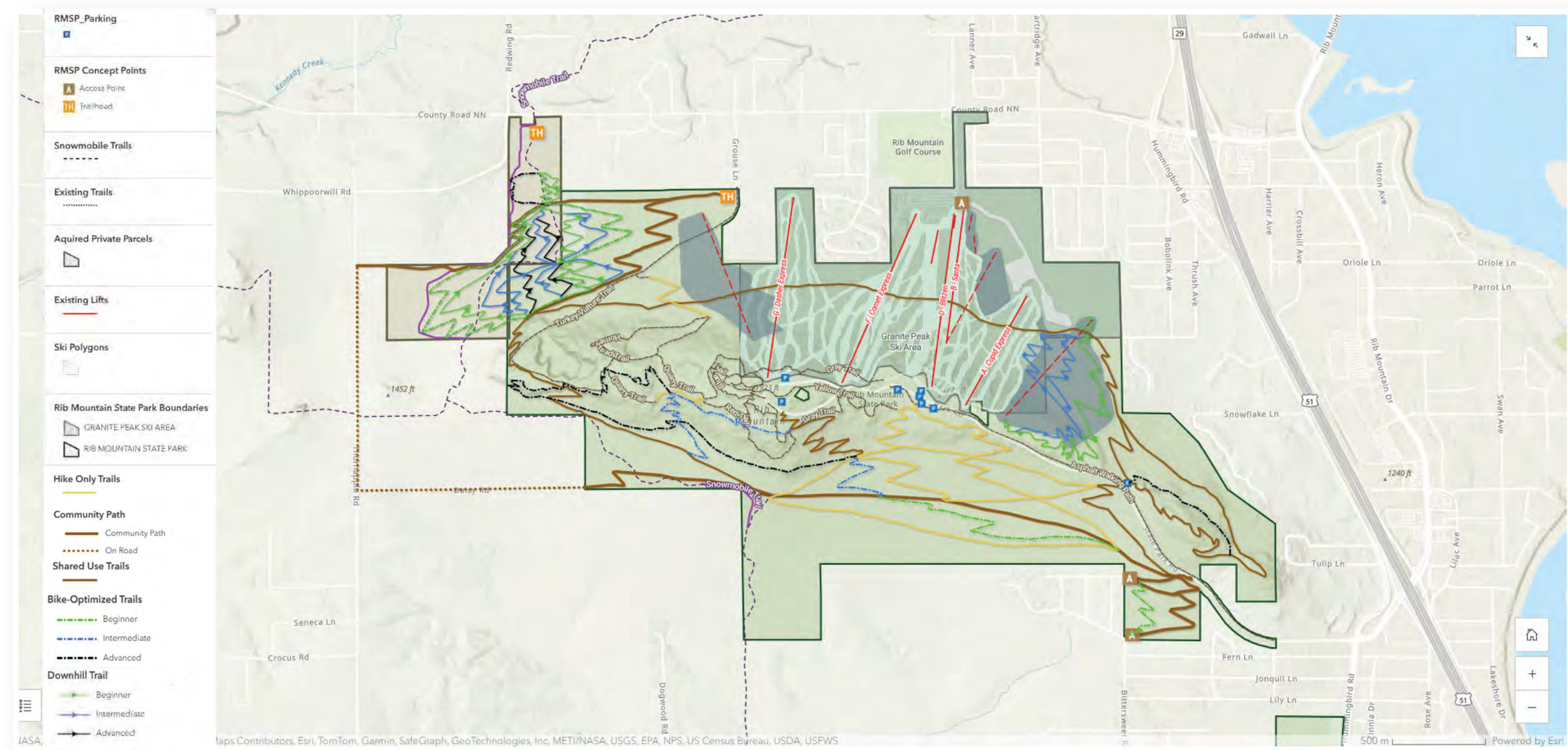
iv. Address a deficiency in the Comprehensive Plan as identified by the Commission or Board.

Response: Not applicable to our knowledge.

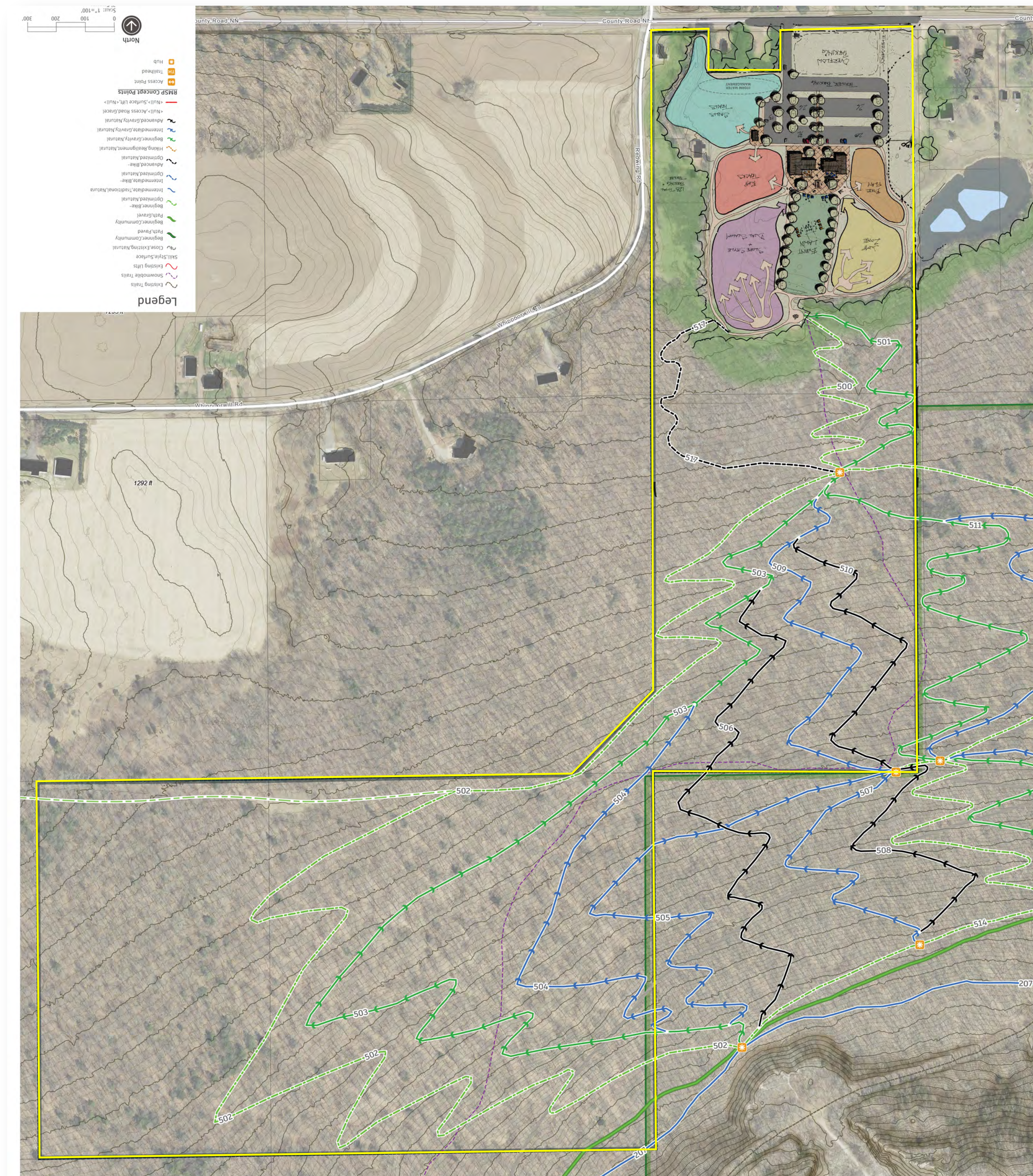
Our team looks forward to discussing this further with you and the Plan Commission. Please reach out if you need any additional information to complete the review and approval of this request.

Sincerely,
REI Engineering, Inc.

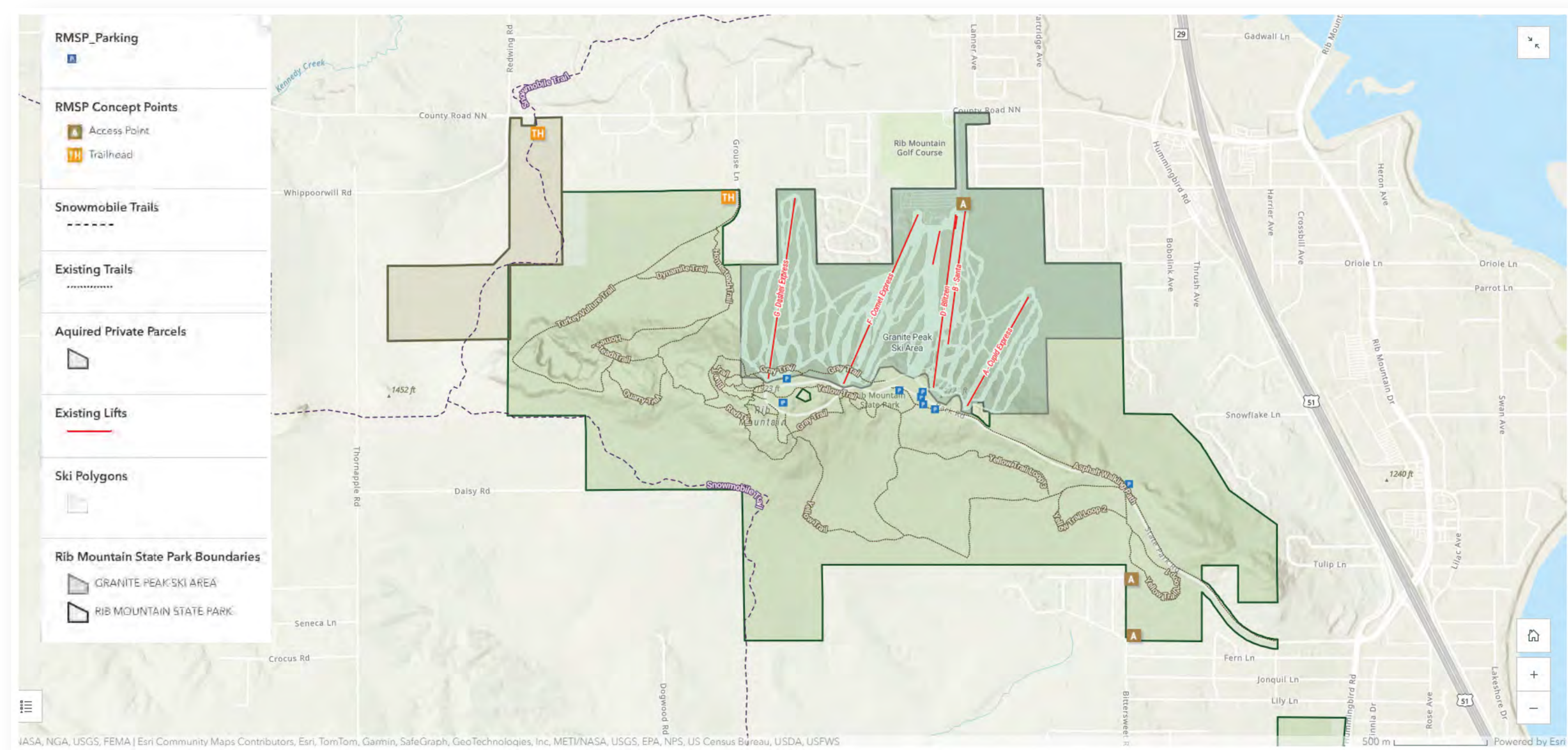
Rib Mountain State Park - Overall Trail Network Concept Plan



Private Land Trailhead Concept Plan



Private Land Trailhead Parcels



Trailhead Concept Plan - Base Detail



CONCEPT NARRATIVE:
THIS PLAN ORGANIZES A PROGRAM OF COMPONENTS THAT WOULD CREATE A REGIONAL TOURISM DRAW INDEPENDENT OF THE POTENTIAL ON STATE LANDS. THE SITE TAKES INTO ACCOUNT COUNTLESS PRECEDENT MOUNTAIN BIKE TRAILS AND BIKE PARK PROJECTS. MANY REFINEMENTS WILL BE MADE, BUT THIS CONCEPT CAN SERVE AS THE KIT OF PARTS REFERENCE AND THE ROAD MAP FOR NEXT STEPS. (ALL ZONES ARE "RIGHT-SIZED" AND FOOTPRINTS SHOWN ARE ROUGHLY 3,300 SF AND 4,800 SF.)

Trail and Facility Experience Examples

Pump Tracks



Progressive Ability Jump Zone



Pre-Ride. Re-Ride. Free-Ride.

All zones and features will be developed with skills progression in mind.

Offering accessible experiences for those new to riding and beginners to build skills and confidence to progress to the next skill level.

Slope Style & Dual Slalom



A smooth transition to Intermediate and Advanced features creates a low risk environment.

Informational and training signage will be placed throughout the facility.

Skills Trails



Bike Playground



Event Lawn





April 14, 2025

Village of Rib Mountain
Attn: Jared Grande
Economic Development Director
227800 Snowbird Avenue
Wausau, WI 54401



Subject: Legal Descriptions

Subject Parcels: 16828070530976, 16828070530975, 16828070530992, 16828070530978, 16828070820997

Project Name: Rib Mountain Private Lands Trailhead

Pin Number: 168-2807-053-0975

That part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Beginning at the Southeast corner of that parcel of land conveyed to Arllein A. James and Sandra J. James, his wife, joint tenants, by Warranty Deed dated October 29, 1973 and recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on October 30, 1973 in Micro-Record 177 on page 627, as Document No. 660807; running thence South, 220 feet; running thence West, to the East line of a town road on the West line of the SW $\frac{1}{4}$ of SW $\frac{1}{4}$; running thence North, along the Easterly line of said Town Road, to a point directly West of the point of beginning; and running thence East, to the point of beginning.

AND

Outlot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the (now Village) of Rib Mountain, Marathon County, Wisconsin.

Tax Key: 34. 52807. 11. 15.

PIN: 168-2807-053-0975

Pin Number: 168-2807-053-0992

That part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Commencing 220 feet South of the Southwest corner of the premises conveyed to School District 5 of the Town of Weston, which Deed was recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on May 22, 1890 in Deed Book 50 on page 544; thence South, parallel with the West line of said forty, 660 feet; thence West, to the West Section line of Section 5; thence North, along said Section line, where it intersects the highway running North and South; thence along the East boundary line of said highway, to a point directly West from the point of beginning; thence East, to the point of beginning; excepting the following parcels: Warranty Deed to Merlin Heuhnerfuss and Nancy Huehnerfuss, joint tenants, dated May 10, 1960 and recorded in said Register's office in Deed Book 460 on page 39; and Warranty Deed to Merlin Huehnerfuss and Nancy Huehnerfuss, joint tenants, dated November 25, 1960 and recorded in said Register's office in . Deed Book 460 on page 384.

Tax Key: 34. 52807. 11. 4.

Pin Number: 168-2807-053-0976

Lot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin.

Tax Key: 34. 52807. 11. 14.

Pin Number: 168-2807-053-0978

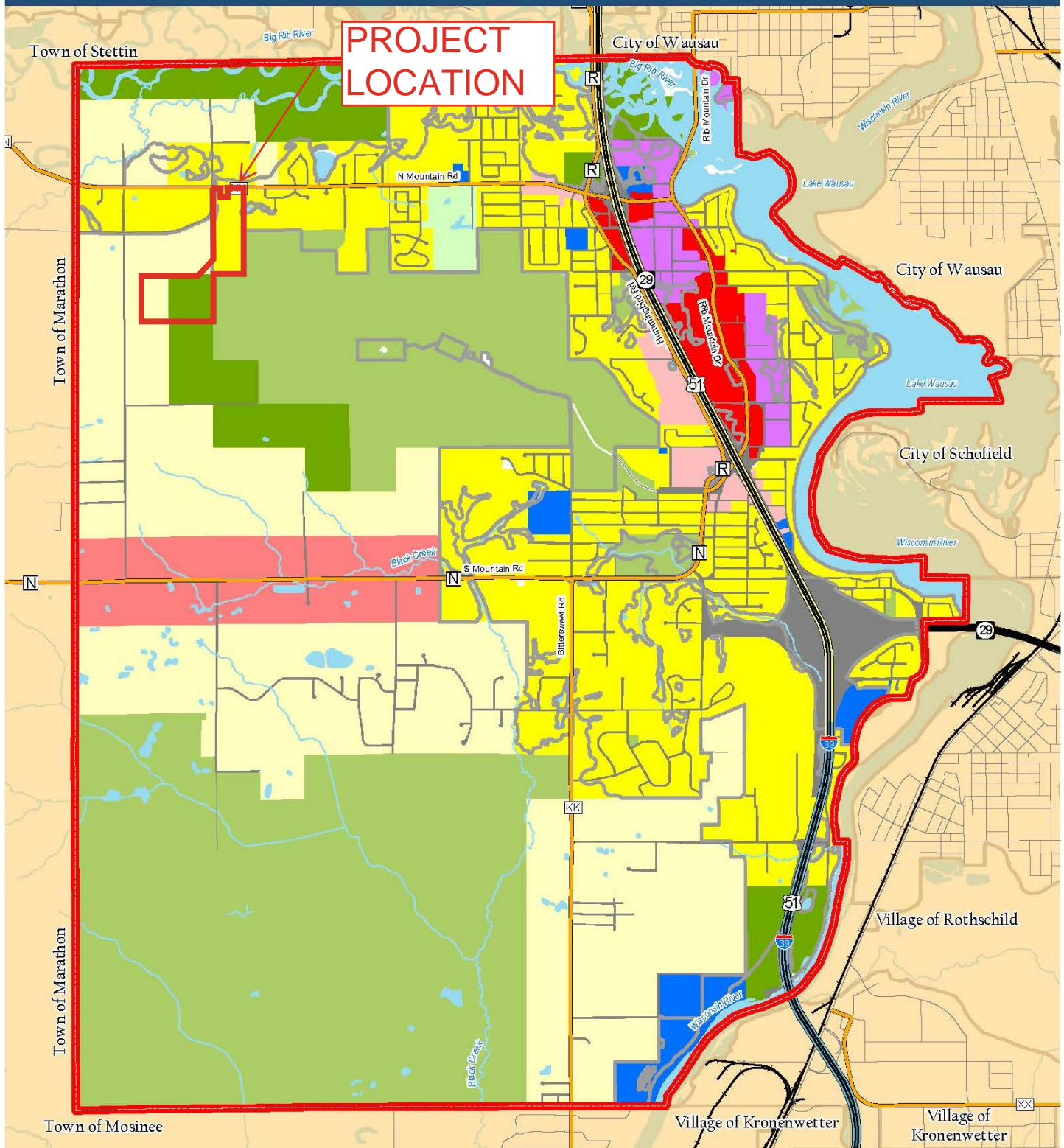
Lot one (1) of Certified Survey Map No. 14019 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 26, as Document No. 1421396 and Outlot four (4) of Certified Survey Map No. 14020 recorded in said Register's office in Volume 62 of Certified Survey Maps on page 27, as Document No. 1421397; being a part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin; subject to easements of record.

Tax Key: 34. 52807. 11. 11.

Pin Number: 168-2807-082-0997

The Northwest quarter (NW $\frac{1}{4}$) of the Northwest quarter (NW $\frac{1}{4}$) of Section eight (8), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin; excepting the East four hundred (400) feet thereof.

Tax Key: 34. 82807. 6. 1.



Source: Town of Rib Mountain, WI DNR, NCWRPC

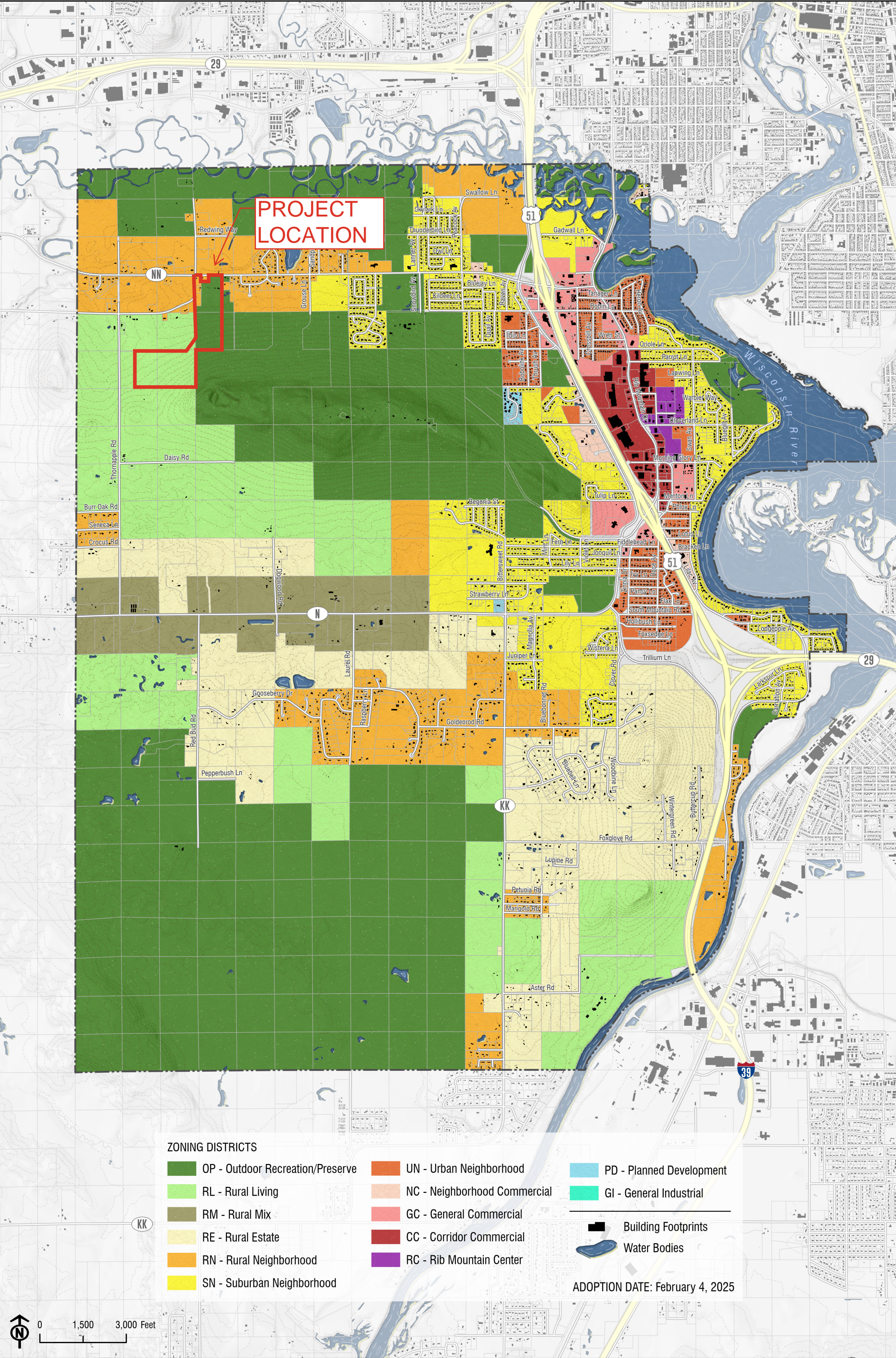
This map is neither a legally recorded map nor a survey of the actual boundary of any property depicted. This drawing is a compilation of records, information and data used for reference purposes only. NCWRPC is not responsible for any inaccuracies herein contained.



**North Central
Wisconsin Regional
Planning Commission**

715-849-5510 • staff@ncwrpc.org • www.ncwrpc.org





Report Criteria:
Permit.Permit number = "DKT - 2025 - 008"

Permit Number	Application Date	Permit Type	Property Address	Applicant	Status
DKT - 2025 - 00	04/08/2025	CD - Zoning Text Amendment	147571 WHIPPOORWILL RD	Kurt Schmidt	Approved

Description of Work
Code Section to be Amended: COMPREHENSIVE PLAN - FUTURE LAND USE MAP 8.2

Contractors

Name	Contractor Type	Primary Contractor
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Transactions

Date	Description	Source ID	Fee Number	Quantity	Unit of Measurement	Amount	Due at
Grand Totals:							

Approvals

Approval Type	Days to Approve	Due Date	Status	Approved Date	Assigned To
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Inspection Activity

Inspection Number	Inspection Type	Status	Appointment Date	Appointment Time
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Conditions

Condition	Comment
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MAIL_NAME1	MAIL_ADDR1	CITY	STATE	ZIP5
BETHLEHEM LUTHERAN CONGREGATION	147685 COUNTY ROAD NN	WAUSAU	WI	54401
DON & SANDRA MARQUARDT	147201 WHIPPOORWILL RD	WAUSAU	WI	54401
RSW INVESTMENTS LLC	225900 HUMMINGBIRD RD	WAUSAU	WI	54401
RSW INVESTMENTS LLC	225900 HUMMINGBIRD RD	WAUSAU	WI	54401
RICHARD O HOLTZ	147818 COUNTY ROAD NN	WAUSAU	WI	54401
LEPAK THORNAPPLE FARMS LLP; DANIEL J LEP	227141 THORNAPPLE ROAD	WAUSAU	WI	54401
RAYMOND & MARLENE APFELBECK	147622 WHIPPOORWILL RD	WAUSAU	WI	54401
RSW INVESTMENTS LLC	225900 HUMMINGBIRD RD	WAUSAU	WI	54401
JORDAN J PIKE	147323 WHIPPOORWILL RD	WAUSAU	WI	54401

**VILLAGE OF RIB MOUNTAIN
NOTICE OF PUBLIC HEARINGS**

NOTICE IS HEREBY GIVEN that public hearing(s) will be held before the Plan Commission of the Village of Rib Mountain, Marathon County, Wisconsin, at the **Rib Mountain Municipal Center, 227800 Snowbird Ave, on Wednesday, May 14, 2025**, at 5:00 P.M. to hear and consider the request of:

A future land use map amendment from Suburban Neighborhood to Outdoor Commercial Recreation. Owner: RSW Investments, LLC. Locations: 147711 County Road NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, and 168-2807-053-0992. DKT-2025-008. Jared Grande, an employee of the Village of Rib Mountain, may be contacted to provide additional information on the proposed comprehensive plan and ordinance at 715-842-0983 or jgrande@ribmountainwi.gov during the following times: M-F 8:00 a.m.-4:30 p.m. or in person at 227800 Snowbird Ave, Wausau, WI 54401.

Written testimony may be forwarded to the Village of Rib Mountain Plan Commission, Jared Grande, 227800 Snowbird Ave, Wausau, WI 54401 or emailed to jgrande@ribmountainwi.gov by noon on the date of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.

DATED this 10th day of April 2025.

Jared Grande, Community Development Director



AGENDA ITEM COVER SHEET AND DETERMINATION REPORT

MEETING/DATE:	Village Board, May 20, 2025
ITEM:	Docket #2025-013: Discussion and recommendation on a Zoning Text Amendment (Ord. #2025-03) to Section 17.3.03.3(15) Outdoor Entertainment and Recreation modifying and adding to the Conditional Use Regulations.
FROM:	Jared Grande, Community Development Director

BACKGROUND

There are multiple applications (zoning code amendment, comprehensive plan amendment, zoning map amendment, and conditional use permit) being presented to the Village for the redevelopment of the State Park Speedway which was first constructed in 1951 according to the Rib Mountaineer [here](#). The redevelopment is being proposed on the heels of Wisconsin Department of Natural Resources approving the Rib Mountain State Park Master Plan [here](#) on December 14, 2022 and most recently the WDNR releasing a Trail Network Concept Plan [here](#) beginning on January 30, 2025. The Trail Network Concept Plan and application materials show interconnections between the public and private land, most notably for the trail network.

PREVIOUS ACTIONS: *Motion by Carrie Edmondson seconded by Jeanine Knapp to recommend approval to the Village Board.*
Motion carried 5/1.

STAFF COMMENTS: **THIS WAS MODIFIED FROM THE PLAN COMMISSION MEETING** It was presented by staff during the reenactment of Chapter 17 Zoning Ordinance that there will be various changes, corrections, updates, and modifications needed. Some may be prompted by developments and if the code change is in the best interest of the Village and not specifically for the development, this only helps strengthen our ordinance for future projects. Any existing land uses in the Village currently don't meet the setback. Additionally, staff reviewed other municipalities and found 100' to be the greatest distance used. Staff did reach out to Marathon County Highway Department, Village legal, and SAFER Fire Chief to discuss code language and the project.

ATTACHMENTS: Application, Air photo of Golf Course and State Park Speedway, Setback Exhibits, and proposed code language.

DETERMINATION / FINDING OF FACT

CRITERIA STAFF USED FOR REVIEW OF REQUEST

- Advances the purposes of this Chapter as outlined in Section 17.1.03.
Yes, this further addresses the purpose statement in the Zoning Code and goals in the Comprehensive Plan.
- Advances the purposes of the general Subchapter in which the amendment is proposed to be located.
Meets requirements.
- Advances the purposes of the specific Section in which the amendment is proposed to be located.
Yes, with staff amendments this advances the code language.
- Is in harmony with the Comprehensive Plan



The proposed change appears to be consistent with Chapter 5 Utilities and Community Facilities, Chapter 8 Land Use, Chapter 3 Natural, Agricultural and Cultural Resources, and the Village's Vision Statement "The Town of Rib Mountain is a unique convergence of quality, balanced commerce with attractive, distinct natural recreational opportunities which provides a welcoming environment to foster a safe, affordable community that enjoys a high quality of life". Any development would be subject to the Village of Rib Mountain Municipal Code for any future commercial development.

5. Maintains the desired overall consistency of land uses, land use intensities, and land use impacts within the pertinent zoning districts.
The request does not have significant adverse impact on the natural environment including steep slopes and groundwater. Rather, it seems the lack of proposed development on the site may provide a benefit to the environment.

6. Addresses any of the following factors that may not be addressed in the current zoning text:
- a. **A change has occurred in the land market, or other factors have arisen which require a new form of development, a new type of land use, or a new procedure to meet said change(s)**
 - b. New methods of development or types of infrastructure.
 - c. Changing governmental finances to meet the needs of the government in terms of providing and affording public services.
 - d. Any other factor deemed appropriate by the Village

Rib Mountain State Park Master Plan appears to be the significant driver for this project.

POSSIBLE ACTIONS TO BE TAKEN

RECOMMEND APPROVAL: Village Board approve the modifications to 17.3.03.3(15) Outdoor Entertainment and Recreation as presented.

RECOMMEND APPROVAL WITH MODIFICATIONS: Village Board approve the modifications to Section 17.3.03.3(15) Outdoor Entertainment and Recreation with the modifications discussed.

RECOMMEND DENIAL: Village Board deny the modifications to 17.3.03.3(15) Outdoor Entertainment and Recreation.

REQUESTED ACTION: Staff recommend the Village Board the approve the modifications to 17.3.03.3(15) Outdoor Entertainment and Recreation with presented modifications by staff.

FURTHER ACTION(S): Sign Ordinance.

VILLAGE OF RIB MOUNTAIN

ORDINANCE #25-03

An Ordinance Amending the Code of Ordinances Chapter 17 Zoning Ordinance Section 17.3.03.3(15) Entitled “Outdoor Entertainment and Recreation”

The Village Board of the Village of Rib Mountain, Marathon County, Wisconsin, do hereby ordain as follows:

Section 1: CHAPTER 17 ZONING ORDINANCE, SECTION 17.3.03.3(15) ENTITLED “OUTDOOR ENTERTAINMENT” of the Code of the Village of Rib Mountain is hereby amended with new language underlined and deleted language ~~stricken~~ to provide as follows:

17.3.03.3(15) – OUTDOOR ENTERTAINMENT ~~AND RECREATION~~

Conditional Use Regulations:

- (a) Activity areas other than parking shall not be located closer than ~~300~~ 100 feet to a residentially zoned property.
 - a. Activity area is defined as activities outside of an enclosed building associated with the principle or main activity of the request.
 - b. A greater distance may be required if activities involve motor vehicles or intense lighting.
- (b) The facility shall provide a bufferyard with a minimum opacity of .80 along all borders of the property abutting residentially zoned property (see Subchapter 17-V Landscape and Bufferyards).
- (c) Traffic plan shall be reviewed and approved by Marathon County ~~Sheriff's Department~~ Highway Department for roadways under County control or the Department of Public Works Director for roadways under Village control.
- (d) An Emergency Action Plan shall be reviewed and approved by ~~Emergency Management Services~~ Village of Rib Mountain Fire and Emergency Services.
- (e) Hours of operation to be reviewed on a case by case application to minimize negative impacts.
- (f) See Table 4.3: Parking Regulations for required parking. The Zoning Administrator may require a parking study to verify the parking calculations.
- (g) New customer entrances shall be located as far as possible from residentially zoned property.

Section 2: All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 3: Should any portion of this ordinance be declared invalid, or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity of the remaining portions of said ordinance which can be given effect without the invalid or unconstitutional provision.

Section 4: This ordinance shall be in full force and effect from and after its date of passage and notice to the public as required by law.

Adopted this ____ day of _____, 2025.

Allen Opall, Village President

ATTEST:

Lynnae Kolden, Village Clerk

Compiled by Village Staff

Blue sections modified after Plan Commission meeting

(1) Outdoor Entertainment and Recreation

Conditional Use Regulations:

- (a) Activity areas other than parking shall not be located closer than ~~300~~ 100 feet to a residentially zoned property.
 - a. Activity area is defined as activities outside of an enclosed building associated with the principle or main activity of the request.
 - b. Activity Areas may be located closer than 100 feet of a residentially zoned area on a case by case application depicted on a site plan.
- (b) The facility shall provide a bufferyard with a minimum opacity of .80 along all borders of the property abutting residentially zoned property (see Subchapter 17-V Landscape and Bufferyards).
- (c) Traffic plan shall be reviewed and approved by Marathon County ~~Sheriff's Department~~ Highway Department for roadways under County control or the Department of Public Works Director for roadways under Village control.
- (d) An Emergency Action Plan shall be reviewed and approved by ~~Emergency Management Services-Village of Rib Mountain Fire and Emergency Services.~~
- (e) Hours of operation to be reviewed on a case by case application to minimize negative impacts.
- (f) See Table 4.3: Parking Regulations for required parking. The Zoning Administrator may require a parking study to verify the parking calculations.
- (g) New customer entrances shall be located as far as possible from residentially zoned property.



April 21, 2025

Village of Rib Mountain

Attn: Jared Grande
Economic Development Director
227800 Snowbird Avenue
Wausau, WI 54401



Subject: Zoning Ordinance Amendment
Project Name: Rib Mountain Private Lands Trailhead

Dear Jared,

The REI team is representing our client concerning the proposed redevelopment of an area within the Village of Rib Mountain into a Private Trailhead/Mountain Bike Park Facility. The 'Outdoor Entertainment & Recreation' use proposed is introducing an array of low impact/multipurpose biking and hiking opportunities open to the general public along with a potential brew pub, bike shop and event space facility. The less congested and silent nature of the uses proposed would be a stark contrast to the existing noisy environment of State Park Speedway. We do not foresee any undue or adverse impacts on the surrounding properties, rather we consider the proposal a significant improvement to the character of the site & surrounding neighborhood.

Some areas of adjacent context exhibit residentially zoned property, therefore activity areas under 'Outdoor Entertainment & Recreation' are restricted to abide by a setback of 300' from such properties. This severe setback condition would make the property and most (if not all) similar properties within the Village of Rib Mountain undevelopable under this type of low impact 'Outdoor Entertainment & Recreation' land use. For example, the Rib Mountain Golf Course and State Park Speedway, both of which date back prior to 1961 have been non-compliant with this code section since the inception of the code. The same would hold true for the ski operations at Granite Peak if the State of Wisconsin needed to abide by the Village zoning code.

Due to the low impact and silent nature of the proposed active outdoor recreational activities (multipurpose biking/hiking areas) which are otherwise permitted by right under OP Zoning, we are requesting a zoning ordinance amendment to *Zoning Code Section 17.3.03.3 Commercial (15)* to more appropriately weigh these specific situations. The goal of the verbiage modifications proposed would be to first: Reduce the standard setback to a more attainable requirement, then second: Grant the Village authority to provide more attention when weighing the applicability of setback buffering distances for not only our site but future sites/projects in this very situation by fully considering the site, the land use type/intensity and its context. It is our impression that the Village is currently sitting at a disadvantage with the existing zoning code language, which is potentially forcing incredible economic/cultural/recreational opportunities such as this one to look elsewhere.

As our team has referenced in recent conversations, the driving force of the Village of Rib Mountain and its vibrant community is its ethos - **"Where Nature, Family, and Sport Come Together"**. There is no more appropriate land use that is fully reflective of this value than the one being brought before you today. We firmly believe this specific 'Outdoor Entertainment & Recreation' use fully aligns with the overall goals, vision & values of the village and will further enhance the growth & success of the area's economy and recreational opportunities. It would be disheartening if certain unnecessary zoning code restrictions begin pushing away opportunities such as this due to the disadvantage the village has of appropriately weighing the specific land use type/intensity.

Per the review criteria outlined in zoning code section 17.8.06(2), we have provided direct responses below to each subsection required. Our team looks forward to discussing this further with you and Plan Commission at the May 14, 2025 Planning Commission meeting. Please reach out if you need any additional information to complete the review and approval of this request.

Sincerely,

Kurt Schmidt

Kurt Schmidt
REI Engineering, Inc.

(2) Application Requirements. An application to amend the regulations of this Chapter shall contain the following (digital files should be submitted whenever possible):

(a) The section(s) of the current provisions of this chapter which are proposed to be amended.

17.3.03.3 COMMERCIAL (15)

(15) Outdoor Entertainment and Recreation

Conditional Use Regulations:

1. Activity areas shall not be located closer than 300 feet to a residentially zoned property.
2. The facility shall provide a bufferyard with a minimum opacity of .80 along all borders of the property abutting residentially zoned property (see Subchapter 17- V Landscape and Bufferyards).
3. Traffic plan shall be reviewed and approved by Marathon County Sheriff's Department.
4. An Emergency Action Plan shall be reviewed and approved by Emergency Management Services.
5. Hours of operation to be reviewed on a case by case application to minimize negative impacts.

(b) The text which is proposed to replace the current text.

17.3.03.3 COMMERCIAL (15)

(15) Outdoor Entertainment and Recreation

Conditional Use Regulations:

1. Activity areas **other than parking** shall not be located closer than **100** feet to a residentially zoned property.
 - a. Activity area is defined as activities outside of an enclosed building associated with the principle or main activity of the request.
 - b. A greater distance may be required if activities involve motor vehicles or intense lighting.

2. The facility shall provide a bufferyard with a minimum opacity of .80 along all borders of the property abutting residentially zoned property (see Subchapter 17- V Landscape and Bufferyards).
3. Traffic plan shall be reviewed and approved by Marathon **County Highway Department for roadways under County control or the Department of Public Works Director for roadways under Village control.**
4. An Emergency Action Plan shall be reviewed and approved by **Village of Rib Mountain Fire and Emergency Services.**
5. Hours of operation to be reviewed on a case by case application to minimize negative impacts.
6. **See Table 4.3: Parking Regulations for required parking. The Zoning Administrator may require a parking study to verify the parking calculations.**
7. **New customer entrances shall be located as far as possible from residentially zoned property.**

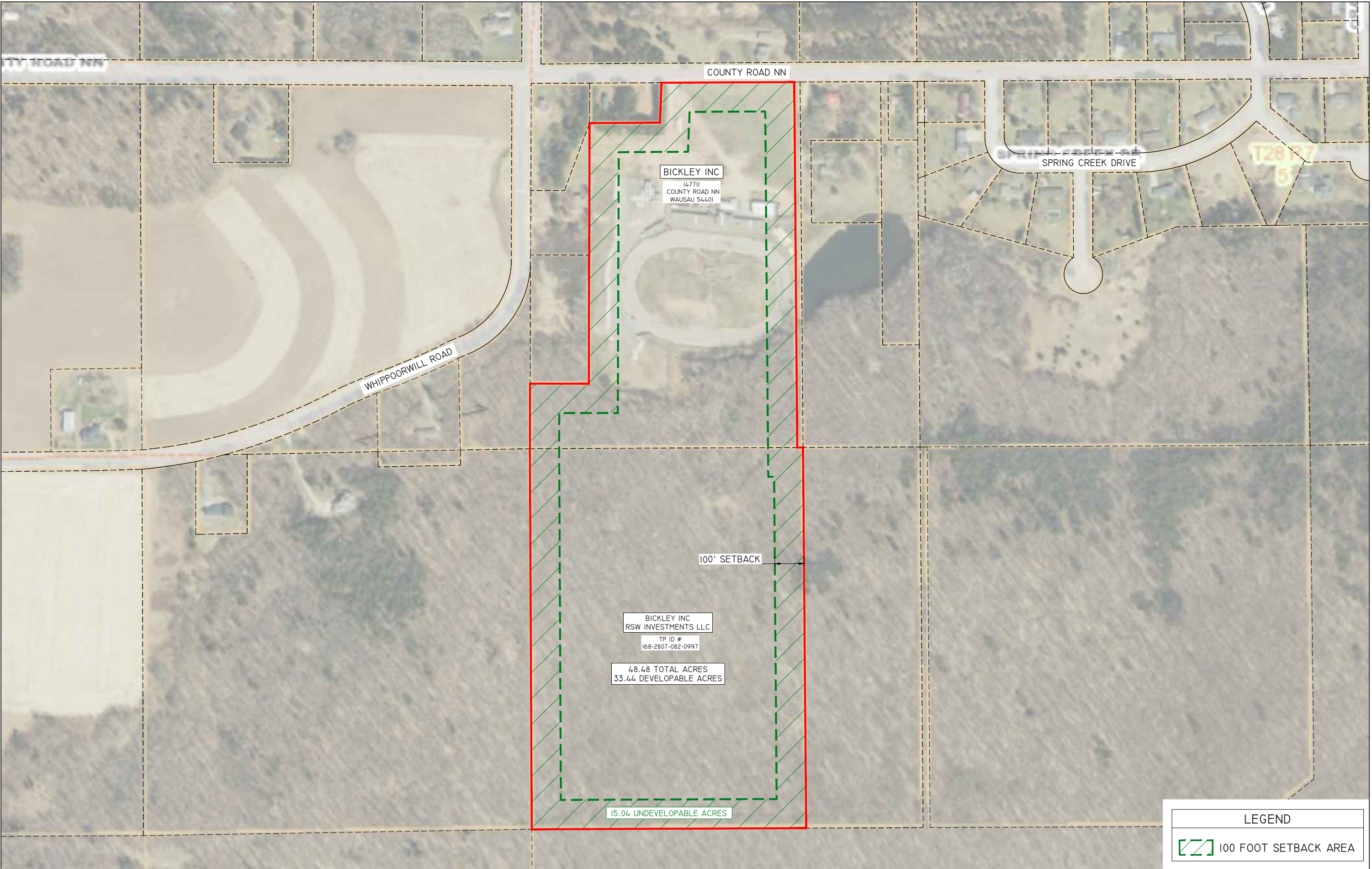
(c) As an optional requirement, the applicant may provide written justification for the proposed text amendment, consisting of the reasons why the applicant believes the proposed text amendment is in harmony with the Comprehensive Plan.

Response: Refer to cover letter above.

(d) Any further information needed to facilitate appropriate review and generation of a report to the Plan Commission and Village Board.

Response: Refer to cover letter above.

DRAWING FILE: Q:\11400-11499\11448A - PROJECT MOUNTAIN BIKE - COUNTY ROAD NN - VILLAGE OF RIB MOUNTAIN\DRAWING\FIGURES & EXHIBITS\11448A-100-FT SETBACK EXHIBITS.DWG LAYOUT: EXH-I
PLOTTED: APR 22, 2025 - 12:55PM PLOTTED BY: TODDW



LEGEND

 100 FOOT SETBACK AREA

DRAWING FILE: Q:\114400-11499\11448A - PROJECT MOUNTAIN BIKE - COUNTY ROAD NN - VILLAGE OF RIB MOUNTAIN\DRAWING\FIGURES & EXHIBITS\11448A-100-FT SETBACK EXHIBITS.DWG LAYOUT: EXH-2
PLOTTED: APR 22, 2025 - 12:55PM PLOTTED BY: TODDW



RIB
MOUNTAIN
GOLF
149841 COUNTY
ROAD NN
WAUSAU 54401

37.33 TOTAL ACRES
25.50 DEVELOPABLE ACRES

11.83 UNDEVELOPABLE ACRES

100' SETBACK

LEGEND

 100 FOOT SETBACK AREA

REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784 FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



REI

CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING

SCALE
0 100 200

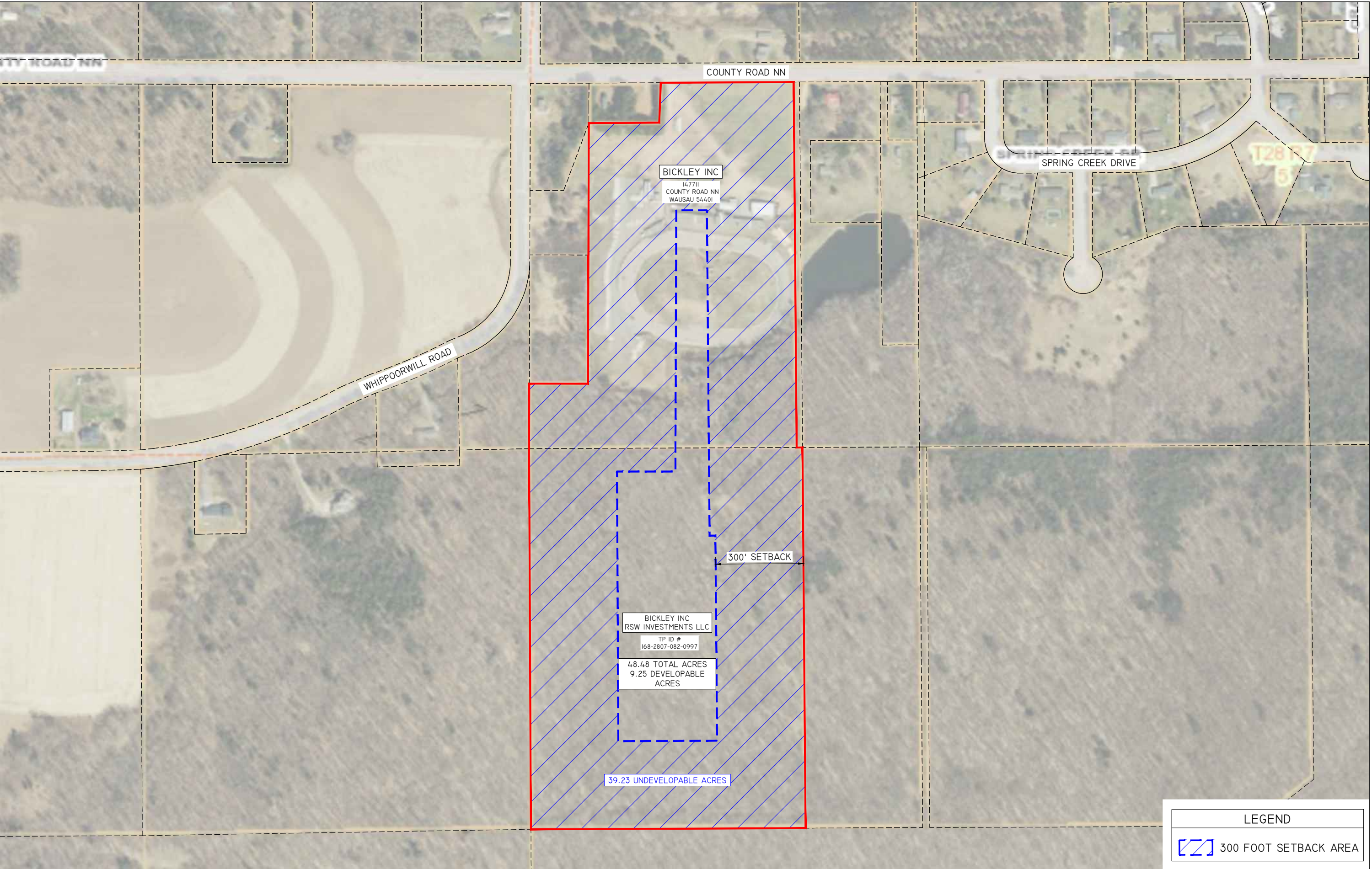


DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				SURVEY CHKD BY:	CIVIL CHKD BY:	CIVIL DATE: 4/22/2025
				SURVEY APVD BY:	CIVIL APVD BY:	DRAWN BY: TAW

100-FOOT SETBACK EXHIBIT
RIB MOUNTAIN PRIVATE LANDS TRAILHEAD
149841 COUNTY ROAD NN
RIB MOUNTAIN, WISCONSIN

REI
REI No. 11448A
SHEET EXH-2

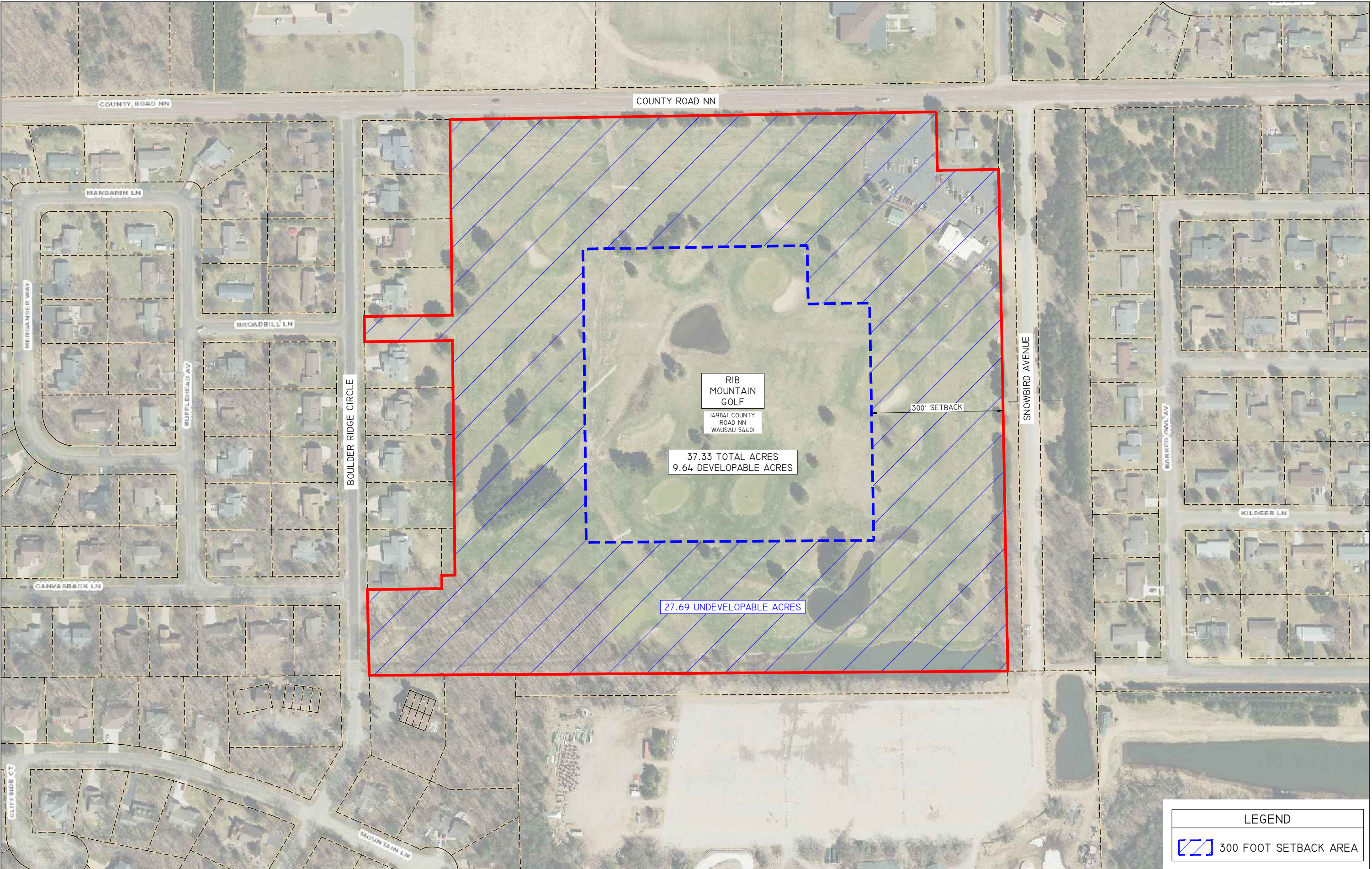
DRAWING FILE: Q:\114400-114499\11448A - PROJECT MOUNTAIN BIKE - COUNTY ROAD NN - VILLAGE OF RIB MOUNTAIN\DRAWING\FIGURES & EXHIBITS\11448A-300-FT SETBACK EXHIBITS.DWG LAYOUT: EXH-3
PLOTTED: APR 22, 2025 - 12:55PM PLOTTED BY: TODDW



LEGEND

 300 FOOT SETBACK AREA

DRAWING FILE: Q:\11400-11499\11448A - PROJECT MOUNTAIN BIKE - COUNTY ROAD NN - VILLAGE OF RIB MOUNTAIN\DRAWING\FIGURES & EXHIBITS\11448A-300-FT SETBACK EXHIBITS.DWG LAYOUT: EXH-4
PLOTTED: APR 22, 2025 - 12:55PM PLOTTED BY: TODDW




RIB
MOUNTAIN
GOLF
149841 COUNTY
ROAD NN
WAUSAU 54401

37.33 TOTAL ACRES
9.64 DEVELOPABLE ACRES

27.69 UNDEVELOPABLE ACRES

300' SETBACK

LEGEND

 300 FOOT SETBACK AREA

1961 Air Photo – Rib Mountain Golf Course



1961 Air Photo – State Park Speedway



(1) Outdoor Entertainment and Recreation

Conditional Use Regulations:

- (a) Activity areas other than parking shall not be located closer than ~~300~~ 100 feet to a residentially zoned property.
 - a. Activity area is defined as activities outside of an enclosed building associated with the principle or main activity of the request.
 - b. A greater distance may be required if activities involve motor vehicles or intense lighting.
- (b) The facility shall provide a bufferyard with a minimum opacity of .80 along all borders of the property abutting residentially zoned property (see Subchapter 17-V Landscape and Bufferyards).
- (c) Traffic plan shall be reviewed and approved by Marathon County ~~Sheriff's Department~~ Highway Department for roadways under County control or the Department of Public Works Director for roadways under Village control.
- (d) An Emergency Action Plan shall be reviewed and approved by ~~Emergency Management Services-Village of Rib Mountain Fire and Emergency Services.~~
- (e) Hours of operation to be reviewed on a case by case application to minimize negative impacts.
- (f) See Table 4.3: Parking Regulations for required parking. The Zoning Administrator may require a parking study to verify the parking calculations.
- (g) New customer entrances shall be located as far as possible from residentially zoned property.



AGENDA ITEM COVER SHEET

MEETING/DATE: Village Board, May 20, 2025

ITEM: Docket #2025-011: Discussion and recommendation on a Zoning Map Amendment of 4.899 acres from Rural Neighborhood (RN) to Outdoor Recreation/Preservation (OP)(Ord. #2025-02) (RMMC Section 17.8.06) located at 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992.

FROM: Jared Grande, Community Development Director

APPLICANT & PROPERTY INFORMATION

APPLICANT: Kurt Schmidt, REI Engineering, 4080 N. 20th Ave, Wausau, WI 54401

OWNER: RSW Investments, 225900 Hummingbird Rd, Wausau, WI 54401

PROPERTY ADDRESS: 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992

PIN: 168-2807-053-0975, and 168-2807-053-0992, and 168-2807-053-0976

CURRENT ZONING: Rural Neighborhood

ADJACENT ZONING: **NORTH:** Road **SOUTH:** OP **EAST:** RN/OP **WEST:** Road

PROPOSED ZONING: OP – Outdoor Recreation/Preservation

FUTURE LAND USE: Suburban Neighborhood (proposing Outdoor Commercial Recreation)

BACKGROUND

There are multiple applications (zoning code amendment, comprehensive plan amendment, zoning map amendment, and conditional use permit) being presented to the Village for the redevelopment of the State Park Speedway which was first constructed in 1951 according to the Rib Mountaineer [here](#). The redevelopment is being proposed on the heels of Wisconsin Department of Natural Resources approving the Rib Mountain State Park Master Plan [here](#) on December 14, 2022 and most recently the WDNR releasing a Trail Network Concept Plan [here](#) beginning on January 30, 2025. The Trail Network Concept Plan and application materials show interconnections between the public and private land, most notably for the trail network.

PREVIOUS ACTIONS: *Motion by Jeanine Knapp seconded by Scott Pagenkopf to approve.*
*Motion carried 5/0 *Cory Sillars no longer present to vote**

STAFF COMMENTS: See Determination Report (attached).

ATTACHMENTS: Rezone Determination Report, Park Property, Trailhead Concept, Property Map, Overall Map, Map from Outdoor Rec Plan, Zoning Map, Application, Cover Sheet, and Ord. No. 25-02.

POSSIBLE ACTIONS TO BE TAKEN

SEE DETERMINATION REPORT (ATTACHED)

REQUESTED ACTION: Recommend approval with staff recommendations

FURTHER ACTION(s): Notify applicant of the Board's decision (Staff) and sign ordinance.

VILLAGE OF RIB MOUNTAIN

ORDINANCE NO. 25-02

AN ORDINANCE FOR THE VILLAGE OF RIB MOUNTAIN TO APPROVE THE REZONING OF
4.899 ACRES FROM RURAL NEIGHBORHOOD (RN) TO OUTDOOR
RECREATION/PRESERVATION (OP)
LOCATED IN
VILLAGE OF RIB MOUNTAIN, MARATHON COUNTY, WISCONSIN

WHEREAS, the Plan Commission of the Village of Rib Mountain having held a public hearing on the 14th day of May 2025, on the application described below for the change to the zoning of the property described herein; and

WHEREAS, the properties are described as:

1. That part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Beginning at the Southeast corner of that parcel of land conveyed to Arlein A. James and Sandra J. James, his wife, joint tenants, by Warranty Deed dated October 29, 1973 and recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on October 30, 1973 in Micro-Record 177 on page 627, as Document No. 660807; running thence South, 220 feet; running 1. thence West, to the East line of a town road on the West line of the SW¼ of SW¼; running thence North, along the Easterly line of said Town Road, to a point directly West of the point of beginning; and running thence East, to the point of beginning. AND Outlot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the (now Village) of Rib Mountain, Marathon County, Wisconsin;

2. That part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows: Commencing 220 feet South of the Southwest corner of the premises conveyed to School District 5 of the Town of Weston, which Deed was recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on May 22, 1890 in Deed Book 50 on page 544; thence South, parallel with the West line of said forty, 660 feet; thence West, to the West Section line of Section 5; thence North, along said Section line, where it intersects the highway running North and South; thence along the East boundary line of said highway, to a point directly West from the point of beginning; thence East, to the point of beginning; excepting the following parcels: Warranty Deed to Merlin Heuhnerfuss and Nancy Huehnerfuss, joint tenants, dated May 10, 1960 and recorded in said Register's office in Deed Book 460 on page 39; and Warranty Deed to Merlin Huehnerfuss and Nancy Huehnerfuss, joint tenants, dated November 25, 1960 and recorded in said Register's office in . Deed Book 460 on page 384;

3. Lot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as

Document No. 1427800; being part of the Southwest quarter (SW¹/₄) of the Southwest quarter (SW¹/₄) of Section five (5), Township twenty- eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin.

SAID PARCELS CONTAINS 213,400 SQUARE FEET, OR 4.899 ACRES, MORE OR LESS.

WHEREAS, the Plan Commission having thereafter filed its written recommendations and findings with the Village Board, and the said Board having received and approved the recommendation of said Commission;

WHEREAS, the Village Board approved the recommendation of the Plan Commission on May 20, 2025, and by adopting Ordinance No. 25-02 ratifies and confirms the action taken by the Village Board.

NOW THEREFORE, the Village Board of the Village of Rib Mountain do ordain as follows:

Section 1: That on the application (2025-011) filed by Mike Mohr, REI Engineering, on behalf of the property owner RSW Investments, LLC which application was approved by the Village Board on May 20, 2025, for the following territory now comprising a part of the Rural Neighborhood (RN) Zoning District, located in Section 05, Township 28 North, Range 7 East, Village of Rib Mountain, Marathon County, Wisconsin, is hereby designated to be and become hereafter part of the following zoning districts:

OUTDOOR RECREATION/PRESERVATION (OP)

Section 2: That the foregoing amendment to the zoning district designations shall take effect only upon publication of this ordinance. If the rezoning of any lands by this Ordinance does not take effect within 180 days of the date hereof, this Ordinance shall become null and void and the zoning for such lands shall remain unchanged.

Section 3: That the Zoning Administrator shall make necessary alterations upon the official map of the Village of Rib Mountain to reflect the changes in the zoning classifications of the property described herein.

Section 4: SEVERABILITY. If any section, clause, provision, or portion of this Ordinance is adjudged unconstitutional or invalid by a court of competent jurisdiction, the remainder of this Ordinance shall not be affected thereby. If an application of this Ordinance to a particular structure, land, or water is adjudged unconstitutional or invalid by a court of competent jurisdiction, such judgment shall not be applicable to any other structure, land, or water not specifically included in said judgment. If any requirement or limitation attached to an authorization given under this Ordinance is found invalid, it shall be presumed that the authorization would not have been granted without the requirement or limitation and, therefore, said authorization shall also be invalid. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

Section 5: This ordinance shall be in full force and effect from and after its date of passage and notice to the public as required by law.

Adopted this ____ day of _____, 2025.

Allen Opall, Village President

ATTEST:

Lynnae Kolden, Village Clerk



REZONE DETERMINATION REPORT

FROM:	Jared Grande, Community Development Director		
DOCKET NO.	2024-011	HEARING DATE:	May 14, 2024
APPLICANT:	Kurt Schmidt, REI Engineering, 4080 N. 20 th Ave, Wausau, WI 54401		
OWNER:	RSW Investments, 225900 Hummingbird Rd, Wausau, WI 54401		
LOCATION:	147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992		
DESCRIPTION:	Discussion and recommendation on a Zoning Map Amendment of 4.899 acres from Rural Neighborhood (RN) to Outdoor Recreation/Preservation (OP)(Ord. #2025-02) (RMMC Section 17.8.06) located at 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992.		

The Department of Community Development of the Village of Rib Mountain, pursuant to the Village of Rib Mountain Zoning Code, Subchapter 17-VIII Procedures, Section 17.8.07 Zoning Map Amendment, hereby makes the following findings and evaluation to the Village of Rib Mountain Plan Commission:

GENERAL INFORMATION

(THE STAFF REPORT IS REVIEWED USING THE PROPOSED ORDINANCE CHANGE AND COMPREHENSIVE PLAN AMENDMENT ASSOCIATED WITH THIS APPLICATION)

CURRENT ZONING:	RN – Rural Neighborhood
DEFINITION: 17.2.03(5)	This district is intended to permit development which allows larger residential lots intended to be used for single-family areas served by public water and public sanitary sewer. The principal land use is Single Family Detached residential.
PROPOSED ZONING:	OP – Outdoor Recreation/Preserve
DEFINITION: 17.2.03(1)	This district is intended to preserve, protect and enhance open spaces and forested areas of Rib Mountain State Park, Nine Mile Forestry Unit, local parks and environmentally sensitive lands. Principal uses include a variety of recreational opportunities as well as their associated structures and other limited low impact uses.
FUTURE LAND USE	Outdoor Commercial Recreation
FLU DESCRIPTION:	A development scaled to a regional level, with a potentially high impact, pursuant to sports, amusement and recreational activities, available to the general public for a fee, where the principal use is outdoors, but which may include additional related principal or accessory uses that are indoors. A residential component may be incorporated, but shall not be the primary use. These areas shall be served public sewer and water facilities as this designation is within the 2040 sewer service boundary

DETERMINATION / FINDING OF FACT

EVALUATION WHETHER THE PROPOSED AMENDMENT:



1. Advances the purposes of this Chapter as outlined in Section 17.1.03 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA)

Evaluating the Purpose of Chapter 17 and the Village's Comprehensive Plan, the project adheres to many of the purposes, objectives, and goals of these documents. Rib Mountain State Park is heart of the community

2. Is in harmony with the Comprehensive plan

Chapter 17 is written to implement the Comprehensive Plan to the extent possible under zoning and this proposed map amendment is within the scope of that intent.

3. Maintains the desired overall consistency of land uses, land use intensities, and land use impacts within the pertinent zoning districts.

The proposed redevelopment of the site would appear to have a similar impact. The Marathon County Highway Department views it as having similar impacts vs. what is there now. The proposal also appears to further benefit some of the environmental concerns of mapped wetlands, the waterway, and being conscious of stormwater issues at the base of Rib Mountain State Park.

4. Addresses any of the following factors that are not properly addressed on the current Official Zoning Map:

- a. The designations of the Official Zoning Map are not in conformance with the Comprehensive Plan.
- b. A mapping mistake was made, including the omission on the Official Zoning Map of an approved zoning map amendment.
- c. **Factors have changed (such as new data, infrastructure, market conditions, development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.**
- d. Growth patterns or rates have changed, creating the need for an amendment to the Official Zoning Map.

Wisconsin Department of Natural Resources approved Rib Mountain State Park Master Plan [here](#) on December 14, 2022. The update created new opportunities to expand on recreational opportunities including mountain biking.

BACKGROUND INFORMATION

There are multiple applications (zoning code amendment, comprehensive plan amendment, zoning map amendment, and conditional use permit) being presented to the Village for the redevelopment of the State Park Speedway which was first constructed in 1951 according to the Rib Mountaineer [here](#). The redevelopment is being proposed on the heels of Wisconsin Department of Natural Resources approving the Rib Mountain State Park Master Plan [here](#) on December 14, 2022 and most recently the WDNR releasing a Trail Network Concept Plan [here](#) beginning on January 30, 2025. The Trail Network Concept Plan and application materials show interconnections between the public and private land, most notably for the trail network.

CURRENT PROPERTY CONDITIONS

There currently is State Park Speedway, two single family detached houses, an unnamed waterway, woodland areas, WDNR mapped wetlands, and steep slopes adjacent to Rib Mountain State Park. All parcels included in the proposed project total 118.52 acres according to Marathon County Land Records.

STAFF COMMENTS

It's recognized the four applications submitted by the applicant are associated with one another for the purpose of the project occurring. The review of this rezone is assuming the comprehensive plan amendment is approved, otherwise



the rezone should not be approved. State Park Speedway has been a staple of the community for multiple decades and has made lasting impacts to countless people. Assuming the track is no longer feasible to operate or the willingness to sell is there, redevelopment into an outdoor recreation use would appear to be the highest and best use with the understanding of the Village's Comprehensive Plan, Vision statement, and tag line. Details of the redevelopment of the site and additional acres need to be further vetted and understood, but from a high level, this project could be a landmark for the community and metro area further establishing the Village of Rib Mountain as Wisconsin's outdoor recreation basecamp and community of choice.

POSSIBLE ACTIONS TO BE TAKEN

RECOMMEND APPROVAL: Plan Commission recommends approval of the rezone request and forwards the recommendation to the Village Board for the May 20, 2024, meeting.

RECOMMEND APPROVAL WITH MODIFICATIONS: Plan Commission recommends approval of the rezone request with modifications as discussed and forwards the recommendation to the Village Board for the May 20, 2024, meeting.

DEFER ACTION: Defer action on the request based on insufficient material/evidence provided by the applicant or uncertainty among the commissioners based on evidence presented at the public hearing. A recommendation shall be made within 60 days of submittal of the application. If the Plan Commission chooses not to make a recommendation or fails to make a recommendation to the Village Board within 60 days of the submittal of the application, then the Village Board shall hold the public hearing without a Plan Commission recommendation.

RECOMMEND DENIAL: Plan Commission recommends denial of the rezone request and forwards the recommendation on to the Village Board for the May 20, 2024, meeting.



April 21, 2025

Village of Rib Mountain
Attn: Jared Grande
Economic Development Director
227800 Snowbird Avenue
Wausau, WI 54401

Subject: Conditional Use Permit & Zoning Map Amendment

Subject Property: **Refer to attached legal descriptions and parcel info referenced below.*

Project Name: Rib Mountain Private Lands Trailhead

Dear Jared,

The REI team is representing our client concerning the redevelopment of an area within the Village of Rib Mountain into a Private Trailhead/Mountain Bike Park Facility. The main property involved is located at 147711 County Rd NN under OP (Outdoor Recreation/Preserve) zoning which is the former location of the State Park Speedway. The parcel numbers of all properties involved are indicated below along with their associated zoning and the proposed zoning amendment requests:

Parcel PIN: 16828070530978 – Former State Park Speedway
Zoning: OP (Outdoor Recreation/Preserve)
Request: [Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070820997 – Former State Park Speedway
Zoning: OP (Outdoor Recreation/Preserve)
Request: [Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070710991 – Undeveloped Land accessed from Thornapple Rd.
Zoning: RL (Rural Living)
Request: [Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070710993 - Undeveloped Land accessed from Thornapple Rd.
Zoning: RL (Rural Living)
Request: [Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070710999 - Undeveloped Land – Proposed 1 Acre Parcel
Zoning: RL (Rural Living)
Request: [Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070530976 – Residential Land Use at SE Quad Thornapple/Cty. Rd. NN
Zoning: RN (Rural Neighborhood)
Requests: [Rezone to OP - Outdoor Recreation/Preserve](#)
[Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070530975 - Residential Land Use
Zoning: RN (Rural Neighborhood)
Requests: [Rezone to OP - Outdoor Recreation/Preserve](#)
[Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070530992 – Undeveloped Parcel
Zoning: RN (Rural Neighborhood)
Requests: **Rezone to OP - Outdoor Recreation/Preserve**
Proposed Outdoor Entertainment Conditional Use Request

**Refer to the attached exhibits that highlight the project area, existing zoning, and parcels within a 300' context buffer.*

Portions of the subject land is under a land contract between Philip C. Bickley, Helen Bickley, and Bickley Inc. and RSW Investments, LLC (Wimmer family) recorded at the Marathon County Register of Deeds office as document number 1556275. This land contract will be fulfilled simultaneously upon the real estate closing with our client pending regulatory approvals.

Our team looks forward to further discussing this project going forward. Please contact our team if you need any additional information.

Sincerely,

Kurt Schmidt

Kurt Schmidt
REI Engineering, Inc.

Written Description:

The 'Outdoor Entertainment' conditional use proposed is introducing a Private Land Trailhead & Trail Network offering an array of low impact/multipurpose biking and hiking opportunities open to the general public. *(Please refer to the attached Concept Plan Exhibits)* The concept for the trailhead organizes a series of program elements that would create a regional tourism draw independent of the potential on state lands. The less congested and silent nature of the uses proposed would be a stark contrast to the existing noisy environment of State Park Speedway. We do not foresee any undue or adverse impacts on the surrounding properties, rather we consider the proposal a significant improvement to the character of the site & surrounding neighborhood.

The area relationships of all program elements involved take into consideration countless precedent mountain bike trails and bike park projects. Many refinements are anticipated to be made, but this concept serves as the general road map to guide the implementation of next steps. All zones and program elements (Jump Zone, Bike Play, Slope Style+Dual Slalom, Pump Tracks, Skills Trails, Event Lawn/Outdoor Spaces, Buildings (Bike Shop/Brew Pub & Restrooms) and Parking) are appropriately sized and reflective of their specific spatial requirements. All zones and features will be developed with skills progression in mind, offering accessible experiences for those new to riding and beginners to build skills and confidence to progress to the next skill level. A smooth transition to intermediate and advanced features creates a low risk and safe environment for all user groups. Informational, training and directional signage will be strategically placed throughout the facility to offer further educational and wayfinding opportunities.

In addition to the trailhead, there will be an expansive network of low impact hiking, shared-use & bike optimized trails traversing through the private woodland terrain to the south forming a connection with Rib Mountain State Park. Due to this connection, the only fee requirement anticipated will be a state pass for bikers utilizing the trail systems as they will be interconnected with off-site state trails. Otherwise, the facility will be free for public use 7 days a week during regular daylight operating hours.

On any given day, the facility is anticipating 12 employees along with 300-500 users and the brew pub/coffee shop could draw an additional 150 users. Bathrooms will therefore be incorporated to support the needs of all users. Due to the proposed building uses requiring water and sanitary utilities, a private well and septic system is planned to support those services. No public water and/or sanitary is being requested.

Throughout the season, the facility is anticipated to host roughly 15-20 silent sport events. These public events are expected to draw 350 to 500 participants and smaller more specialized riding events will expect about 75 participants. Given the projected attendance involved with certain events, a surface parking lot and overflow parking area has been appropriately sized to accommodate the volume. This parking area is being proposed along the north end of the site while taking access off NN. There will be no on-street parking proposed for the facility as it would create a hazard along the highway.

Due to some areas of adjacent context exhibiting residential land uses, special attention will be directed towards setbacks and landscape buffering. All buildings are positioned a minimum of 300' away from any residential properties to ensure compliance of the minimum requirements involved for those uses. However, due to the low impact and silent nature of the proposed recreational activities, we are requesting setback leniency specific to those program elements/zones. Due to the request of leniency, we are willing to address the landscape buffer areas to align with any requirements/reasonable requests outlined by the Village of Rib Mountain to establish an appropriate buffer within the reduced space.

Written Justification:

The driving force of the Village of Rib Mountain and its vibrant community is its ethos - **“Where Nature, Family, and Sport Come Together”** There is no more appropriate land use that is fully reflective of this value than the one being brought before you today. We firmly believe this specific ‘Outdoor Entertainment’ conditional use fully aligns with the overall goals, vision & values of the village and will further enhance the growth & success of the area's economy and recreational opportunities.

The zoning code defines the intent of the existing zoning district as: **“This district is intended to preserve, protect and enhance open spaces and forested areas of Rib Mountain State Park, Nine Mile Forestry Unit, local parks and environmentally sensitive lands. Principal uses include a variety of recreational opportunities as well as their associated structures and other limited low impact uses.”** It has been our goal that the project encapsulates all characteristics defined above, which is what lead to the strategic planning and positioning of the site. We feel as though the future land use proposed within the comprehensive plan of ‘Suburban Neighborhood’ is out of alignment with the existing goals for this space, which our project would fight to preserve and enhance.

Rib Mountain also adopted an official village map in 2022 that is representative of current and future ‘Trail Connectivity’ goals for the Village. *(Please refer to the official village map attached)* The map indicates that the village has goals of expanding the off-street trail system routes through the subject properties of our project area. Our plan would complete the implementation of these specific routes, fully aligning with the village’s goals.

The 2020 comprehensive plan further outlines a detailed list of goals & objectives under Utility and Community Facilities which is directly referenced below. The highlighted sections indicate 5 core objectives that the project aligns fully with but one could argue that components of the overall project are in alignment with most goals/objectives represented in this section.

“Utility and Community Facilities Goals, Objectives and Actions

The following goals, objectives and actions are intended to provide a policy framework and guide for the future development of the Town.

Goal III: Maintain and improve parks in Rib Mountain to improve the quality of life in the Town through the regular modification and adoption of the Outdoor Recreation Plan as prescribed by the Wisconsin Department of Natural Resources.

Objectives:

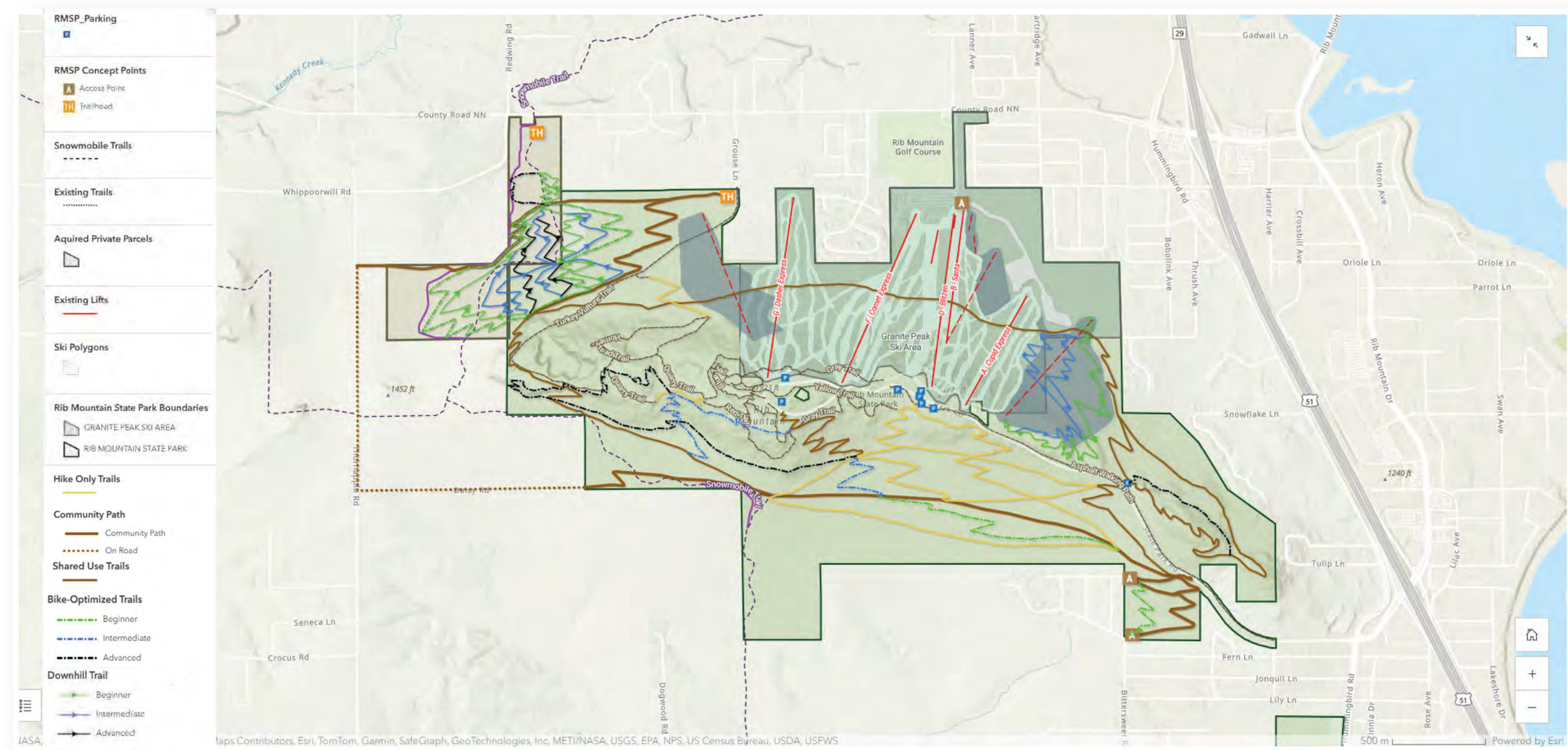
- 1. Strive to provide the metro area’s premier park and recreation facilities while meeting the needs of current and future residents.***
- 2. Supports development of an interconnected system of parks through trails and parkways.***
- 3. Provide timely and sufficient maintenance of park facilities.*
- 4. Establish a Park Facilities Maintenance Plan to proactively upgrade and replace equipment to ensure safety and accommodate residents’ recreational needs. Work with community organizations to develop a community center or similar facility.*
- 5. Routinely review and update the Town’s park dedication and impact fee requirements to ensure they are reasonable and sufficient to address needs, and encourage new residential developments to include parks, green space and trails as appropriate.*
- 6. Identify opportunities to purchase property for future park or trail development. Map these properties as “future park” to encourage preservation for future park development on the Official Map.*
- 7. Support the development of a regional multi-use trail system and work with appropriate agencies, such as***

the WDNR, WDOT, Marathon County, and others, to identify possible trail routes in Rib Mountain to connect to a regional system and to the Mountain-Bay Trail.

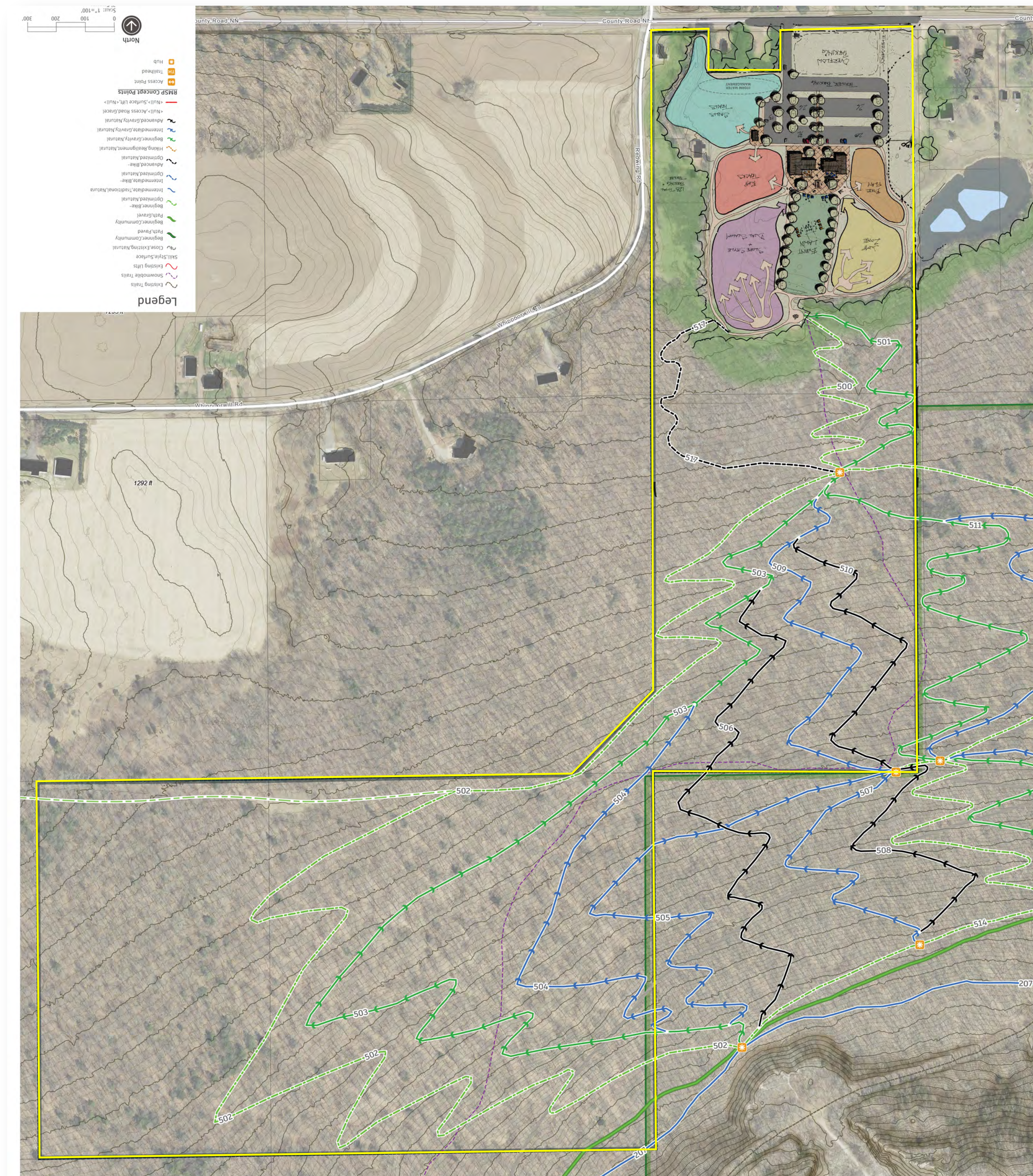
- 8. Work with the Marathon County and surrounding municipalities in efforts to enhance the regional bike and pedestrian route system throughout the Wausau Metro Area.*
- 9. Identify where trails should be installed in conjunction with new development or road construction and map these on the Official Map. Town of Rib Mountain Page 43 2020 Comprehensive Plan*
- 10. Establish requirements for provision of trail easements or the purchasing of right-of-way in conjunction with new development.*
- 11. Continue to work cooperatively with the WDNR on efforts to improve Rib Mountain State Park.*
- 12. Continue to work cooperatively with Granite Peak Ski Resort to ensure that development and expansion is done in an environmentally sensitive manner."*

The overall project is intended to comply by all applicable design standards & requirements possible as set forth by the current Village of Rib Mountain zoning code concerning OP (Outdoor Recreation/Preserve) specific to an 'Outdoor Entertainment' land use. Therefore, we see no potential adverse impacts of this plan within the specific project area, adjacent properties and surrounding community nor any significant conflicts with the current comprehensive plan. We rather determine this land use as the most suitable and appropriate use for this specific location and would be a natural addition to the wealth of Rib Mountain's recreational opportunities, one that will cherish and continue to implement Rib Mountains values for many years to come.

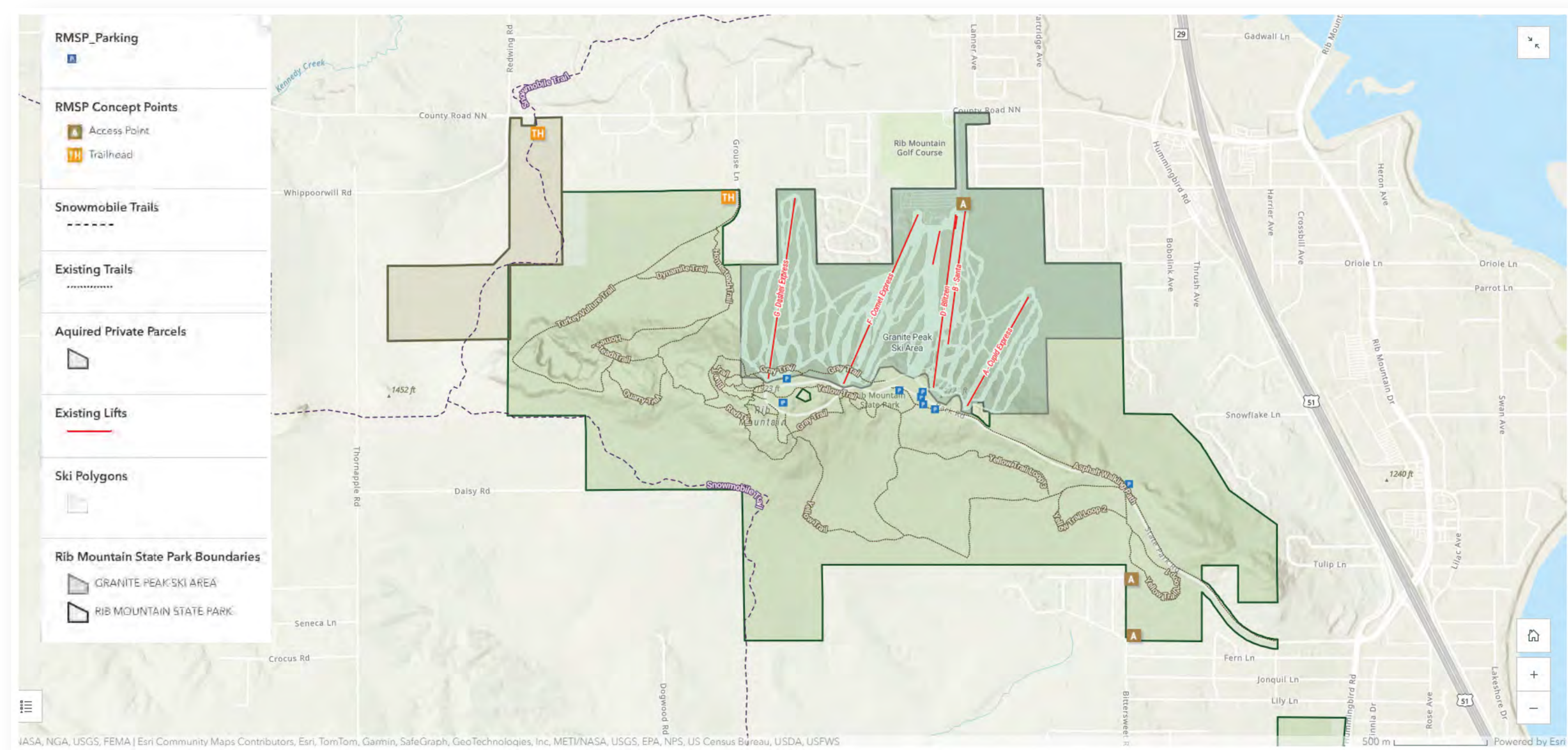
Rib Mountain State Park - Overall Trail Network Concept Plan



Private Land Trailhead Concept Plan



Private Land Trailhead Parcels



Trailhead Concept Plan - Base Detail



CONCEPT NARRATIVE:
THIS PLAN ORGANIZES A PROGRAM OF COMPONENTS THAT WOULD CREATE A REGIONAL TOURISM DRAW INDEPENDENT OF THE POTENTIAL ON STATE LANDS. THE SITE TAKES INTO ACCOUNT COUNTLESS PRECEDENT MOUNTAIN BIKE TRAILS AND BIKE PARK PROJECTS. MANY REFINEMENTS WILL BE MADE, BUT THIS CONCEPT CAN SERVE AS THE KIT OF PARTS REFERENCE AND THE ROAD MAP FOR NEXT STEPS. (ALL ZONES ARE "RIGHT-SIZED" AND FOOTPRINTS SHOWN ARE ROUGHLY 3,300 SF AND 4,800 SF.)

Trail and Facility Experience Examples

Pump Tracks



Progressive Ability Jump Zone



Pre-Ride. Re-Ride. Free-Ride.

All zones and features will be developed with skills progression in mind.

Offering accessible experiences for those new to riding and beginners to build skills and confidence to progress to the next skill level.

Slope Style & Dual Slalom



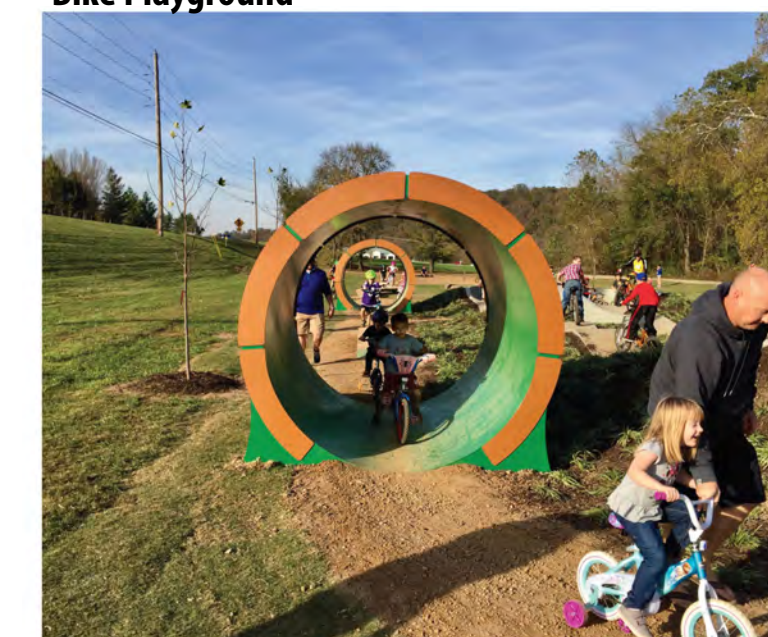
A smooth transition to Intermediate and Advanced features creates a low risk environment.

Informational and training signage will be placed throughout the facility.

Skills Trails



Bike Playground



Event Lawn





April 21, 2025

Village of Rib Mountain
Attn: Jared Grande
Economic Development Director
227800 Snowbird Avenue
Wausau, WI 54401



Subject: Legal Descriptions
Project Name: Rib Mountain Private Lands Trailhead

Pin Number: 168-2807-053-0975

That part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Beginning at the Southeast corner of that parcel of land conveyed to Arllein A. James and Sandra J. James, his wife, joint tenants, by Warranty Deed dated October 29, 1973 and recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on October 30, 1973 in Micro-Record 177 on page 627, as Document No. 660807; running thence South, 220 feet; running thence West, to the East line of a town road on the West line of the SW $\frac{1}{4}$ of SW $\frac{1}{4}$; running thence North, along the Easterly line of said Town Road, to a point directly West of the point of beginning; and running thence East, to the point of beginning.

AND

Outlot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the (now Village) of Rib Mountain, Marathon County, Wisconsin.

Tax Key: 34. 52807. 11. 15.

PIN: 168-2807-053-0975

Pin Number: 168-2807-053-0992

That part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Commencing 220 feet South of the Southwest corner of the premises conveyed to School District 5 of the Town of Weston, which Deed was recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on May 22, 1890 in Deed Book 50 on page 544; thence South, parallel with the West line of said forty, 660 feet; thence West, to the West Section line of Section 5; thence North, along said Section line, where it intersects the highway running North and South; thence along the East boundary line of said highway, to a point directly West from the point of beginning; thence East, to the point of beginning; excepting the following parcels: Warranty Deed to Merlin Heuhnerfuss and Nancy Huehnerfuss, joint tenants, dated May 10, 1960 and recorded in said Register's office in Deed Book 460 on page 39; and Warranty Deed to Merlin Huehnerfuss and Nancy Huehnerfuss, joint tenants, dated November 25, 1960 and recorded in said Register's office in .

Deed Book 460 on page 384.

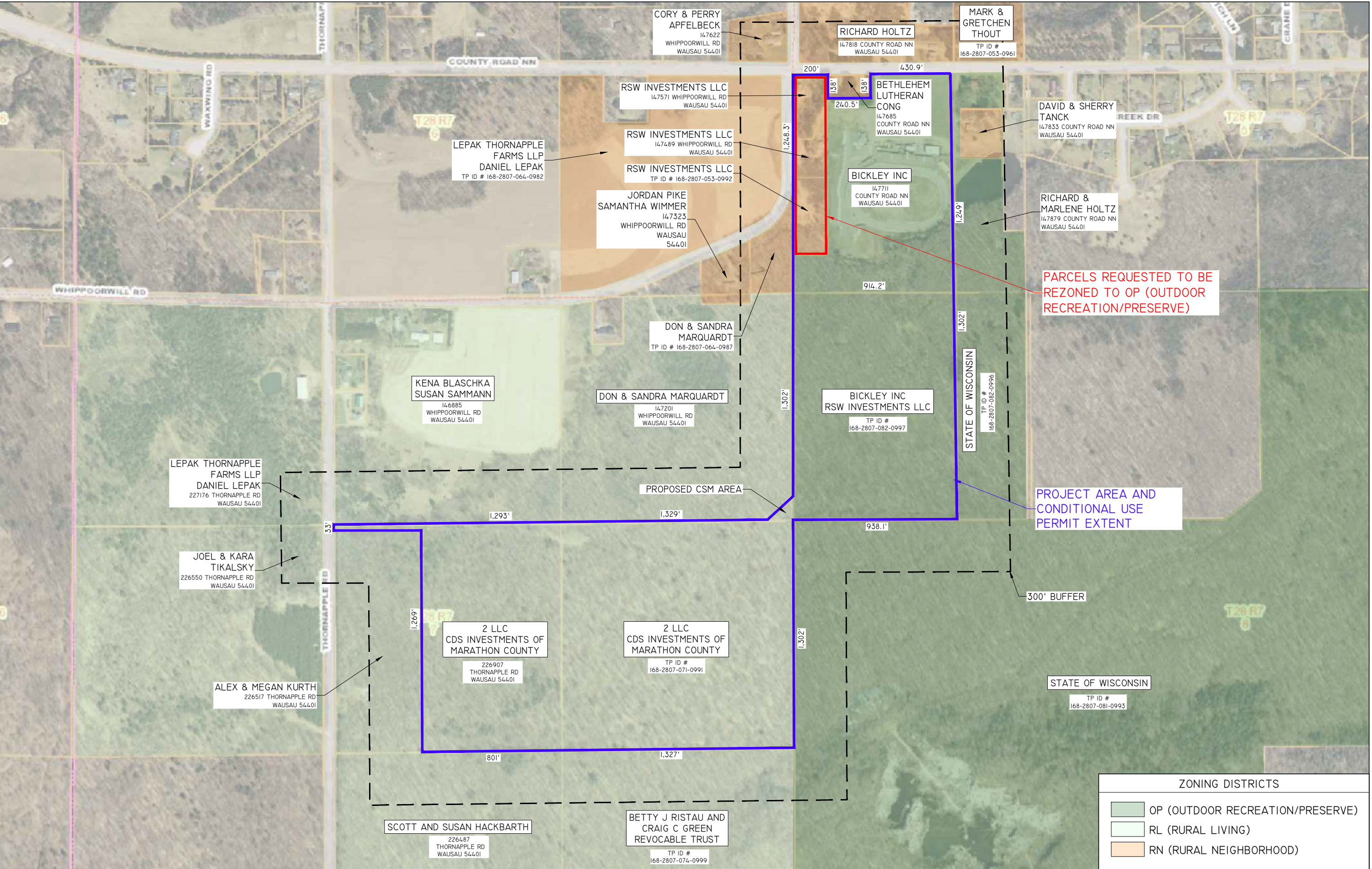
Tax Key: 34. 52807. 11. 4.

Pin Number: 168-2807-053-0976

Lot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty- eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin.

Tax Key: 34. 52807. 11. 14.

DRAWING FILE: Q:\11400-11499\11448A - PROJECT MOUNTAIN BIKE - COUNTY ROAD NN - VILLAGE OF RIB MOUNTAIN\DRAWING\FIGURES & EXHIBITS\11448A-PROPERTY MAP.DWG LAYOUT: SP-MAP
PLOTTED: APR 14, 2025 - 2:04PM PLOTTED BY: KURT

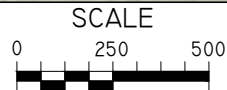


REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784 FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**

**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**

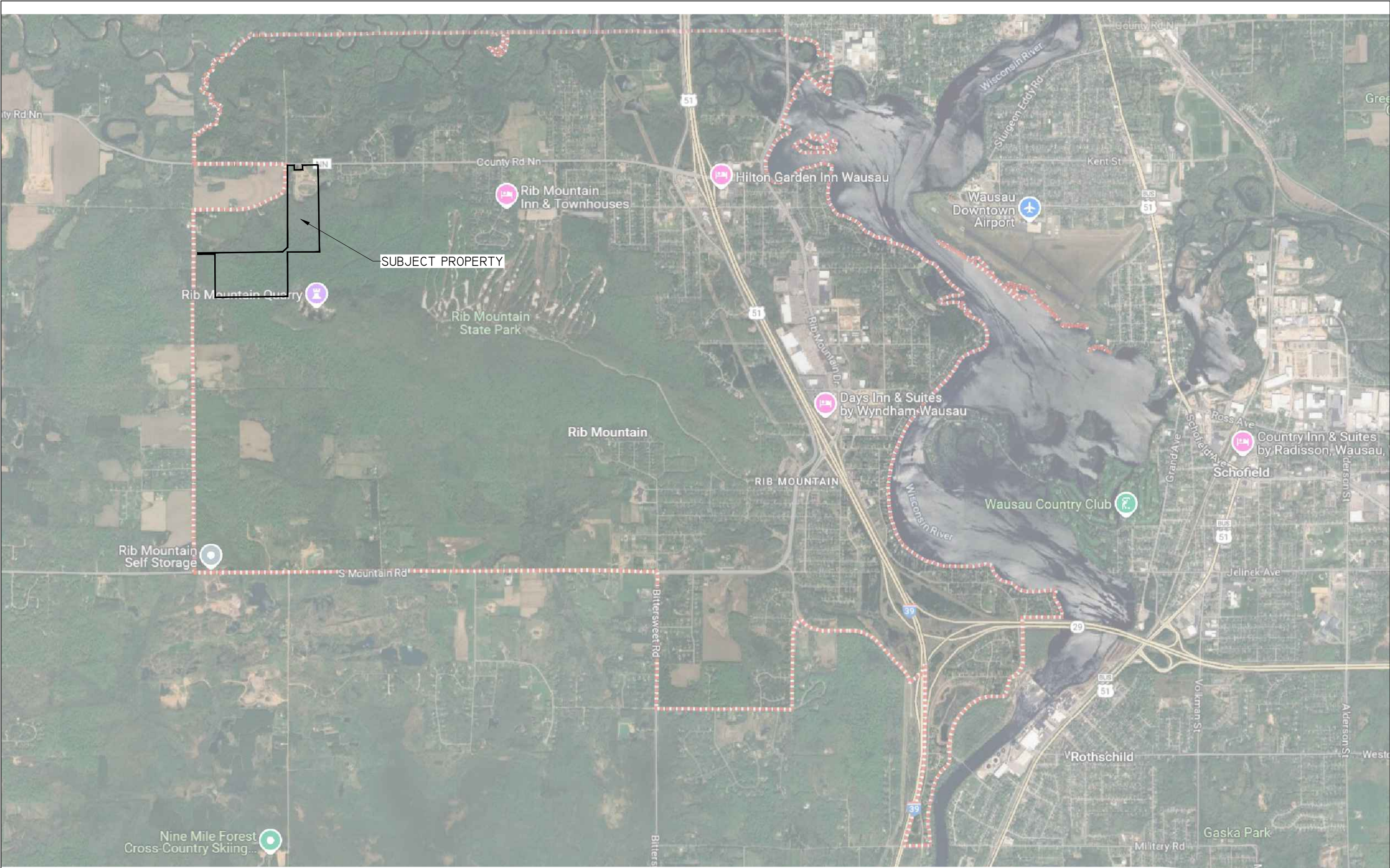


DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				SURVEY CHKD BY:	CIVIL CHKD BY:	CIVIL DATE: 03/20/25
				SURVEY APVD BY:	CIVIL APVD BY:	DRAWN BY: NAP

SUBJECT PROPERTY MAP
RIB MOUNTAIN PRIVATE LANDS TRAILHEAD
147711 COUNTY ROAD NN
RIB MOUNTAIN, WISCONSIN

REI
REI No. 11448A
SHEET SP-MAP

DRAWING FILE: Q:\11400-11499\11448A - PROJECT MOUNTAIN BIKE - COUNTY ROAD NN - VILLAGE OF RIB MOUNTAIN\DRAWING\FIGURES & EXHIBITS\11448A-LAND USE MAP.DWG LAYOUT: LU-MAP
PLOTTED: MAR 20, 2025 - 2:56PM PLOTTED BY: NATHANP

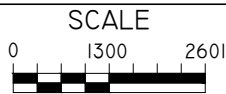


REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784 FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



REI

**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**



DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				SURVEY CHKD BY:	CIVIL CHKD BY:	CIVIL DATE: 03/20/25
				SURVEY APVD BY:	CIVIL APVD BY:	DRAWN BY: NAP

OVERALL MAP
RIB MOUNTAIN PRIVATE LANDS TRAILHEAD
147711 COUNTY ROAD NN
RIB MOUNTAIN, WISCONSIN

REI
REI No. 11448A
SHEET LU-MAP

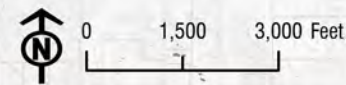


PROJECT
LOCATION

ZONING DISTRICTS

- | | | |
|----------------------------------|------------------------------|--------------------------|
| OP - Outdoor Recreation/Preserve | UN - Urban Neighborhood | PD - Planned Development |
| RL - Rural Living | NC - Neighborhood Commercial | GI - General Industrial |
| RM - Rural Mix | GC - General Commercial | |
| RE - Rural Estate | CC - Corridor Commercial | Building Footprints |
| RN - Rural Neighborhood | RC - Rib Mountain Center | Water Bodies |
| SN - Suburban Neighborhood | | |

ADOPTION DATE: February 4, 2025



Report Criteria:
Permit.Permit number = "DKT - 2025 - 013"

Permit Number	Application Date	Permit Type	Property Address	Applicant	Status
DKT - 2025 - 01	04/22/2025	CD - Zoning Text Amendment	147711 COUNTY ROAD NN	Kurt Schmidt	Approved

Description of Work
Zoning Code Section 17.3.03.3 Commercial (15)

Contractors

Name	Contractor Type	Primary Contractor
------	-----------------	--------------------

Transactions

Date	Description	Source ID	Fee Number	Quantity	Unit of Measurement	Amount	Due at
Grand Totals:							

Approvals

Approval Type	Days to Approve	Due Date	Status	Approved Date	Assigned To
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Inspection Activity

Inspection Number	Inspection Type	Status	Appointment Date	Appointment Time
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Conditions

Condition	Comment
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MAIL_NAME1	MAIL_ADDR1	CITY	STATE	ZIP5
DON & SANDRA MARQUARDT	147201 WHIPPOORWILL RD	WAUSAU	WI	54401
DEPT OF NATURAL RESOURCE STATE OF WISCONSIN	101 S WEBSTER ST	MADISON	WI	53703
MARK & GRETCHEN THOUT	148106 COUNTY ROAD NN	WAUSAU	WI	54401
JORDAN J PIKE	147323 WHIPPOORWILL RD	WAUSAU	WI	54401
DAVID & SHERRY TANCK	147833 COUNTY ROAD NN	WAUSAU	WI	54401
BETHLEHEM LUTHERAN CONGREGATION	147685 COUNTY ROAD NN	WAUSAU	WI	54401
STATE OF WISCONSIN DNR; C/O KARL E HANSEN	PO BOX 7921	MADISON	WI	53707
ALEX & MEGANKURTH	2094 PASQUE FLOWER PL	KRONENWETTER	WI	54455
LEPAK THORNAPPLE FARMS LLP; SHERI LEPAK	227141 THORNAPPLE ROAD	WAUSAU	WI	54401
JOEL & KARA TIKALSKY	101 N EMERALD DR	WAUSAU	WI	54401
RSW INVESTMENTS LLC	225900 HUMMINGBIRD RD	WAUSAU	WI	54401
RAYMOND & MARLENE APFELBECK	147622 WHIPPOORWILL RD	WAUSAU	WI	54401
LEPAK THORNAPPLE FARMS LLP; DANIEL J LEPAK	227141 THORNAPPLE ROAD	WAUSAU	WI	54401
MARLENE M HOLTZ	147905 COUNTY ROAD NN	WAUSAU	WI	54401
SUSAN HACKBARTH	127 PARK BLVD	WAUSAU	WI	54401
JORDAN J PIKE	147323 WHIPPOORWILL RD	WAUSAU	WI	54401
RICHARD O HOLTZ	147818 COUNTY ROAD NN	WAUSAU	WI	54401
CHARLES D STINE	215701 SCOUT RD	MOSINEE	WI	54455
BETTY J RISTAU, TRUSTEE CRAIG C GREEN, TRUSTEE	2709 JOPPA AVE S	ST LOUIS PARK	MN	55416
CHARLES D STINE	215701 SCOUT RD	MOSINEE	WI	54455
HARRY & SUSAN SAMMANN	146885 WHIPPOORWILL RD	WAUSAU	WI	54401
RICHARD HOLTZ, et al.; SHERRY TANCK	147833 COUNTY ROAD NN	WAUSAU	WI	54401

VILLAGE OF RIB MOUNTAIN
NOTICE OF PUBLIC HEARINGS

[See back for page 2](#)

NOTICE IS HEREBY GIVEN that public hearing(s) will be held before the Plan Commission of the Village of Rib Mountain, Marathon County, Wisconsin, at the **Rib Mountain Municipal Center, 227800 Snowbird Ave, on Wednesday, May 14, 2025**, at 5:00 P.M. to hear and consider the request of:

Conditional Use for a detached accessory structure exceeding 1,000 square feet per Rib Mountain Municipal Code Section 17.2.03 Table 2.4 – Maximum area square feet. Owner: Jeremiah Karpinski. Location: 152850 Cloverland Ln. DKT-2025-009.

Zoning Text Amendment to Rib Mountain Municipal Code, Chapter 17 Zoning Ordinance, modifying and adding to the Conditional Use Regulations per Section 17.3.03.3(15) Outdoor Entertainment and Recreation. Applicant: Kurt Schmidt, REI Engineering. Location. N/A. DKT-2025-008.

Conditional Use for a Private Land Trailhead & Trail Network per Rib Mountain Municipal Code Section 17.3.03.3(15) Outdoor Entertainment and Recreation. Owner: RSW Investments, LLC per Land Contract. Location 147711 County Road NN and associated properties. DKT-2025-010.

Zoning Map Amendment of 4.899 acres from Rural Neighborhood (RN) to Outdoor Recreation/Preserve (OP) per Rib Mountain Municipal Code Section 17.8.07 Zoning Map Amendment. Owner: RSW Investments, LLC. Location (three parcels): **1.** That part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Beginning at the Southeast corner of that parcel of land conveyed to Arlein A. James and Sandra J. James, his wife, joint tenants, by Warranty Deed dated October 29, 1973 and recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on October 30, 1973 in Micro-Record 177 on page 627, as Document No. 660807; running thence South, 220 feet; running thence West, to the East line of a town road on the West line of the SW¼ of SW¼; running thence North, along the Easterly line of said Town Road, to a point directly West of the point of beginning; and running thence East, to the point of beginning. AND Outlot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the (now Village) of Rib Mountain, Marathon County, Wisconsin; **2.** That part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows: Commencing 220 feet South of the Southwest corner of the premises conveyed to School District 5 of the Town of Weston, which Deed was recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on May 22, 1890 in Deed Book 50 on page 544; thence South, parallel with the West line of said forty, 660 feet; thence West, to the West Section line of Section 5; thence North, along said Section line, where it intersects the highway running North and South; thence along the East boundary line of said highway, to a point directly West from the point of beginning; thence East, to the point of beginning; excepting the following parcels: Warranty Deed to Merlin Heuhnerfuss and Nancy Huehnerfuss, joint tenants, dated May 10, 1960 and recorded in said Register's office in Deed Book 460 on page 39; and Warranty Deed to Merlin Huehnerfuss and Nancy Huehnerfuss, joint tenants, dated November 25, 1960 and recorded in said Register's office in . Deed Book 460 on page 384; **3.** Lot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty- eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin. DKT-2025-011.

Conditional Use for unique sign per Rib Mountain Municipal Code Section 17.6.04(10) Unique Signs. Owner: HSH Mountain Properties LLC. Location: Village right-of-way near 152630 Menton Ln. DKT-2025-012.

Written testimony may be forwarded to the Village of Rib Mountain Plan Commission, Jared Grande, 227800 Snowbird Ave, Wausau, WI 54401 or emailed to jgrande@ribmountainwi.gov by noon on the date of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.

DATED this 25th day of April 2025.

Jared Grande, Community Development Director



AGENDA ITEM COVER SHEET

MEETING/DATE: Village Board, May 20, 2025

ITEM: Docket #2025-010: Discussion and recommendation on a conditional use permit for Outdoor Entertainment and Recreation (RMMC section 17.6.04(10)) at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992, PIN # 168-2807-082-0997, PIN # 168-2807-071-0989, PIN # 168-2807-071-0991, and PIN # 168-2807-071-0993.

FROM: Jared Grande, Community Development Director

APPLICANT & PROPERTY INFORMATION

APPLICANT: Kurt Schmidt, REI Engineering, 4080 N. 20th Ave, Wausau, WI 54401

OWNER: RSW Investments, 225900 Hummingbird Rd, Wausau, WI 54401

PROPERTY ADDRESS: 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992

PIN: 168-2807-053-0975, and 168-2807-053-0992, and 168-2807-053-0976

CURRENT ZONING: Rural Neighborhood

ADJACENT ZONING: **NORTH:** Road **SOUTH:** OP **EAST:** RN/OP **WEST:** Road

PROPOSED ZONING: OP – Outdoor Recreation/Preservation

FUTURE LAND USE: Suburban Neighborhood (proposing Outdoor Commercial Recreation)

BACKGROUND

There are multiple applications (zoning code amendment, comprehensive plan amendment, zoning map amendment, and conditional use permit) being presented to the Village for the redevelopment of the State Park Speedway which was first constructed in 1951 according to the Rib Mountaineer [here](#). The redevelopment is being proposed on the heels of Wisconsin Department of Natural Resources approving the Rib Mountain State Park Master Plan [here](#) on December 14, 2022 and most recently the WDNR releasing a Trail Network Concept Plan [here](#) beginning on January 30, 2025. The Trail Network Concept Plan and application materials show interconnections between the public and private land, most notably for the trail network.

PREVIOUS ACTIONS: *Motion by Scott Pagenkopf seconded by Tyler Tate to approve as presented with the presented modified conditions. Motion carried 5/0*

STAFF COMMENTS: See Determination Report (attached) and previous actions. Staff presented modified conditions during the meeting which is what's identified in the motion. See Exhibit A.

ATTACHMENTS: Conditional Use Determination Report, Park Property, Trailhead Concept, Property Map, Overall Map, Map from Outdoor Rec Plan, Zoning Map, Application, and Cover Sheet.

POSSIBLE ACTIONS TO BE TAKEN

SEE DETERMINATION REPORT (ATTACHED)

REQUESTED ACTION: Recommend approval with staff recommended conditions outlined in Exhibit A

FURTHER ACTION(S): Notify applicant of the Board's decision (Staff).



EXHIBIT A

1. Any conditions required for specific uses listed under Subchapter 17-III Land Use Regulations.
2. The physical development and operation of the conditional use must conform, in all respects, to the approved site plan, operational plan and phasing plan.
3. All vehicles and equipment must access the site only at approved locations identified in the site plan and operations plan.
4. If the Public Works Director determines that road intersection improvements are necessary to safely accommodate the conditional use, the cost of such improvements shall be borne by the landowner. Costs borne by the landowner shall be proportional to the incremental increase in traffic associated with the proposed conditional use.
5. A parking study shall contain information on the anticipated number of employees, customers, visitors, clients, shifts, events, or deliveries to the use, and may refer to other studies or similar situations elsewhere. The parking study shall be submitted with the Site Plan for review.
6. Hours of operation shall adhere to the operational plan under the Site Plan Procedures.
7. An Emergency Action Plan shall be reviewed and approved by Village of Rib Mountain Fire and Emergency Services. Owner shall provide EMS State of Wisconsin licensed staff on site for any coordinated events.
8. Time limits on the development of conditional use.
 1. Unless extended as a condition of approval, the start of construction of any and all conditional uses shall be initiated within 365 days of their approval by the Village Board and shall be operational within 730 days of said approval. For the purposes of this section, "operational" shall be defined as the granting of a certificate of occupancy for the conditional use for Phase 1 of the site; Phase 1 to be defined by the Site Plan and procedure.
 2. Failure to initiate development within this period shall automatically constitute a revocation of the conditional use.
 3. Prior to such a revocation, the applicant may request an extension of this period. Said request shall require formal approval by the Zoning Administrator and shall be based upon a showing of acceptable justification, as determined by the Village Board. However, as a condition of approval, the 365-day and/or 730-day time limits may be extended for any specific period to accommodate phased or multi-stage development
9. The Zoning Administrator or designee may enter the premises of the operation in order to inspect those premises and to ascertain compliance with these conditions or to investigate an alleged violation. Zoning staff conducting inspections or investigations will comply with any applicable workplace safety rules or standards for the site. The Community Development Director can approve minor alterations from the terms of the permit and have it documented in the property file. Any substantial change determined by the Community Development Director requires following the same procedures for a new conditional use permit application.
10. Any future additions, modifications or changes in said site plan and/or building plan, beyond those described in, on and within the boundary depicted on the Site Plan, or those depicted on the Building Specifications shall be approved by the Plan Commission and Village Board of Supervisors through the modification process of the conditional use, as described in Section 17.8.08, in advance of any construction or modification.
11. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing herein shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption, or exception to any law, ordinance, order or rule by the Village, Marathon County, State of Wisconsin, United States or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property in any specific respects described herein; and
12. Should any paragraphs or phase of herein be determined by a court of competent jurisdiction to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the remainder of this conditional use and the remainder shall continue in full force and effect.



CONDITIONAL USE PERMIT REPORT

FROM:	Jared Grande, Community Development Director		
DOCKET NO.	2024-001	HEARING DATE:	January 24, 2024
APPLICANT:	Kurt Schmidt, REI Engineering, 4080 N. 20 th Ave, Wausau, WI 54401		
OWNER:	RSW Investments, LLC per Land Contract, 225900 Hummingbird Rd, Wausau, WI 54401		
LOCATION:	147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992, PIN # 168-2807-082-0997, PIN # 168-2807-071-0989, PIN # 168-2807-071-0991, and PIN # 168-2807-071-0993.		
DESCRIPTION:	Docket #2025-010: Discussion and recommendation on a conditional use permit for Outdoor Entertainment and Recreation (RMMC section 17.6.04(10)) at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992, PIN # 168-2807-082-0997, PIN # 168-2807-071-0989, PIN # 168-2807-071-0991, and PIN # 168-2807-071-0993.		

The Department of Community Development of the Village of Rib Mountain, pursuant to the Village of Rib Mountain Zoning Code, Subchapter 11 Procedures, Section 17.8.08 Conditional Use Procedures, hereby makes the following findings and evaluation to the Village of Rib Mountain Plan Commission:

GENERAL INFORMATION

(THE STAFF REPORT IS REVIEWED USING THE PROPOSED ORDINANCE CHANGE, COMPREHENSIVE PLAN AMENDMENT, AND REZONE ASSOCIATED WITH THIS APPLICATION)

ZONING:	Outdoor Recreation-Preservation (OP)
DEFINITION: 17.2.03(1)	This district is intended to preserve, protect and enhance open spaces and forested areas of Rib Mountain State Park, Nine Mile Forestry Unit, local parks and environmentally sensitive lands. Principal uses include a variety of recreational opportunities as well as their associated structures and other limited low impact uses.
ZONING:	Rural Living (RL)
DEFINITION: 17.2.03(2)	This district is reserved for large lot rural character areas located outside of the 2040 sewer service boundary. Principal uses include low density residential development, limited agricultural, managed forest practices and private outdoor recreational uses.

BACKGROUND INFORMATION

There are multiple applications (zoning code amendment, comprehensive plan amendment, zoning map amendment, and conditional use permit) being presented to the Village for the redevelopment of the State Park Speedway which was first constructed in 1951 according to the Rib Mountaineer [here](#). The redevelopment is being proposed on the heels of Wisconsin Department of Natural Resources approving the Rib Mountain State Park Master Plan [here](#) on December 14, 2022 and most recently the WDNR releasing a Trail Network Concept Plan [here](#) beginning on January 30, 2025. The Trail Network Concept Plan and application materials show interconnections between the public and private land, most notably for the trail network.

CURRENT PROPERTY CONDITIONS



There currently is State Park Speedway, two single family detached houses, an unnamed waterway, woodland areas, WDNR mapped wetlands, and steep slopes adjacent to Rib Mountain State Park. All parcels included in the proposed project total 118.52 acres according to Marathon County Land Records.

REVIEW OF PERFORMANCE STANDARDS

(PROPOSED CHANGES TO THE STANDARDS ARE IN CONJUNCTION WITH THIS REQUEST)

LAND USE: Outdoor Entertainment and Recreation

DEFINITION:
17.10.04(254) All land uses which provide entertainment services partially or wholly outside of an enclosed building. Examples of such land uses include outdoor commercial swimming pools, driving ranges, miniature golf facilities, amusement parks, drive-in theaters, go-cart tracks, and racetracks.

STANDARDS	PROPOSED
a) Activity areas shall not be located closer than 300 feet to a residentially zoned property.	<i>Does not meet requirements. If proposed changes are approved, this may change.</i>
b) The facility shall provide a bufferyard with a minimum opacity of .80 along all borders of the property abutting residentially zoned property (see Subchapter 17- V Landscape and Bufferyards)	<i>TBD. There is no specific information addressing this requirement.</i>
c) Traffic plan shall be reviewed and approved by Marathon County Sheriff's Department.	<i>The Marathon County Highway Department was contacted and did not require any changes, modifications, nor a TIA to be done for the proposed project.</i>
d) An Emergency Action Plan shall be reviewed and approved by Emergency Management Services.	<i>Does not meet requirements. If proposed changes are approved, this may change.</i>
e) Hours of operation to be reviewed on a case by case application to minimize negative impacts.	<i>The facility will be free for public use 7 days a week during regular daylight operating hours.</i>
a) See Table 4.3: Parking Regulations for required parking. The Zoning Administrator may require a parking study to verify the parking calculations.	<i>Site plan shows 125 total parking & trailer with and overflow parking area (no number provided).</i>
b) New customer entrances shall be located as far as possible from residentially zoned property.	<i>While this requirement may be subjective to a certain level, the entrance is being proposed approx. 420' from the closest residence. Any other location would require a potential stream crossing.</i>

DETERMINATION / FINDING OF FACT

IN REVIEWING AND TAKING FINAL ACTION ON A PROPOSED CONDITIONAL USE
PERMIT, THE VILLAGE BOARD SHALL CONSIDER WHETHER THE PROPOSED CONDITIONAL USE:

1. Is in harmony with the Comprehensive Plan.



Chapter 17 is written to implement the Comprehensive Plan to the extent possible under zoning and this proposed map amendment is within the scope of that intent.

2. Would result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare.

Evaluating the Purpose of Chapter 17 and the Village's Comprehensive Plan, the project adheres to many of the purposes, objectives, and goals of these documents. Rib Mountain State Park is the heart of the community and this property appears to be an extension of the park (to some degree). There are certain details of the events and operations that need to be clarified to understand the impacts yet.

3. Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Yes, this would be a good transition from the property operating as a speedway to a Private trial head and mountain bike hub.

4. The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public or private agencies serving the subject property.

This area of the Village is served by private well and septic and the applicant has indicated this. Stormwater facilities will be required to adhere to local and state regulations.

5. The potential public benefits outweigh any potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

Yes, in general this redevelopment appears to be a benefit to the site and area.

STAFF COMMENTS

It's recognized the four applications submitted by the applicant are associated with one another for the purpose of the project occurring. The review of this conditional use request is assuming the comprehensive plan amendment, code language, and rezone are approved. State Park Speedway has been a staple of the community for multiple decades and has made lasting impacts to countless people. Assuming the track is no longer feasible to operate or the willingness to sell is there, redevelopment into an outdoor recreation use would appear to be the highest and best use with the understanding of the Village's Comprehensive Plan, Vision statement, and tag line. Details of the redevelopment of the site and additional acres need to be further vetted and understood, but from a high level, this project could be a landmark for the community and metro area further establishing the Village of Rib Mountain as Wisconsin's outdoor recreation basecamp and community of choice.

POSSIBLE ACTIONS TO BE TAKEN

RECOMMEND APPROVAL: Plan Commission recommends the Village Board approve the conditional use allowing for Outdoor Entertainment and Recreation uses at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992, PIN # 168-2807-082-0997, PIN # 168-2807-071-0989, PIN # 168-2807-071-0991, and PIN # 168-2807-071-0993, with the following conditions:

- 1) Construction of the site shall be in accordance with the approved site plan, attached to this permit as "Exhibit A" and per the applicable zoning code sections of the Rib Mountain Municipal Code.



- 2) The start of construction and operation of the business shall follow 17.225(9). Failure to initiate development within this period shall automatically constitute a revocation of the conditional use. For the purposes of this Section, "operational" shall be defined as the granting of a Certificate of Occupancy for the conditional use. Prior to such a revocation, the Applicant may request an extension of this period. Said request shall require formal approval by the Village Board and shall be based upon a showing of acceptable justification (as determined by the Village Board).
- 3) Unless extended as a condition of approval, the start of construction of any and all conditional uses shall be initiated within 365 days of their approval by the Village Board and shall be operational within 730 days of said approval. For the purposes of this section, "operational" shall be defined as the granting of a certificate of occupancy for the conditional use. Other sections of 17.8.08(14) shall also be followed.
- 4) Section 17.228 – Site Plan Procedures shall be followed and required prior to any permit(s) issued.
- 5) Hours of operation shall adhere to what the applicant called out including for events.
- 6) All signage shall follow the Rib Mountain Municipal Code.
- 7) Any conditions required for specific uses listed under Subchapter 17-III Land Use Regulations.
- 8) The physical development and operation of the conditional use must conform, in all respects, to the approved site plan, operational plan and phasing plan.
- 9) All vehicles and equipment must access the site only at approved locations identified in the site plan and operations plan.
- 10) If the Public Works Director determines that road intersection improvements are necessary to safely accommodate the conditional use, the cost of such improvements shall be borne by the landowner. Costs borne by the landowner shall be proportional to the incremental increase in traffic associated with the proposed conditional use.
- 11) The Zoning Administrator or designee may enter the premises of the operation in order to inspect those premises and to ascertain compliance with these conditions or to investigate an alleged violation. Zoning staff conducting inspections or investigations will comply with any applicable workplace safety rules or standards for the site. The Community Development Director can approve minor alterations from the terms of the permit and have it documented in the property file. Any substantial change determined by the Community Development Director requires following the same procedures for a new conditional use permit application.
- 12) Any future additions, modifications or changes in said site plan and/or building plan, beyond those described in, on and within the boundary depicted on the Site Plan, or those depicted on the Building Specifications shall be approved by the Plan Commission and Village Board of Supervisors through the modification process of the conditional use, as described in Section 17.225(11), in advance of any construction or modification.
- 13) No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing herein shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption, or exception to any law, ordinance, order or rule by the Village, Marathon County, State of Wisconsin, United States or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property in any specific respects described herein; and
- 14) Should any paragraphs or phase of herein be determined by a court of competent jurisdiction to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the remainder of this conditional use and the remainder shall continue in full force and effect.

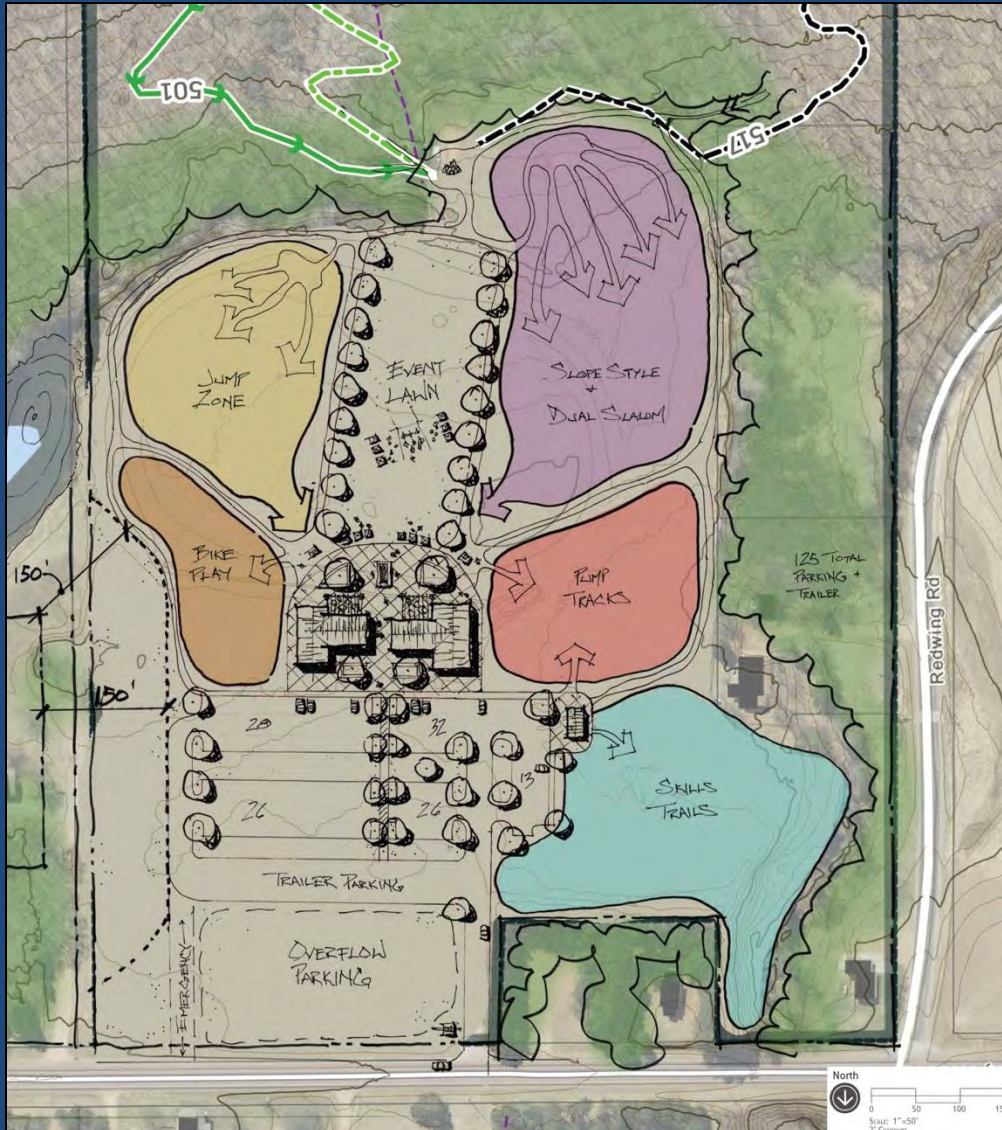
RECOMMEND APPROVAL WITH MODIFICATIONS: Plan Commission recommends the Village Board approve the conditional use allowing for Outdoor Entertainment and Recreation uses at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992, PIN # 168-2807-082-0997, PIN # 168-2807-071-0989, PIN # 168-2807-071-0991, and PIN # 168-2807-071-0993, with additional or modified conditions as discussed.



DEFER ACTION: Defer action on the conditional use based on insufficient material/evidence provided by the applicant or uncertainty among the commissioners based on evidence presented at the public hearing. A decision shall be made within 60 days of opening the public hearing. If the Plan Commission chooses not to make a recommendation or fails to make a recommendation to the Village Board within 45 days of the public hearing, the request for a conditional use shall be forwarded to the Village Board without a Plan Commission recommendation.

RECOMMEND DENIAL: Plan Commission recommends denial of the conditional use allowing for the use of the conditional use allowing for Outdoor Entertainment and Recreation uses at 147711 County Rd NN, 147571 Whippoorwill Rd, 147489 Whippoorwill Rd, PIN # 168-2807-053-0992, PIN # 168-2807-082-0997, PIN # 168-2807-071-0989, PIN # 168-2807-071-0991, and PIN # 168-2807-071-0993, based on substantial evidence (or lack thereof) per 2017 Wisconsin Act 67 and forwards the recommendation on to the Village Board for the May 20, 2025, meeting.

Rib Mountain Trailhead Facility Concept Plan



Facility Capacity Limited to Parking Capacity (at one time capacity)

125 vehicles x 2.25 average vehicle occupancy (AVO) = 280 visitors

10 vehicles with trailers x 4 AVO = 40 visitors

Locals riding to the facility from home/offsite = 100

Potential for 420 Visitors at one time

Monday – Thursday likely see a range of 25-75% utilization

105-315 Visitors at one time

Friday – Sunday likely to see 75-100% utilization

315-420 Visitors at one time

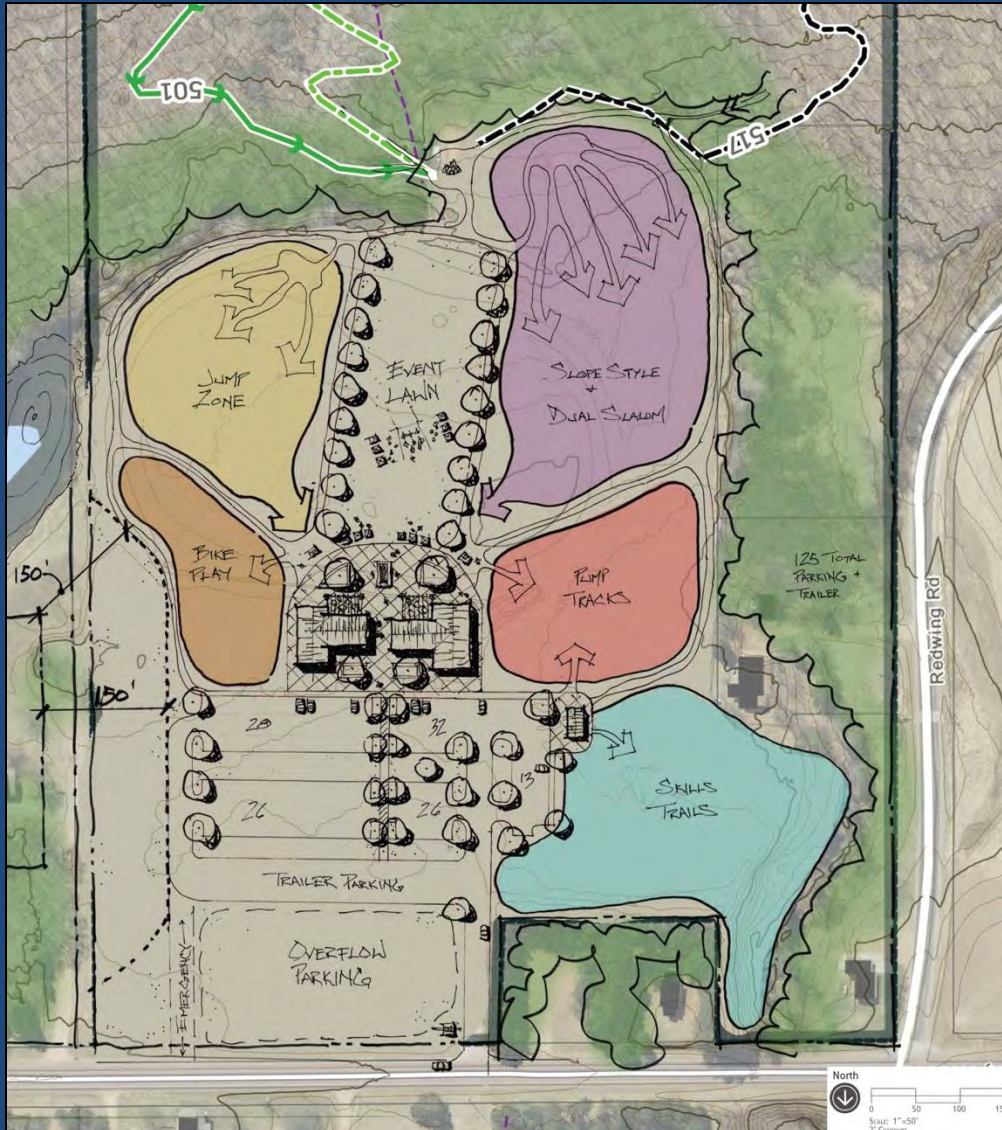
Event Potential will utilize overflow parking

Approx. 60 additional parking spaces.

60 vehicles x 2.25 AVO = **additional 135 Visitors**

Potential Event Attendance approx. **555 Visitors**

Rib Mountain Trailhead Facility Concept Plan



Event Planning

- Focus will be on trail-based, bike-based, and outdoor recreation activities.
- These are “silent sport” activities.
- Events occur during daylight hours with a few potentially extending into the twilight hours.
- No need for substantial event lighting.
- Event announcers and music will be scaled appropriately to inform and entertain those near the buildings, plaza area, and event lawn.

Speedway to Trailhead - Event Comparison



- **13 Races** in 2023 and 2024
- *13 Practice Sessions or more each season*
- **50-90 Race Cars** per event
- **200-360 Racers and Crew** per event
- **1,000-1500 Spectators** during weekday races
- **Up to 2,000 spectators** for big weekend events
- **675-790 Parked Cars**
- *4.5 acres of non-organized parking area x 150-175 cars/acre*
- **Overflow parking on Highway NN**



- Potential **15-20 Silent Sport Events** per season
- Expecting typical events to have **250-350 participants**
- Large event could be **350-450 participants**
- Not known as a large spectator sport
- “Pro Rider” events (jump and pump track) **50-75 participants**
- Advanced riding events have the potential to be more of a spectator event, but will be limited to Parking Capacity
- **No parking on Highway NN**



April 21, 2025

Village of Rib Mountain
Attn: Jared Grande
Economic Development Director
227800 Snowbird Avenue
Wausau, WI 54401

Subject: Conditional Use Permit & Zoning Map Amendment

Subject Property: **Refer to attached legal descriptions and parcel info referenced below.*

Project Name: Rib Mountain Private Lands Trailhead

Dear Jared,

The REI team is representing our client concerning the redevelopment of an area within the Village of Rib Mountain into a Private Trailhead/Mountain Bike Park Facility. The main property involved is located at 147711 County Rd NN under OP (Outdoor Recreation/Preserve) zoning which is the former location of the State Park Speedway. The parcel numbers of all properties involved are indicated below along with their associated zoning and the proposed zoning amendment requests:

Parcel PIN: 16828070530978 – Former State Park Speedway
Zoning: OP (Outdoor Recreation/Preserve)
Request: [Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070820997 – Former State Park Speedway
Zoning: OP (Outdoor Recreation/Preserve)
Request: [Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070710991 – Undeveloped Land accessed from Thornapple Rd.
Zoning: RL (Rural Living)
Request: [Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070710993 - Undeveloped Land accessed from Thornapple Rd.
Zoning: RL (Rural Living)
Request: [Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070710989 - Undeveloped Land – Proposed 1 Acre Parcel
Zoning: RL (Rural Living)
Request: [Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070530976 – Residential Land Use at SE Quad Thornapple/Cty. Rd. NN
Zoning: RN (Rural Neighborhood)
Requests: [Rezone to OP - Outdoor Recreation/Preserve](#)
[Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070530975 - Residential Land Use
Zoning: RN (Rural Neighborhood)
Requests: [Rezone to OP - Outdoor Recreation/Preserve](#)
[Proposed Outdoor Entertainment Conditional Use Request](#)

Parcel PIN: 16828070530992 – Undeveloped Parcel
Zoning: RN (Rural Neighborhood)
Requests: **Rezone to OP - Outdoor Recreation/Preserve**
Proposed Outdoor Entertainment Conditional Use Request

**Refer to the attached exhibits that highlight the project area, existing zoning, and parcels within a 300' context buffer.*

Portions of the subject land is under a land contract between Philip C. Bickley, Helen Bickley, and Bickley Inc. and RSW Investments, LLC (Wimmer family) recorded at the Marathon County Register of Deeds office as document number 1556275. This land contract will be fulfilled simultaneously upon the real estate closing with our client pending regulatory approvals.

Our team looks forward to further discussing this project going forward. Please contact our team if you need any additional information.

Sincerely,

Kurt Schmidt

Kurt Schmidt
REI Engineering, Inc.

(b) Written description of the proposed conditional use including the type of activities, buildings, structures, and off-street parking proposed for the subject property and their general locations, as well as the number of employees and the hours of operation.

The 'Outdoor Entertainment' conditional use proposed is introducing a Private Land Trailhead & Trail Network offering an array of low impact/multipurpose biking and hiking opportunities open to the general public. *(Please refer to the attached Concept Plan Exhibits)* The concept for the trailhead organizes a series of program elements that would create a regional tourism draw independent of the potential on state lands. The less congested and silent nature of the uses proposed would be a stark contrast to the existing noisy environment of State Park Speedway. We do not foresee any undue or adverse impacts on the surrounding properties, rather we consider the proposal a significant improvement to the character of the site & surrounding neighborhood.

The area relationships of all program elements involved take into consideration countless precedent mountain bike trails and bike park projects. Many refinements are anticipated to be made, but this concept serves as the general road map to guide the implementation of next steps. All zones and program elements (Jump Zone, Bike Play, Slope Style+Dual Slalom, Pump Tracks, Skills Trails, Event Lawn/Outdoor Spaces, Buildings (Bike Shop, Brew Pub/Coffee Shop & Restrooms) and Parking) are appropriately sized and reflective of their specific spatial requirements. All zones and features will be developed with skills progression in mind, offering accessible experiences for those new to riding and beginners to build skills and confidence to progress to the next skill level. A smooth transition to intermediate and advanced features creates a low risk and safe environment for all user groups. Informational training and directional signage will be strategically placed throughout the facility to offer further educational and wayfinding opportunities.

In addition to the trailhead, there will be an expansive network of low impact hiking, shared-use & bike optimized trails traversing through the private woodland terrain to the south forming a connection with Rib Mountain State Park. Due to this connection, the only fee requirement anticipated will be a state pass for bikers utilizing the trail systems as they will be interconnected with off-site state trails. Otherwise, the facility will be free for public use 7 days a week during regular daylight operating hours with a few events that may extend into twilight hours.

Bathrooms will be incorporated to support the needs of all users. Due to the proposed building uses requiring water and sanitary utilities, a private well and septic system is planned to support those services. No public water and/or sanitary is being requested.

Throughout the season, the facility is anticipated to host roughly 15-20 silent sport events. These public events are expected to draw 350 to 450 participants. Please refer to the 'Trailhead Facility Capacity' attachment for more detailed information. Given the projected attendance involved with certain events, a surface parking lot and overflow parking area has been appropriately sized to accommodate the volume. This parking area is being proposed along the north end of the site while taking access off NN. There will be no on-street parking proposed for the facility as it would create a hazard along the highway.

Due to some areas of adjacent context exhibiting residential land uses, special attention will be directed towards setbacks and landscape buffering. All buildings are positioned a minimum of 300' away from any residential properties to ensure compliance of the minimum requirements involved for those uses. However, due to the low impact and silent nature of the proposed recreational activities, we are requesting setback leniency specific to those program elements/zones. Due to the request of leniency, we are willing to address the landscape buffer areas to align with any requirements/reasonable requests outlined by the Village of Rib Mountain to establish an appropriate buffer within the reduced space.

(c) A site plan of the subject property if proposed for development conforming to all requirements of section 17.8.10. If the proposed conditional use is a group or large development, a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required per section 7.8.10.

Please refer to the attached plans/exhibits. Fully engineered site plans/construction documents will be submitted upon approval of the conditional land use proposed. It is understood the final site plan will be subject to a complete site plan review process and will conform with all applicable requirements of section 17.8.10.

(d) Written justification for the proposed conditional use demonstrating evidence that the application conforms to the findings described in subsection (8) below is consistent with the Comprehensive Plan, and meets any additional standards required in the applicable zoning district

Subsection (8) Findings. In reviewing and taking final action on a proposed conditional use permit, the Village Board shall consider whether the proposed conditional use:

(a) Is in harmony with the Comprehensive Plan.

(b) Would result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare.

(c) Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

(d) The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public or private agencies serving the subject property.

(e) The potential public benefits outweigh any potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

The driving force of the Village of Rib Mountain and it's vibrant community is it's ethos - **"Where Nature, Family, and Sport Come Together"** There is no more appropriate land use that is fully reflective of this value than the one being brought before you today. We firmly believe this specific 'Outdoor Entertainment' conditional use fully aligns with the overall goals, vision & values of the village and will further enhance the growth & success of the area's economy and recreational opportunities.

The zoning code defines the intent of the existing zoning district as: ***"This district is intended to preserve, protect and enhance open spaces and forested areas of Rib Mountain State Park, Nine Mile Forestry Unit, local parks and environmentally sensitive lands. Principal uses include a variety of recreational opportunities as well as their associated structures and other limited low impact uses."*** It has been our goal that the project encapsulates all characteristics defined above, which is what lead to the strategic planning and positioning of the site. We feel as though the future land use proposed within the comprehensive plan of 'Suburban Neighborhood' is out of alignment with the existing goals for this space, which our project would fight to preserve and enhance.

Rib Mountain also adopted an official village map in 2022 that is representative of current and future 'Trail Connectivity' goals for the Village. *(Please refer to the official village map attached)* The map indicates that the village has goals of expanding the off-street trail system routes through the subject properties of our project area. Our plan would complete the implementation of these specific routes, fully aligning with the village's goals.

The 2020 comprehensive plan further outlines a detailed list of goals & objectives under Utility and Community Facilities which is directly referenced below. The highlighted sections indicate 5 core objectives that the project aligns fully with but one could argue that components of the overall project are in alignment with most goals/objectives represented in this section.

“Utility and Community Facilities Goals, Objectives and Actions

The following goals, objectives and actions are intended to provide a policy framework and guide for the future development of the Town.

Goal III: Maintain and improve parks in Rib Mountain to improve the quality of life in the Town through the regular modification and adoption of the Outdoor Recreation Plan as prescribed by the Wisconsin Department of Natural Resources.

Objectives:

- 1. Strive to provide the metro area’s premier park and recreation facilities while meeting the needs of current and future residents.***
- 2. Supports development of an interconnected system of parks through trails and parkways.***
- 3. Provide timely and sufficient maintenance of park facilities.*
- 4. Establish a Park Facilities Maintenance Plan to proactively upgrade and replace equipment to ensure safety and accommodate residents’ recreational needs. Work with community organizations to develop a community center or similar facility.*
- 5. Routinely review and update the Town’s park dedication and impact fee requirements to ensure they are reasonable and sufficient to address needs, and encourage new residential developments to include parks, green space and trails as appropriate.*
- 6. Identify opportunities to purchase property for future park or trail development. Map these properties as “future park” to encourage preservation for future park development on the Official Map.*
- 7. Support the development of a regional multi-use trail system and work with appropriate agencies, such as the WDNR, WDOT, Marathon County, and others, to identify possible trail routes in Rib Mountain to connect to a regional system and to the Mountain-Bay Trail.***
- 8. Work with the Marathon County and surrounding municipalities in efforts to enhance the regional bike and pedestrian route system throughout the Wausau Metro Area.***
- 9. Identify where trails should be installed in conjunction with new development or road construction and map these on the Official Map. Town of Rib Mountain Page 43 2020 Comprehensive Plan*
- 10. Establish requirements for provision of trail easements or the purchasing of right-of-way in conjunction with new development.*
- 11. Continue to work cooperatively with the WDNR on efforts to improve Rib Mountain State Park.***
- 12. Continue to work cooperatively with Granite Peak Ski Resort to ensure that development and expansion is done in an environmentally sensitive manner.”***

The overall project is intended to comply by all applicable design standards & requirements possible as set forth by the current Village of Rib Mountain zoning code concerning OP (Outdoor Recreation/Preserve) specific to an ‘Outdoor Entertainment’ land use. Therefore, we see no potential adverse impacts of this plan within the specific project area, adjacent properties and surrounding community nor any significant conflicts with the current comprehensive plan. We rather determine this land use as the most suitable and appropriate use for this specific location and would be a natural addition to the wealth of Rib Mountain’s recreational opportunities, one that will cherish and continue to implement Rib Mountains values for many years to come.

(e) Anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.

Our team previously met with the Marathon County Highway Department on April 4th. They were comfortable with the proposed development and associated site plan. No improvements to CTH NN were requested or required.

Refer to attached pdf concerning 'Trailhead Facility Capacity'

(f) Compliance with stormwater and erosion control standards.

The stormwater systems will be fully engineered & permitted through the DNR to comply with all stormwater management requirements. This includes accommodating any erosion control standards/methods that are necessary.

(g) Anticipated noise, odors, dust, soot, runoff, pollution, exterior storage, vibration, glare, or lighting, and measures taken to mitigate impacts to neighboring properties. Refer to Subchapter - VI for all performance standards.

The land use proposed is considered a silent sport, therefore the anticipated noise levels involved will be minimal to none during the duration of most days. Some events may include music or PA systems on occasion. All performance standards will be addressed to mitigate any potential impacts to ensure there will be no negative impacts to neighboring properties to every extent possible. Site lighting will be incorporated where required but there are no anticipated elements that would exhibit odors, dust, soot, runoff, pollution, storage, vibration, glare etc.

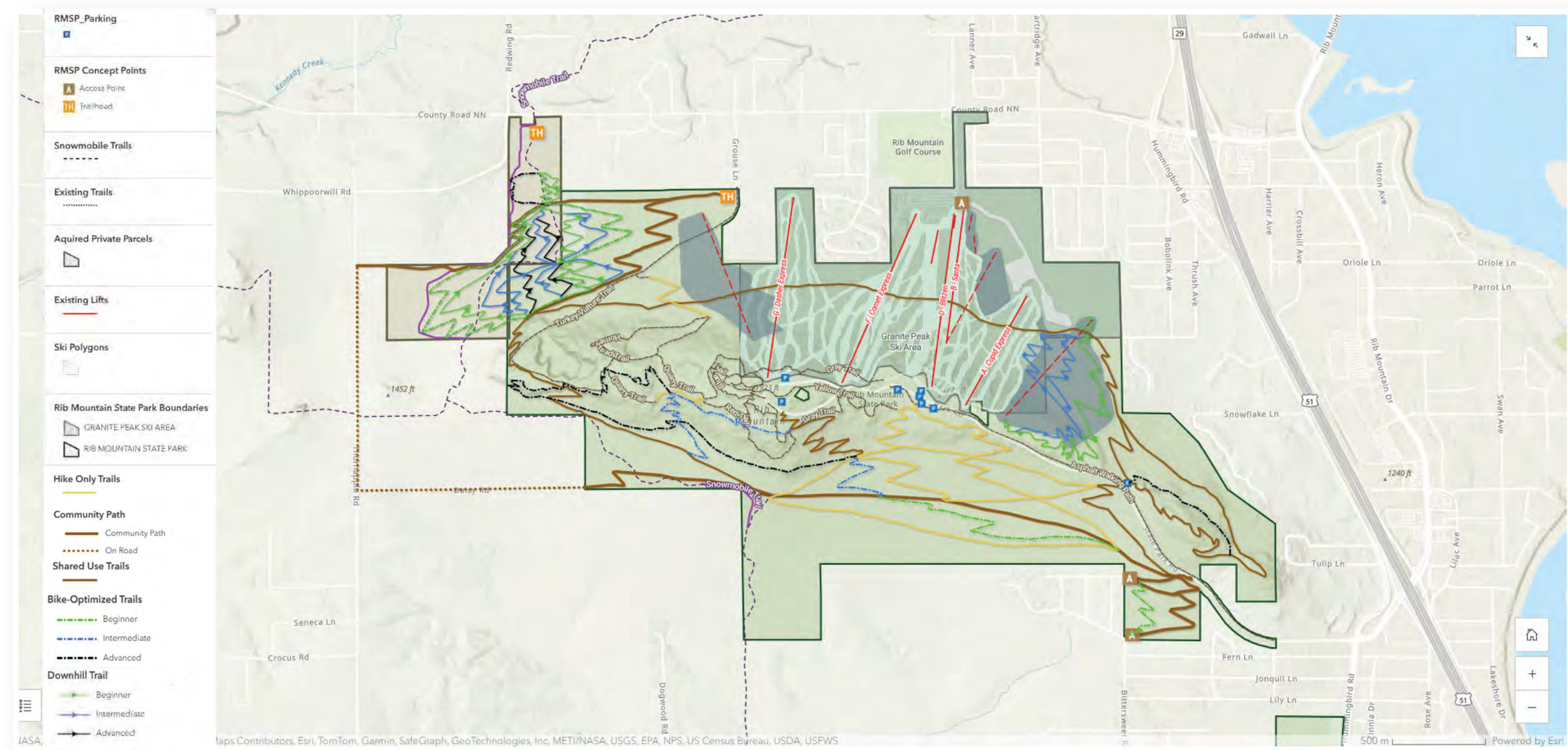
(h) A listing of hazardous, toxic, or explosive materials stored on site, and any spill containment, safety, or pollution prevention measures taken.

There are no hazardous, toxic or explosive materials anticipated to be stored on site.

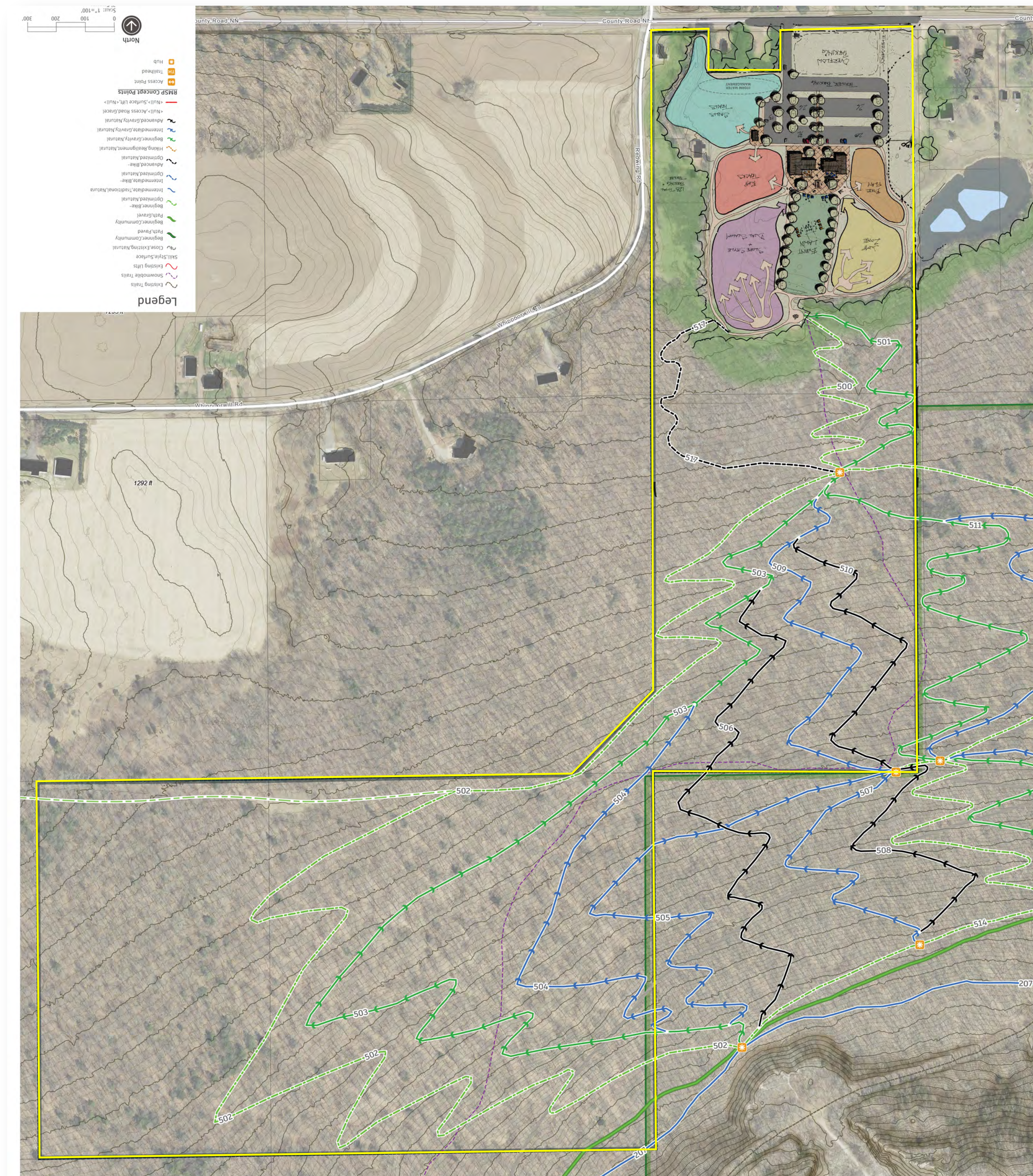
(i) Written description of how the proposed conditional use and all requirements established by the Village relating to the conditional use are or shall be satisfied.

We look forward to continuing to be a great community partner while working closely with DNR stakeholders, the Village of Rib Mountain, neighborhood groups and all other partners/groups that have been part of the planning of this project. This project is an incredible public-private partnership and an opportunity to work together for the betterment of the community. We look forward to following any conditions set forth by the conditional use as established.

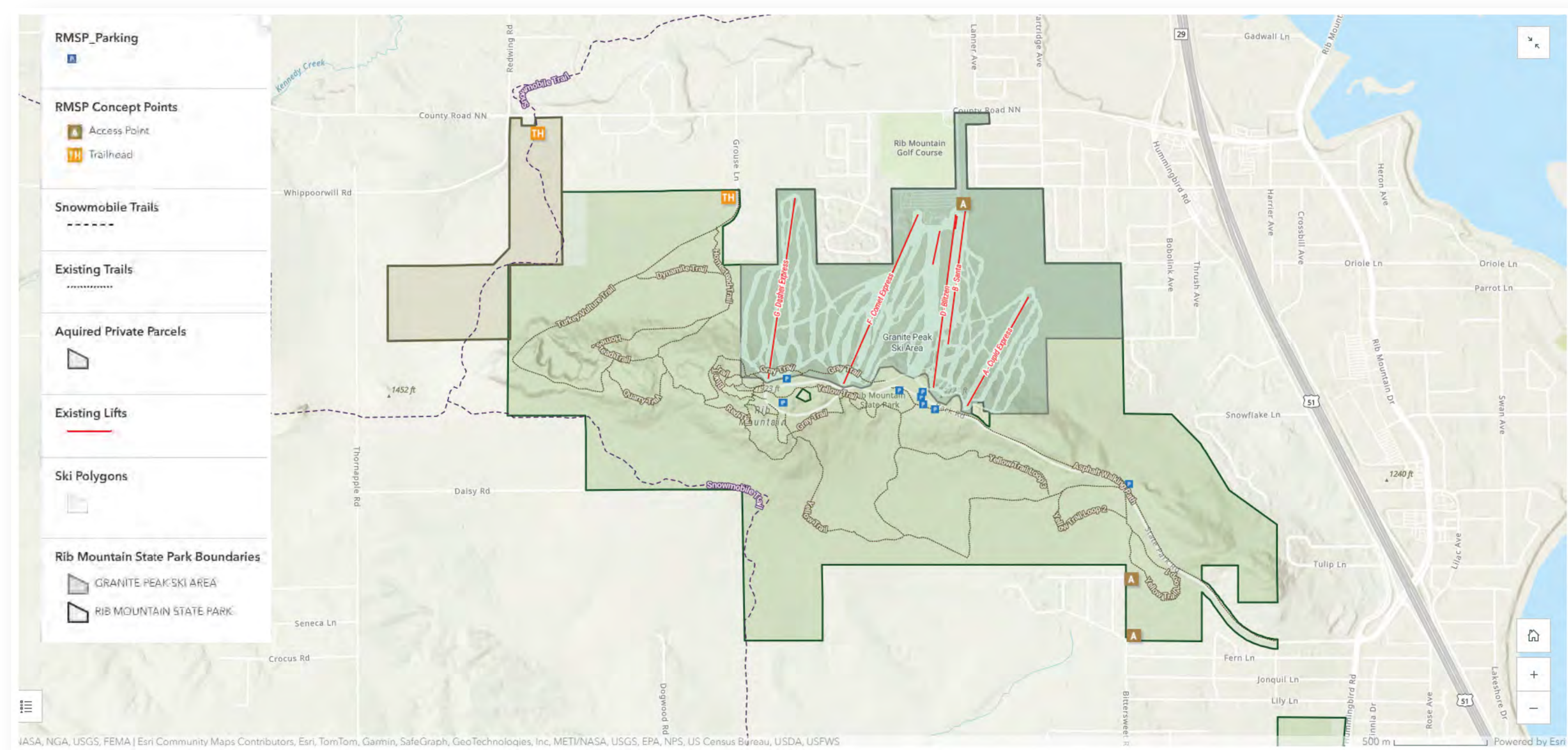
Rib Mountain State Park - Overall Trail Network Concept Plan



Private Land Trailhead Concept Plan



Private Land Trailhead Parcels



Trailhead Concept Plan - Base Detail



CONCEPT NARRATIVE:
THIS PLAN ORGANIZES A PROGRAM OF COMPONENTS THAT WOULD CREATE A REGIONAL TOURISM DRAW INDEPENDENT OF THE POTENTIAL ON STATE LANDS. THE SITE TAKES INTO ACCOUNT COUNTLESS PRECEDENT MOUNTAIN BIKE TRAILS AND BIKE PARK PROJECTS. MANY REFINEMENTS WILL BE MADE, BUT THIS CONCEPT CAN SERVE AS THE KIT OF PARTS REFERENCE AND THE ROAD MAP FOR NEXT STEPS. (ALL ZONES ARE "RIGHT-SIZED" AND FOOTPRINTS SHOWN ARE ROUGHLY 3,300 SF AND 4,800 SF.)

Trail and Facility Experience Examples

Pump Tracks



Progressive Ability Jump Zone



Pre-Ride. Re-Ride. Free-Ride.

All zones and features will be developed with skills progression in mind.

Offering accessible experiences for those new to riding and beginners to build skills and confidence to progress to the next skill level.

Slope Style & Dual Slalom



A smooth transition to Intermediate and Advanced features creates a low risk environment.

Informational and training signage will be placed throughout the facility.

Skills Trails



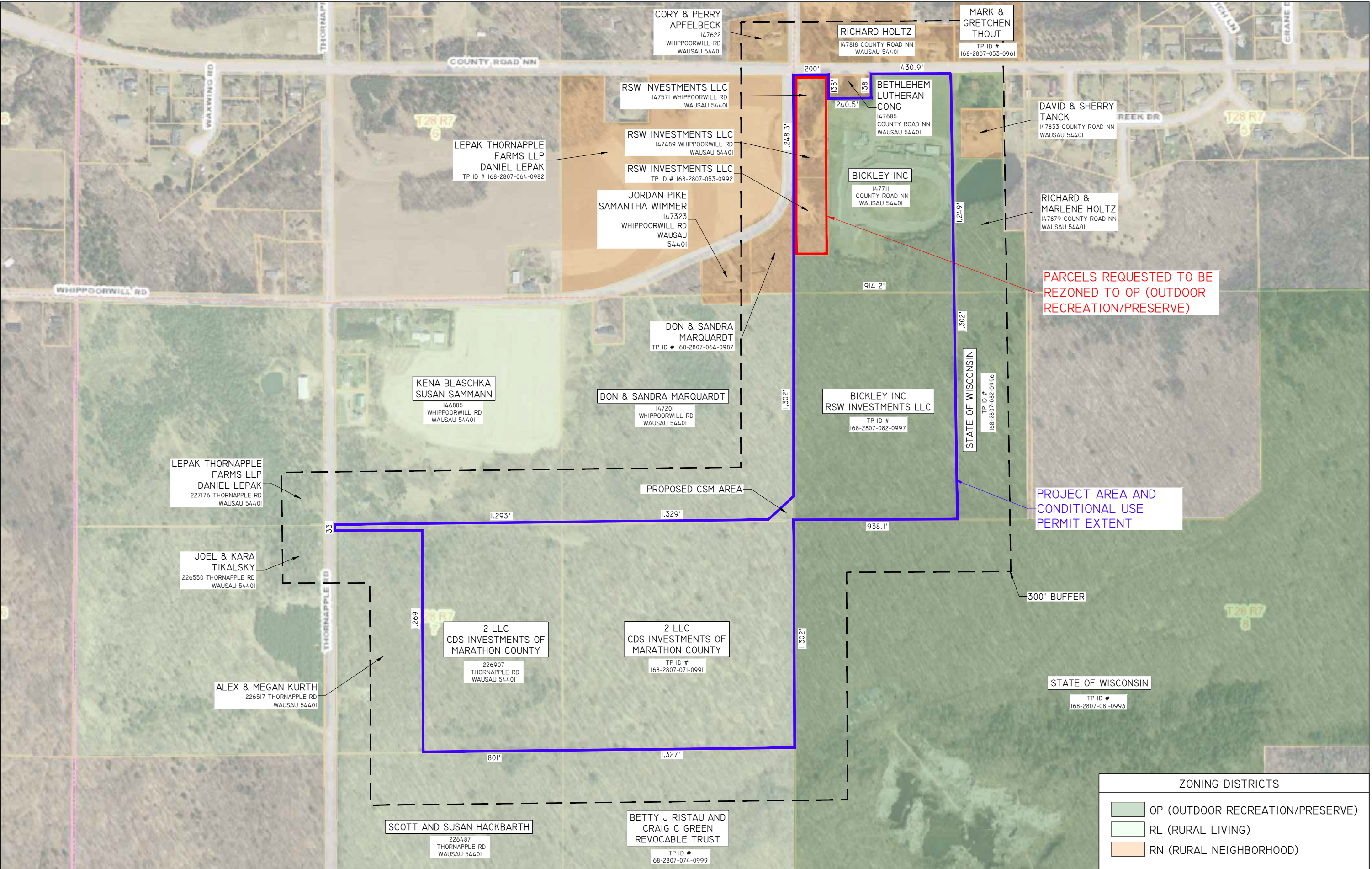
Bike Playground



Event Lawn



DRAWING FILE: Q:\11400-11499\11448A - PROJECT MOUNTAIN BIKE - COUNTY ROAD NN - VILLAGE OF RIB MOUNTAIN\DRAWING\FIGURES & EXHIBITS\11448A-PROPERTY MAP.DWG LAYOUT: SP-MAP
PLOTTED: APR 14, 2025 - 2:04PM PLOTTED BY: KURT



PARCELS REQUESTED TO BE
REZONED TO OP (OUTDOOR
RECREATION/PRESERVE)

PROJECT AREA AND
CONDITIONAL USE
PERMIT EXTENT

300' BUFFER

ZONING DISTRICTS

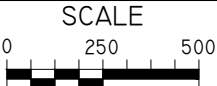
- OP (OUTDOOR RECREATION/PRESERVE)
- RL (RURAL LIVING)
- RN (RURAL NEIGHBORHOOD)

REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784 FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



REI

**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**



DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				SURVEY CHKD BY:	CIVIL CHKD BY:	CIVIL DATE: 03/20/25
				SURVEY APVD BY:	CIVIL APVD BY:	DRAWN BY: NAP

SUBJECT PROPERTY MAP
RIB MOUNTAIN PRIVATE LANDS TRAILHEAD
147711 COUNTY ROAD NN
RIB MOUNTAIN, WISCONSIN



REI No. 11448A
SHEET SP-MAP



April 21, 2025

Village of Rib Mountain
Attn: Jared Grande
Economic Development Director
227800 Snowbird Avenue
Wausau, WI 54401



Subject: Legal Descriptions
Project Name: Rib Mountain Private Lands Trailhead

Pin Number: 168-2807-053-0975

That part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Beginning at the Southeast corner of that parcel of land conveyed to Arllein A. James and Sandra J. James, his wife, joint tenants, by Warranty Deed dated October 29, 1973 and recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on October 30, 1973 in Micro-Record 177 on page 627, as Document No. 660807; running thence South, 220 feet; running thence West, to the East line of a town road on the West line of the SW $\frac{1}{4}$ of SW $\frac{1}{4}$; running thence North, along the Easterly line of said Town Road, to a point directly West of the point of beginning; and running thence East, to the point of beginning.

AND

Outlot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the (now Village) of Rib Mountain, Marathon County, Wisconsin.

Tax Key: 34. 52807. 11. 15.

PIN: 168-2807-053-0975

Pin Number: 168-2807-053-0992

That part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Commencing 220 feet South of the Southwest corner of the premises conveyed to School District 5 of the Town of Weston, which Deed was recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on May 22, 1890 in Deed Book 50 on page 544; thence South, parallel with the West line of said forty, 660 feet; thence West, to the West Section line of Section 5; thence North, along said Section line, where it intersects the highway running North and South; thence along the East boundary line of said highway, to a point directly West from the point of beginning; thence East, to the point of beginning; excepting the following parcels: Warranty Deed to Merlin Heuhnerfuss and Nancy Huehnerfuss, joint tenants, dated May 10, 1960 and recorded in said Register's office in Deed Book 460 on page 39; and Warranty Deed to Merlin Huehnerfuss and Nancy Huehnerfuss, joint tenants, dated November 25, 1960 and recorded in said Register's office in .

Deed Book 460 on page 384.

Tax Key: 34. 52807. 11. 4.

Pin Number: 168-2807-053-0976

Lot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty- eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin.

Tax Key: 34. 52807. 11. 14.

Pin Number: 168-2807-053-0978

Lot one (1) of Certified Survey Map No. 14019 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 26, as Document No. 1421396 and Outlot four (4) of Certified Survey Map No. 14020 recorded in said Register's office in Volume 62 of Certified Survey Maps on page 27, as Document No. 1421397; being a part of the Southwest quarter (SW $\frac{1}{4}$) of the Southwest quarter (SW $\frac{1}{4}$) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin; subject to easements of record.

Tax Key: 34. 52807. 11. 11.

Pin Number: 168-2807-082-0997

The Northwest quarter (NW $\frac{1}{4}$) of the Northwest quarter (NW $\frac{1}{4}$) of Section eight (8), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin; excepting the East four hundred (400) feet thereof.

Tax Key: 34. 82807. 6. 1.

Pin Number: 168-2807-071-0989

Outlot 1 of Certified Survey Map Number 20063, recorded as Document Number 1915579 in the Marathon County Register of Deeds Office; located in the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 7, Township 28 North, Range 7 East, Village of Rib Mountain, Marathon County, Wisconsin.

Pin Number: 168-2807-071-0993

The Southwest quarter (SW $\frac{1}{4}$) of the Northeast quarter (NE $\frac{1}{4}$) of Section seven (7), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin; excepting that part described in instrument recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Deed Book 503 on page 181.

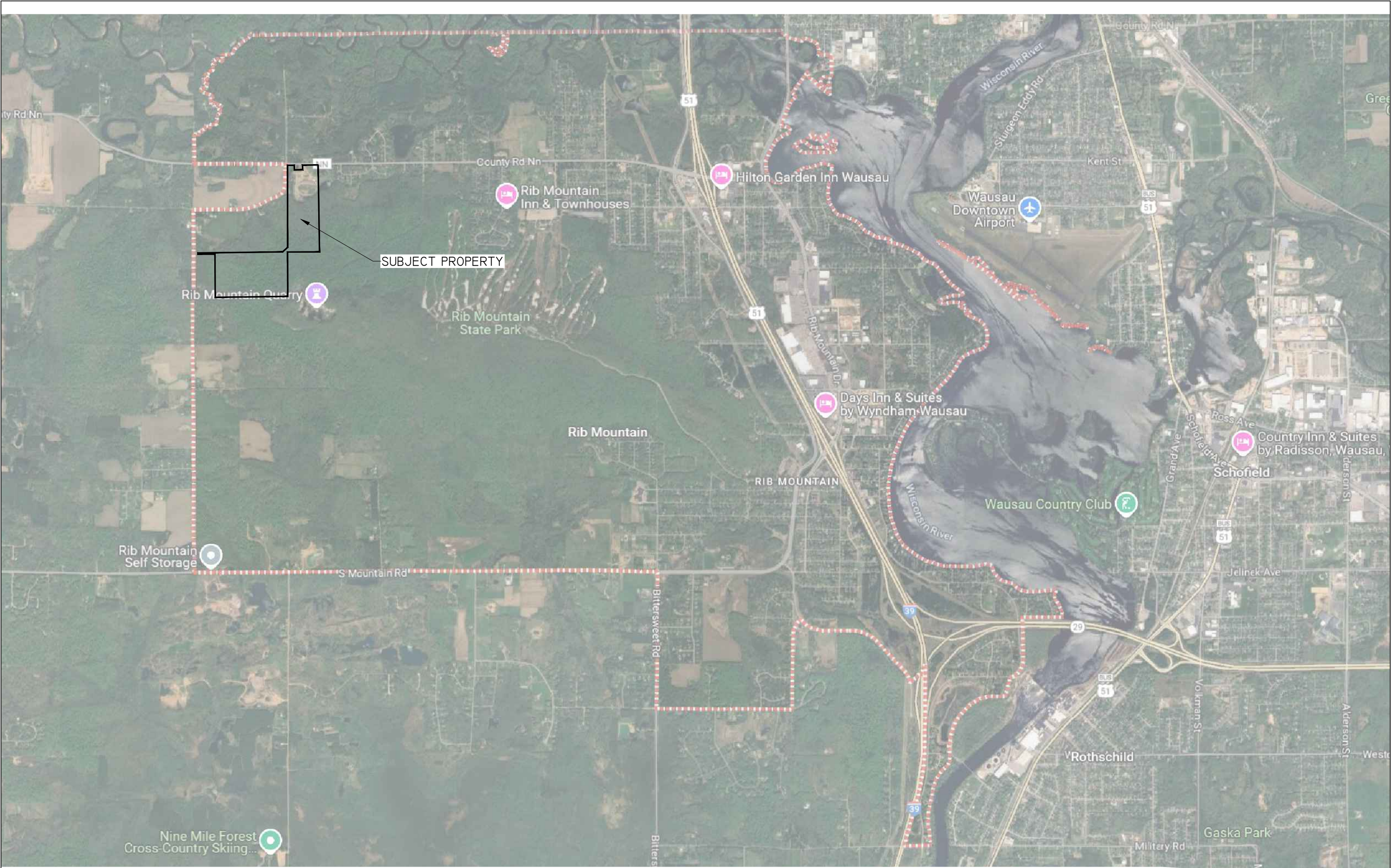
Tax Key: 34. 72807. 3. 0.

Pin Number: 168-2807-071-0991

The Southeast quarter (SE 1/4) of the Northeast quarter (NE 1/4) of Section seven (7), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin.

Tax Key: 34. 72807. 4.

DRAWING FILE: Q:\11400-11499\11448A - PROJECT MOUNTAIN BIKE - COUNTY ROAD NN - VILLAGE OF RIB MOUNTAIN\DRAWING\FIGURES & EXHIBITS\11448A-LAND USE MAP.DWG LAYOUT: LU-MAP
PLOTTED: MAR 20, 2025 - 2:56PM PLOTTED BY: NATHANP

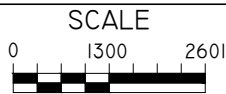


REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784 FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



REI

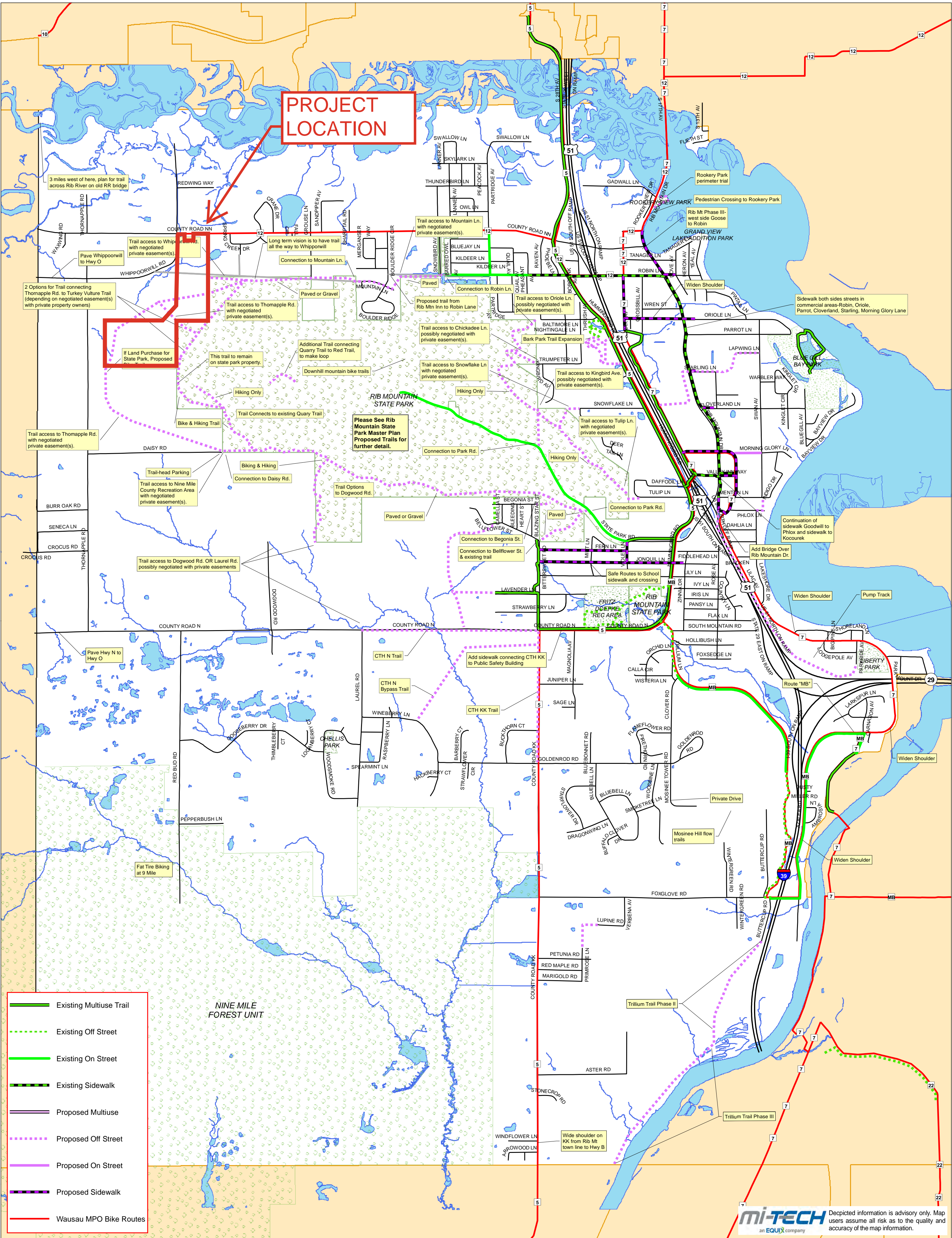
**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**



DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				SURVEY CHKD BY:	CIVIL CHKD BY:	CIVIL DATE: 03/20/25
				SURVEY APVD BY:	CIVIL APVD BY:	DRAWN BY: NAP

OVERALL MAP
RIB MOUNTAIN PRIVATE LANDS TRAILHEAD
147711 COUNTY ROAD NN
RIB MOUNTAIN, WISCONSIN

REI
REI No. 11448A
SHEET LU-MAP



Date: 3/9/2022



Proposed Rib Mountain Bicycle and Pedestrian Routes



0 0.25 0.5 1 Miles

mi-TECH
an EQUUS company

Depicted information is advisory only. Map users assume all risk as to the quality and accuracy of the map information.

PROJECT
LOCATION

ZONING DISTRICTS

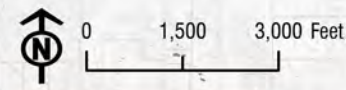
- OP - Outdoor Recreation/Preserve
- RL - Rural Living
- RM - Rural Mix
- RE - Rural Estate
- RN - Rural Neighborhood
- SN - Suburban Neighborhood

- UN - Urban Neighborhood
- NC - Neighborhood Commercial
- GC - General Commercial
- CC - Corridor Commercial
- RC - Rib Mountain Center

- PD - Planned Development
- GI - General Industrial

- Building Footprints
- Water Bodies

ADOPTION DATE: February 4, 2025



Report Criteria:

Permit.Permit number = "DKT - 2025 - 010"

Permit Number	Application Date	Permit Type	Property Address	Applicant	Status
DKT - 2025 - 01	04/21/2025	CD - Conditional Use Permit	147711 COUNTY ROAD NN	Kurt Schmidt	Approved

Description of Work

*Refer to attachments

Contractors

Name	Contractor Type	Primary Contractor
------	-----------------	--------------------

Transactions

Date	Description	Source ID	Fee Number	Quantity	Unit of Measurement	Amount	Due at
04/21/2025	Conditional Use		12	.0000		300.00	Setup
Grand Totals:						300.00	

Approvals

Approval Type	Days to Approve	Due Date	Status	Approved Date	Assigned To
---------------	-----------------	----------	--------	---------------	-------------

Inspection Activity

Inspection Number	Inspection Type	Status	Appointment Date	Appointment Time
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Conditions

Condition	Comment
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MAIL_NAME1	MAIL_ADDR1	CITY	STATE	ZIP5
DON & SANDRA MARQUARDT	147201 WHIPPOORWILL RD	WAUSAU	WI	54401
DEPT OF NATURAL RESOURCE STATE OF WISCONSIN	101 S WEBSTER ST	MADISON	WI	53703
MARK & GRETCHEN THOUT	148106 COUNTY ROAD NN	WAUSAU	WI	54401
JORDAN J PIKE	147323 WHIPPOORWILL RD	WAUSAU	WI	54401
DAVID & SHERRY TANCK	147833 COUNTY ROAD NN	WAUSAU	WI	54401
BETHLEHEM LUTHERAN CONGREGATION	147685 COUNTY ROAD NN	WAUSAU	WI	54401
STATE OF WISCONSIN DNR; C/O KARL E HANSEN	PO BOX 7921	MADISON	WI	53707
ALEX & MEGANKURTH	2094 PASQUE FLOWER PL	KRONENWETTER	WI	54455
LEPAK THORNAPPLE FARMS LLP; SHERI LEPAK	227141 THORNAPPLE ROAD	WAUSAU	WI	54401
JOEL & KARA TIKALSKY	101 N EMERALD DR	WAUSAU	WI	54401
RSW INVESTMENTS LLC	225900 HUMMINGBIRD RD	WAUSAU	WI	54401
RAYMOND & MARLENE APFELBECK	147622 WHIPPOORWILL RD	WAUSAU	WI	54401
LEPAK THORNAPPLE FARMS LLP; DANIEL J LEPAK	227141 THORNAPPLE ROAD	WAUSAU	WI	54401
MARLENE M HOLTZ	147905 COUNTY ROAD NN	WAUSAU	WI	54401
SUSAN HACKBARTH	127 PARK BLVD	WAUSAU	WI	54401
JORDAN J PIKE	147323 WHIPPOORWILL RD	WAUSAU	WI	54401
RICHARD O HOLTZ	147818 COUNTY ROAD NN	WAUSAU	WI	54401
CHARLES D STINE	215701 SCOUT RD	MOSINEE	WI	54455
BETTY J RISTAU, TRUSTEE CRAIG C GREEN, TRUSTEE	2709 JOPPA AVE S	ST LOUIS PARK	MN	55416
CHARLES D STINE	215701 SCOUT RD	MOSINEE	WI	54455
HARRY & SUSAN SAMMANN	146885 WHIPPOORWILL RD	WAUSAU	WI	54401
RICHARD HOLTZ, et al.; SHERRY TANCK	147833 COUNTY ROAD NN	WAUSAU	WI	54401

VILLAGE OF RIB MOUNTAIN
NOTICE OF PUBLIC HEARINGS

[See back for page 2](#)

NOTICE IS HEREBY GIVEN that public hearing(s) will be held before the Plan Commission of the Village of Rib Mountain, Marathon County, Wisconsin, at the **Rib Mountain Municipal Center, 227800 Snowbird Ave, on Wednesday, May 14, 2025**, at 5:00 P.M. to hear and consider the request of:

Conditional Use for a detached accessory structure exceeding 1,000 square feet per Rib Mountain Municipal Code Section 17.2.03 Table 2.4 – Maximum area square feet. Owner: Jeremiah Karpinski. Location: 152850 Cloverland Ln. DKT-2025-009.

Zoning Text Amendment to Rib Mountain Municipal Code, Chapter 17 Zoning Ordinance, modifying and adding to the Conditional Use Regulations per Section 17.3.03.3(15) Outdoor Entertainment and Recreation. Applicant: Kurt Schmidt, REI Engineering. Location. N/A. DKT-2025-008.

Conditional Use for a Private Land Trailhead & Trail Network per Rib Mountain Municipal Code Section 17.3.03.3(15) Outdoor Entertainment and Recreation. Owner: RSW Investments, LLC per Land Contract. Location 147711 County Road NN and associated properties. DKT-2025-010.

Zoning Map Amendment of 4.899 acres from Rural Neighborhood (RN) to Outdoor Recreation/Preserve (OP) per Rib Mountain Municipal Code Section 17.8.07 Zoning Map Amendment. Owner: RSW Investments, LLC. Location (three parcels): **1.** That part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows:

Beginning at the Southeast corner of that parcel of land conveyed to Arlein A. James and Sandra J. James, his wife, joint tenants, by Warranty Deed dated October 29, 1973 and recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on October 30, 1973 in Micro-Record 177 on page 627, as Document No. 660807; running thence South, 220 feet; running thence West, to the East line of a town road on the West line of the SW¼ of SW¼; running thence North, along the Easterly line of said Town Road, to a point directly West of the point of beginning; and running thence East, to the point of beginning. AND Outlot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the (now Village) of Rib Mountain, Marathon County, Wisconsin; **2.** That part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty-eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin, described as follows: Commencing 220 feet South of the Southwest corner of the premises conveyed to School District 5 of the Town of Weston, which Deed was recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on May 22, 1890 in Deed Book 50 on page 544; thence South, parallel with the West line of said forty, 660 feet; thence West, to the West Section line of Section 5; thence North, along said Section line, where it intersects the highway running North and South; thence along the East boundary line of said highway, to a point directly West from the point of beginning; thence East, to the point of beginning; excepting the following parcels: Warranty Deed to Merlin Heuhnerfuss and Nancy Huehnerfuss, joint tenants, dated May 10, 1960 and recorded in said Register's office in Deed Book 460 on page 39; and Warranty Deed to Merlin Huehnerfuss and Nancy Huehnerfuss, joint tenants, dated November 25, 1960 and recorded in said Register's office in . Deed Book 460 on page 384; **3.** Lot one (1) of Certified Survey Map No. 14101 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, in Volume 62 of Certified Survey Maps on page 108, as Document No. 1427800; being part of the Southwest quarter (SW¼) of the Southwest quarter (SW¼) of Section five (5), Township twenty- eight (28) North, Range seven (7) East, in the Town (now Village) of Rib Mountain, Marathon County, Wisconsin. DKT-2025-011.

Conditional Use for unique sign per Rib Mountain Municipal Code Section 17.6.04(10) Unique Signs. Owner: HSH Mountain Properties LLC. Location: Village right-of-way near 152630 Menton Ln. DKT-2025-012.

Written testimony may be forwarded to the Village of Rib Mountain Plan Commission, Jared Grande, 227800 Snowbird Ave, Wausau, WI 54401 or emailed to jgrande@ribmountainwi.gov by noon on the date of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.

DATED this 25th day of April 2025.

Jared Grande, Community Development Director



ITEM: Award Bid for Lilac Avenue Reconstruction

BACKGROUND:

Bids were opened on Thursday, May 15 with 6 bids received. The low bid, in the amount of \$2,312,631.03, was received from James Peterson & Sons, of Medford WI. An award recommendation and bid summary from MSA are attached.

FISCAL IMPACT:

A summary of estimated project costs, including the low bid is also attached, totaling \$3,046,267. Funding sources for the project total \$3,037,000, a shortfall of about \$9,300.

Staff will provide a recommendation at the meeting for options to fund the shortfall.

ACTION TO BE TAKEN:

1. Award the low bid in the amount of \$ 2,312,631.03 to James Peterson & Sons of Medford, WI, and authorize execution of a contract.
2. Reject all bids
3. Return to Staff for further review.



146 North Central Ave.
Ste. 201
Marshfield, WI 54449
(715) 384-2133

www.msa-ps.com

May 15, 2025

Allen Opall, Village President
Village of Rib Mountain
227800 Snowbird Avenue
Wausau, WI 54401

Re: Lilac Avenue Reconstruction
Village of Rib Mountain

Dear Mr. Opall:

Upon review of the bids received on May 15, 2025, for the above-referenced project, it was found that they were submitted by six qualified contractors. It is our recommendation that the low responsive bidder listed below be accepted and award made at your next meeting.

James Peterson Sons, Inc.
N2251 Gibson Drive, POB 120
Medford, WI 54451

Bid Amount \$2,312,631.03

Please execute the enclosed Notice of Award for the contract. Once the form is signed, please email a copy back to dspindler@msa-ps.com. After receiving the executed copy, we will forward one copy of the Notice of Award and the remaining contract package to the Contractor.

Sincerely,
MSA Professional Services, Inc.

A handwritten signature in black ink, appearing to read "Chad Grundemann", written over a horizontal line.

Chad Grundemann, PE
Project Manager Engineering

dds
Enc.

NOTICE OF AWARD

Date of Issuance: _____

Owner: Village of Rib Mountain

Owner's Contract No.:

Engineer: MSA Professional Services, Inc

Engineer's Project No.:09459037

Contract: Village of Rib Mountain - Lilac Avenue Reconstruction

Bidder: James Peterson Sons, Inc.

Bidder's Address: N2251 Gibson Drive, POB 120, Medford, WI 54451

You are notified that your Bid dated May 15, 2025, for the above Contract, and that you are the Successful Bidder and are awarded a Contract for Lilac Avenue Reconstruction.

Base Bid

The Contract Price of your Contract is Two-million three-hundred twelve-thousand six-hundred thirty-one Dollars and 03/100 Cents (\$2,312,631.03). Contract Price is subject to adjustment based on the provisions of the Contract, including but not limited to those governing changes, Unit Price Work, and Work performed on a cost-plus-fee basis, as applicable.

[1] unexecuted counterparts of the Agreement accompany this Notice of Award, and one copy of the Contract Documents accompanies this Notice of Award, or has been transmitted or made available to Bidder electronically.

✓ Drawings will be delivered separately from the other Contract Documents.

You must comply with the following conditions precedent within 15 days of the date of receipt of this Notice of Award:

1. Deliver to Owner [1] counterparts of the Agreement, signed by Bidder (as Contractor).
2. Deliver with the signed Agreement(s) the Contract security (such as required performance and payment bonds) and insurance documentation, as specified in the Instructions to Bidders and in the General Conditions, Articles 2 and 6.
3. Other conditions precedent (if any):

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award, and declare your Bid security forfeited.

Within 10 days after you comply with the above conditions, Owner will return to you one fully signed counterpart of the Agreement, together with any additional copies of the Contract Documents as indicated in Paragraph 2.02 of the General Conditions.

Owner: Village of Rib Mountain

By (signature): _____

Name (printed): Allen Opall

Title: Village President

Copy to Engineer

00 51 00 Notice of Award

EJCDC® C-510, Notice of Award.

Copyright © 2018 National Society of Professional Engineers, American Council of Engineering Companies, and American Society of Civil Engineers. All rights reserved.

G:\09\09459\09459037\Spec\00 Construction Contracts\09459037 NOA, NTP, Bonds.docx

Village of Rib Mountain - Lilac Avenue Reconstruction (#9606783)

Owner: Village of Rib Mountain

Solicitor: MSA Professional Services - Marshfield

05/15/2025 09:00 AM CDT

				Engineer Estimate		James Peterson Sons, Inc. - Utility Division		Switlick & Sons Inc.		Integrity Grading and Excavating, Inc.		Relyco Plus LLC		Haas Sons, Inc.		A-1 Excavating LLC	
Item No.	Item Description	UofM	Quantity	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension
Base Bid																	
1	Mobilization, Bonds, and Insurance	LS	1	\$ 130,700.00	\$ 130,700.00	\$40,000.00	\$40,000.00	\$200,000.00	\$200,000.00	\$150,000.00	\$150,000.00	\$181,000.00	\$181,000.00	\$191,166.00	\$191,166.00	\$346,000.00	\$346,000.00
2	Traffic Control	LS	1	\$ 32,700.00	\$ 32,700.00	\$15,428.00	\$15,428.00	\$25,000.00	\$25,000.00	\$42,836.00	\$42,836.00	\$15,428.00	\$15,428.00	\$20,000.00	\$20,000.00	\$100,000.00	\$100,000.00
3	Erosion and Sedimentation Controls	LS	1	\$ 17,500.00	\$ 17,500.00	\$18,500.00	\$18,500.00	\$17,000.00	\$17,000.00	\$18,500.00	\$18,500.00	\$12,300.00	\$12,300.00	\$22,000.00	\$22,000.00	\$7,000.00	\$7,000.00
4	Clearing and Grubbing	LS	1	\$ 30,300.00	\$ 30,300.00	\$8,000.00	\$8,000.00	\$30,000.00	\$30,000.00	\$12,000.00	\$12,000.00	\$12,500.00	\$12,500.00	\$27,950.00	\$27,950.00	\$4,000.00	\$4,000.00
5	Site Maintenance and Restoration	LS	1	\$ 43,600.00	\$ 43,600.00	\$53,565.00	\$53,565.00	\$50,000.00	\$50,000.00	\$9,950.00	\$9,950.00	\$105,320.00	\$105,320.00	\$119,150.00	\$119,150.00	\$11,000.00	\$11,000.00
6	Concrete Quality Control	LS	1	\$ 7,500.00	\$ 7,500.00	\$750.00	\$750.00	\$17,000.00	\$17,000.00	\$14,000.00	\$14,000.00	\$750.00	\$750.00	\$15,500.00	\$15,500.00	\$1,000.00	\$1,000.00
7	Dewatering	LS	1	\$ 15,000.00	\$ 15,000.00	\$0.01	\$0.01	\$30,000.00	\$30,000.00	\$500.00	\$500.00	\$6,000.00	\$6,000.00	\$1.00	\$1.00	\$1,000.00	\$1,000.00
Erosion Control																	
8	Erosion Mat Urban Class I Type A	SY	10760	\$ 1.50	\$ 16,140.00	\$1.75	\$18,830.00	\$3.00	\$32,280.00	\$1.75	\$18,830.00	\$2.35	\$25,286.00	\$1.75	\$18,830.00	\$3.00	\$32,280.00
9	Temporary Ditch Checks	EA	3	\$ 150.00	\$ 450.00	\$200.00	\$600.00	\$100.00	\$300.00	\$200.00	\$600.00	\$125.00	\$375.00	\$200.00	\$600.00	\$100.00	\$300.00
10	Culvert Pipe Check	EA	10	\$ 40.00	\$ 400.00	\$40.00	\$400.00	\$50.00	\$500.00	\$40.00	\$400.00	\$90.00	\$900.00	\$40.00	\$400.00	\$20.00	\$200.00
11	Inlet Protection	EA	55	\$ 150.00	\$ 8,250.00	\$200.00	\$11,000.00	\$70.00	\$3,850.00	\$200.00	\$11,000.00	\$75.00	\$4,125.00	\$200.00	\$11,000.00	\$100.00	\$5,500.00
Storm Sewer																	
12	2ft x 3ft Storm Inlet, Complete	EA	35	\$ 4,000.00	\$ 140,000.00	\$3,489.66	\$122,138.10	\$3,000.00	\$105,000.00	\$3,705.00	\$129,675.00	\$3,799.00	\$132,965.00	\$3,925.00	\$137,375.00	\$4,200.00	\$147,000.00
13	30-Inch Diameter Storm Manhole, Complete	EA	2	\$ 2,000.00	\$ 4,000.00	\$2,023.13	\$4,046.26	\$2,500.00	\$5,000.00	\$3,070.00	\$6,140.00	\$3,093.00	\$6,186.00	\$3,450.00	\$6,900.00	\$3,100.00	\$6,200.00
14	4-Foot Diameter Storm Manhole, Complete	EA	12	\$ 3,000.00	\$ 36,000.00	\$3,533.83	\$42,405.96	\$4,500.00	\$54,000.00	\$4,300.00	\$51,600.00	\$4,612.00	\$55,344.00	\$5,050.00	\$60,600.00	\$5,100.00	\$61,200.00
15	5-Foot Diameter Storm Manhole, Complete	EA	3	\$ 5,000.00	\$ 15,000.00	\$5,776.43	\$17,329.29	\$5,000.00	\$15,000.00	\$5,900.00	\$17,700.00	\$6,983.00	\$20,949.00	\$6,800.00	\$20,400.00	\$7,000.00	\$21,000.00
16	6-Foot Diameter Storm Manhole, Complete	EA	2	\$ 6,250.00	\$ 12,500.00	\$6,592.98	\$13,185.96	\$6,000.00	\$12,000.00	\$8,070.00	\$16,140.00	\$9,146.00	\$18,292.00	\$8,900.00	\$17,800.00	\$11,000.00	\$22,000.00
17	Area Drain	LF	2	\$ 3,000.00	\$ 6,000.00	\$1,405.43	\$2,810.86	\$2,000.00	\$4,000.00	\$1,650.00	\$3,300.00	\$2,624.00	\$5,248.00	\$3,150.00	\$6,300.00	\$3,400.00	\$6,800.00
18	6-Inch HDPE Storm Sewer	LF	23	\$ 40.00	\$ 920.00	\$94.42	\$2,171.66	\$48.00	\$1,104.00	\$70.00	\$1,610.00	\$32.00	\$736.00	\$77.00	\$1,771.00	\$100.00	\$2,300.00
19	12-Inch HDPE Storm Sewer	LF	973	\$ 55.00	\$ 53,515.00	\$98.09	\$95,441.57	\$52.00	\$50,596.00	\$75.00	\$72,975.00	\$56.50	\$54,974.50	\$81.00	\$78,813.00	\$85.00	\$82,705.00
20	15-Inch HDPE Storm Sewer	LF	560	\$ 60.00	\$ 33,600.00	\$71.28	\$39,916.80	\$57.00	\$31,920.00	\$80.00	\$44,800.00	\$59.00	\$33,040.00	\$83.00	\$46,480.00	\$88.00	\$49,280.00
21	18-Inch HDPE Storm Sewer	LF	656	\$ 65.00	\$ 42,640.00	\$59.97	\$39,340.32	\$63.00	\$41,328.00	\$85.00	\$55,760.00	\$64.25	\$42,148.00	\$87.00	\$57,072.00	\$92.00	\$60,352.00
22	24-Inch HDPE Storm Sewer	LF	972	\$ 70.00	\$ 68,040.00	\$53.50	\$52,002.00	\$74.00	\$71,928.00	\$90.00	\$87,480.00	\$75.70	\$73,580.40	\$95.00	\$92,340.00	\$105.00	\$102,060.00
23	30-Inch HDPE Storm Sewer	LF	65	\$ 75.00	\$ 4,875.00	\$69.02	\$4,486.30	\$93.00	\$6,045.00	\$120.00	\$7,800.00	\$105.00	\$6,825.00	\$117.00	\$7,605.00	\$138.00	\$8,970.00
24	36-Inch HDPE Storm Sewer	LF	278	\$ 80.00	\$ 22,240.00	\$77.37	\$21,508.86	\$95.00	\$26,410.00	\$125.00	\$34,750.00	\$113.71	\$31,611.38	\$126.00	\$35,028.00	\$135.00	\$37,530.00
25	45x29 HECPRC	LF	249	\$ 300.00	\$ 74,700.00	\$205.13	\$51,077.37	\$200.00	\$49,800.00	\$265.00	\$65,985.00	\$238.25	\$59,324.25	\$245.00	\$61,005.00	\$287.00	\$71,463.00
26	12-Inch Apron Endwall	EA	5	\$ 375.00	\$ 1,875.00	\$204.00	\$1,020.00	\$400.00	\$2,000.00	\$685.00	\$3,425.00	\$251.00	\$1,255.00	\$500.00	\$2,500.00	\$577.00	\$2,885.00
27	15-Inch Apron Endwall	EA	3	\$ 500.00	\$ 1,500.00	\$227.10	\$681.30	\$450.00	\$1,350.00	\$723.00	\$2,169.00	\$292.00	\$876.00	\$550.00	\$1,650.00	\$687.00	\$2,061.00
28	18-Inch Apron Endwall	EA	7	\$ 600.00	\$ 4,200.00	\$259.65	\$1,817.55	\$600.00	\$4,200.00	\$774.00	\$5,418.00	\$370.50	\$2,593.50	\$700.00	\$4,900.00	\$807.00	\$5,649.00
29	24-Inch Apron Endwall	EA	1	\$ 700.00	\$ 700.00	\$586.20	\$586.20	\$1,100.00	\$1,100.00	\$1,430.00	\$1,430.00	\$729.00	\$729.00	\$1,050.00	\$1,050.00	\$1,800.00	\$1,800.00
30	Connect to Existing (6-Inch)	EA	2	\$ 500.00	\$ 1,000.00	\$1,667.50	\$3,335.00	\$200.00	\$400.00	\$1,450.00	\$2,900.00	\$330.50	\$661.00	\$450.00	\$900.00	\$1,200.00	\$2,400.00
31	Connect to Existing (12-Inch)	EA	5	\$ 750.00	\$ 3,750.00	\$1,689.70	\$8,448.50	\$700.00	\$3,500.00	\$3,650.00	\$18,250.00	\$675.00	\$3,375.00	\$965.00	\$4,825.00	\$1,700.00	\$8,500.00
32	Connect to Existing (15-Inch)	EA	2	\$ 1,000.00	\$ 2,000.00	\$1,726.45	\$3,452.90	\$700.00	\$1,400.00	\$3,650.00	\$7,300.00	\$775.00	\$1,550.00	\$1,050.00	\$2,100.00	\$1,800.00	\$3,600.00
33	Connect to Existing (24-Inch)	EA	1	\$ 1,250.00	\$ 1,250.00	\$1,791.55	\$1,791.55	\$800.00	\$800.00	\$3,650.00	\$3,650.00	\$830.00	\$830.00	\$1,250.00	\$1,250.00	\$2,300.00	\$2,300.00
34	Connect to Existing (45x29 HERCP)	EA	1	\$ 2,500.00	\$ 2,500.00	\$1,990.00	\$1,990.00	\$2,500.00	\$2,500.00	\$4,750.00	\$4,750.00	\$1,475.00	\$1,475.00	\$1,750.00	\$1,750.00	\$3,200.00	\$3,200.00
35	24-Inch HDPE Bend 11.25	EA	1	\$ 1,000.00	\$ 1,000.00	\$1,000.00	\$1,000.00	\$1,300.00	\$1,300.00	\$574.00	\$574.00	\$1,137.00	\$1,137.00	\$1,050.00	\$1,050.00	\$1,200.00	\$1,200.00
36	24-Inch HDPE Bend 22.5	EA	1	\$ 1,000.00	\$ 1,000.00	\$1,000.00	\$1,000.00	\$1,300.00	\$1,300.00	\$582.00	\$582.00	\$1,172.00	\$1,172.00	\$1,450.00	\$1,450.00	\$1,200.00	\$1,200.00
37	6-Inch Underdrain - Wrapped	EA	78	\$ 20.00	\$ 1,560.00	\$20.00	\$1,560.00	\$13.00	\$1,014.00	\$46.00	\$3,588.00	\$34.25	\$2,671.50	\$37.00	\$2,886.00	\$40.00	\$3,120.00
38	2-Inch Rigid Polystyrene Insulation	SF	2000	\$ 3.00	\$ 6,000.00	\$3.00	\$6,000.00	\$2.00	\$4,000.00	\$2.02	\$4,040.00	\$3.50	\$7,000.00	\$3.25	\$6,500.00	\$4.00	\$8,000.00
Street Reconstruction																	
39	Remove Curb and Gutter	LF	541	\$ 5.00	\$ 2,705.00	\$4.15	\$2,245.15	\$3.00	\$1,623.00	\$7.10	\$3,841.10	\$5.82	\$3,148.62	\$12.00	\$6,492.00	\$10.00	\$5,410.00
40	Remove Concrete, Sidewalk	SF	1320	\$ 1.00	\$ 1,320.00	\$1.31	\$1,729.20	\$1.00	\$1,320.00	\$0.85	\$1,122.00	\$2.00	\$2,640.00	\$9.00	\$11,880.00	\$3.00	\$3,960.00
41	Remove Concrete, Driveway	SF	500	\$ 2.00	\$ 1,000.00	\$1.25	\$625.00	\$1.00	\$500.00	\$1.20	\$600.00	\$2.00	\$1,000.00	\$14.00	\$7,000.00	\$3.00	\$1,500.00
42	Remove Pipe, Culvert	LF	459	\$ 15.00	\$ 6,885.00	\$20.00	\$9,180.00	\$10.00	\$4,590.00	\$30.00	\$13,770.00	\$16.00	\$7,344.00	\$26.00	\$11,934.00	\$30.00	\$13,770.00
43	Unclassified Excavation	LS	1	\$ 176,490.00	\$ 176,490.00	\$172,380.00	\$172,380.00	\$100,000.00	\$100,000.00	\$280,000.00	\$280,000.00	\$225,000.00	\$225,000.00	\$217,000.00	\$217,000.00	\$230,000.00	\$230,000.00
44	Rock Excavation (Morning Glory Area Pond & Additional Undistributed, If Needed)	CY	600	\$ 75.00	\$ 45,000.00	\$0.01	\$6.00	\$220.00	\$132,000.00	\$80.00	\$48,000.00	\$40.00	\$24,000.00	\$0.01	\$6.00	\$70.00	\$42,000.00
45	Excavation Below Subgrade (Undistributed, If Needed)	CY	250	\$ 25.00	\$ 6,250.00	\$15.37	\$3,842.50	\$18.00	\$4,500.00	\$50.00	\$12,500.00	\$27.43	\$6,857.50	\$20.00	\$5,000.00	\$23.00	\$5,750.00

				Engineer Estimate		James Peterson Sons, Inc. - Utility Division		Switlick & Sons Inc.		Integrity Grading and Excavating, Inc.		Relyco Plus LLC		Haas Sons, Inc.		A-1 Excavating LLC	
Item No.	Item Description	UofM	Quantity	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension
46	Granular Fill (Undistributed, If Needed)	CY	50	\$ 40.00	\$ 2,000.00	\$23.96	\$1,198.00	\$28.00	\$1,400.00	\$60.00	\$3,000.00	\$49.25	\$2,462.50	\$30.00	\$1,500.00	\$36.00	\$1,800.00
47	Select Crushed (Undistributed, If Needed)	CY	50	\$ 80.00	\$ 4,000.00	\$32.91	\$1,645.50	\$28.00	\$1,400.00	\$51.00	\$2,550.00	\$48.00	\$2,400.00	\$45.00	\$2,250.00	\$70.00	\$3,500.00
48	SAS Fabric	SY	18400	\$ 2.75	\$ 50,600.00	\$1.25	\$23,000.00	\$2.00	\$36,800.00	\$0.95	\$17,480.00	\$1.75	\$32,200.00	\$2.50	\$46,000.00	\$3.00	\$55,200.00
49	Dense Graded Base, 1 1/4-inch, 10-inch Depth	SY	17730	\$ 10.00	\$ 177,300.00	\$10.48	\$185,810.40	\$6.75	\$119,677.50	\$11.60	\$205,668.00	\$8.00	\$141,840.00	\$10.55	\$187,051.50	\$10.00	\$177,300.00
50	Dense Graded Base, 1 1/4-inch, 6-inch Thick, Temp Roadway	SY	1490	\$ 6.00	\$ 8,940.00	\$6.72	\$10,012.80	\$6.00	\$8,940.00	\$8.05	\$11,994.50	\$6.50	\$9,685.00	\$6.98	\$10,400.20	\$10.00	\$14,900.00
51	Asphaltic Concrete Pavement, 4-inch Depth	SY	13910	\$ 28.00	\$ 389,480.00	\$28.95	\$402,694.50	\$24.00	\$333,840.00	\$28.95	\$402,694.50	\$28.95	\$402,694.50	\$26.63	\$370,423.30	\$31.00	\$431,210.00
52	Concrete Sidewalk, 4-inch Depth with 6-inch Base	SF	15200	\$ 7.50	\$ 114,000.00	\$8.40	\$127,680.00	\$6.00	\$91,200.00	\$6.10	\$92,720.00	\$8.45	\$128,440.00	\$5.84	\$88,768.00	\$9.00	\$136,800.00
53	Concrete Sidewalk, 6-inch Depth with 6-inch Base	SF	4660	\$ 10.00	\$ 46,600.00	\$9.36	\$43,617.60	\$7.00	\$32,620.00	\$7.40	\$34,484.00	\$9.39	\$43,757.40	\$7.49	\$34,903.40	\$10.00	\$46,600.00
54	Asphalt Trail, 2-inch Depth with 8-inch Base	SF	2900	\$ 13.00	\$ 37,700.00	\$4.93	\$14,297.00	\$5.00	\$14,500.00	\$4.95	\$14,355.00	\$4.87	\$14,123.00	\$4.64	\$13,456.00	\$5.50	\$15,950.00
55	Curb Ramp Detectable Warning Field Natural Patina	SF	240	\$ 65.00	\$ 15,600.00	\$50.00	\$12,000.00	\$50.00	\$12,000.00	\$52.00	\$12,480.00	\$50.00	\$12,000.00	\$48.40	\$11,616.00	\$54.00	\$12,960.00
56	Curb Ramp Detectable Warning Field Radial Natural Patina	SF	229	\$ 80.00	\$ 18,320.00	\$62.50	\$14,312.50	\$70.00	\$16,030.00	\$58.00	\$13,282.00	\$62.50	\$14,312.50	\$57.70	\$13,213.30	\$67.00	\$15,343.00
57	Driveways, Concrete, 6-inch Thick with 6-inch Base	SF	3630	\$ 11.00	\$ 39,930.00	\$9.86	\$35,791.80	\$8.00	\$29,040.00	\$8.25	\$29,947.50	\$9.91	\$35,973.30	\$7.64	\$27,733.20	\$11.00	\$39,930.00
58	Driveways, Asphalt, 3-inch Thick with 8-inch Base	SF	6870	\$ 5.00	\$ 34,350.00	\$5.46	\$37,510.20	\$7.00	\$48,090.00	\$5.75	\$39,502.50	\$6.68	\$45,891.60	\$4.87	\$33,456.90	\$6.00	\$41,220.00
59	Driveways, Dense Graded Base, 4-inch Thick 3/4-inch Base with 8-inch Thick 1 1/4-inch Base	SF	1135	\$ 4.00	\$ 4,540.00	\$1.92	\$2,179.20	\$9.00	\$10,215.00	\$2.30	\$2,610.50	\$4.00	\$4,540.00	\$1.86	\$2,111.10	\$2.00	\$2,270.00
60	Concrete Curb and Gutter, 24-inch, Type D	LF	4683	\$ 20.00	\$ 93,660.00	\$18.17	\$85,090.11	\$18.00	\$84,294.00	\$16.50	\$77,269.50	\$18.17	\$85,090.11	\$18.45	\$86,401.35	\$20.00	\$93,660.00
61	Concrete Curb and Gutter, 18-Inch, Type D	LF	1540	\$ 20.00	\$ 30,800.00	\$17.21	\$26,503.40	\$16.00	\$24,640.00	\$15.00	\$23,100.00	\$17.21	\$26,503.40	\$18.00	\$27,720.00	\$19.00	\$29,260.00
62	Concrete Curb and Gutter, 18-Inch, Type D Mountable (Special Driveway Section)	LF	485	\$ 30.00	\$ 14,550.00	\$17.21	\$8,346.85	\$18.00	\$8,730.00	\$21.00	\$10,185.00	\$17.21	\$8,346.85	\$31.10	\$15,083.50	\$19.00	\$9,215.00
63	Concrete Curb and Gutter, 18-Inch, Type D, Reverse Slope Gutter	LF	260	\$ 30.00	\$ 7,800.00	\$16.81	\$4,370.60	\$22.00	\$5,720.00	\$19.00	\$4,940.00	\$16.81	\$4,370.60	\$29.65	\$7,709.00	\$18.00	\$4,680.00
64	Concrete Median, Sloped Nose Type 1	SF	279	\$ 20.00	\$ 5,580.00	\$12.73	\$3,551.67	\$26.00	\$7,254.00	\$15.00	\$4,185.00	\$12.73	\$3,551.67	\$9.90	\$2,762.10	\$14.00	\$3,906.00
65	Concrete Median, Sloped Nose Type 2	SF	6	\$ 20.00	\$ 120.00	\$12.73	\$76.38	\$200.00	\$1,200.00	\$25.00	\$150.00	\$12.73	\$76.38	\$13.30	\$79.80	\$14.00	\$84.00
66	Concrete Median, 4-inch Thick, 8-inch Base	SF	5620	\$ 10.00	\$ 56,200.00	\$8.31	\$46,702.20	\$8.00	\$44,960.00	\$5.50	\$30,910.00	\$9.56	\$53,727.20	\$6.15	\$34,563.00	\$10.00	\$56,200.00
67	Concrete Median, 6-inch Thick, 6-inch Base	SF	2170	\$ 11.00	\$ 23,870.00	\$9.08	\$19,703.60	\$11.00	\$23,870.00	\$7.25	\$15,732.50	\$10.50	\$22,785.00	\$7.77	\$16,860.90	\$11.00	\$23,870.00
68	Raised Crosswalk	SY	165	\$ 90.00	\$ 14,850.00	\$104.53	\$17,247.45	\$150.00	\$24,750.00	\$100.00	\$16,500.00	\$104.53	\$17,247.45	\$76.90	\$12,688.50	\$112.00	\$18,480.00
69	Removing Signs Type II	EA	54	\$ 50.00	\$ 2,700.00	\$30.00	\$1,620.00	\$100.00	\$5,400.00	\$30.00	\$1,620.00	\$38.00	\$2,052.00	\$30.00	\$1,620.00	\$270.00	\$14,580.00
70	Removing Small Sign Supports	EA	42	\$ 50.00	\$ 2,100.00	\$30.00	\$1,260.00	\$100.00	\$4,200.00	\$30.00	\$1,260.00	\$38.00	\$1,596.00	\$30.00	\$1,260.00	\$90.00	\$3,780.00
71	Signs Type II Reflective H	SF	144	\$ 40.00	\$ 5,760.00	\$30.00	\$4,320.00	\$100.00	\$14,400.00	\$30.00	\$4,320.00	\$22.95	\$3,304.80	\$30.00	\$4,320.00	\$35.00	\$5,040.00
72	Signs Type II Reflective F	SF	50	\$ 40.00	\$ 2,000.00	\$32.00	\$1,600.00	\$100.00	\$5,000.00	\$32.00	\$1,600.00	\$24.50	\$1,225.00	\$32.00	\$1,600.00	\$35.00	\$1,750.00
73	Post Tubular Steel 2x2-inch x 16 ft	EA	38	\$ 300.00	\$ 11,400.00	\$275.00	\$10,450.00	\$100.00	\$3,800.00	\$275.00	\$10,450.00	\$235.00	\$8,930.00	\$275.00	\$10,450.00	\$300.00	\$11,400.00
74	Moving Signs Type II	EA	14	\$ 100.00	\$ 1,400.00	\$250.00	\$3,500.00	\$100.00	\$1,400.00	\$250.00	\$3,500.00	\$38.00	\$532.00	\$250.00	\$3,500.00	\$400.00	\$5,600.00
75	Riprap, Medium, With Type HR Fabric	SY	100	\$ 50.00	\$ 5,000.00	\$100.00	\$10,000.00	\$80.00	\$8,000.00	\$54.00	\$5,400.00	\$59.45	\$5,945.00	\$68.00	\$6,800.00	\$60.00	\$6,000.00
76	Phlox Area Basin	LS	1	\$ 30,200.00	\$ 30,200.00	\$122,879.00	\$122,879.00	\$40,000.00	\$40,000.00	\$42,000.00	\$42,000.00	\$54,390.00	\$54,390.00	\$58,594.00	\$58,594.00	\$93,000.00	\$93,000.00
77	Menton Area Basin	LS	1	\$ 19,000.00	\$ 19,000.00	\$36,470.00	\$36,470.00	\$40,000.00	\$40,000.00	\$18,000.00	\$18,000.00	\$57,294.00	\$57,294.00	\$62,148.00	\$62,148.00	\$63,000.00	\$63,000.00
78	Morning Glory Area Basin	LS	1	\$ 15,100.00	\$ 15,100.00	\$25,790.00	\$25,790.00	\$40,000.00	\$40,000.00	\$16,000.00	\$16,000.00	\$23,856.00	\$23,856.00	\$37,320.00	\$37,320.00	\$30,000.00	\$30,000.00
79	Pavement Marking, Epoxy, 6-Inch, White	LF	4050	\$ 2.50	\$ 10,125.00	\$1.30	\$5,265.00	\$3.00	\$12,150.00	\$1.30	\$5,265.00	\$1.30	\$5,265.00	\$1.30	\$5,265.00	\$1.40	\$5,670.00
80	Pavement Marking, Epoxy, 6-Inch, Yellow	LF	5985	\$ 2.50	\$ 14,962.50	\$1.30	\$7,780.50	\$4.00	\$23,940.00	\$1.30	\$7,780.50	\$1.30	\$7,780.50	\$1.30	\$7,780.50	\$1.40	\$8,379.00
81	Pavement Marking, Epoxy, 6-Inch, White, Pedestrian Crossing	LF	1250	\$ 12.00	\$ 15,000.00	\$12.25	\$15,312.50	\$4.00	\$5,000.00	\$12.25	\$15,312.50	\$12.25	\$15,312.50	\$12.25	\$15,312.50	\$13.00	\$16,250.00
82	Pavement Marking, Epoxy, 10-Inch, White	LF	810	\$ 7.00	\$ 5,670.00	\$1.90	\$1,539.00	\$6.00	\$4,860.00	\$1.90	\$1,539.00	\$1.90	\$1,539.00	\$1.90	\$1,539.00	\$2.00	\$1,620.00
83	Pavement Marking, Epoxy, 10-Inch, White, Dotted Extension	LF	69	\$ 18.00	\$ 1,242.00	\$1.90	\$131.10	\$7.00	\$483.00	\$1.90	\$131.10	\$1.90	\$131.10	\$1.90	\$131.10	\$2.00	\$138.00
84	Pavement Marking, Epoxy, 18-Inch, White, Stop Bar	LF	195	\$ 19.00	\$ 3,705.00	\$20.00	\$3,900.00	\$13.00	\$2,535.00	\$20.00	\$3,900.00	\$20.00	\$3,900.00	\$20.00	\$3,900.00	\$22.00	\$4,290.00
85	Pavement Marking, Epoxy, Diagonal, 12-Inch, Yellow	LF	105	\$ 13.00	\$ 1,365.00	\$10.00	\$1,050.00	\$15.00	\$1,575.00	\$10.00	\$1,050.00	\$10.00	\$1,050.00	\$10.00	\$1,050.00	\$11.00	\$1,155.00
86	Pavement Marking, Epoxy, Curb, Yellow	LF	262	\$ 10.00	\$ 2,620.00	\$8.50	\$2,227.00	\$15.00	\$3,930.00	\$8.50	\$2,227.00	\$8.50	\$2,227.00	\$8.50	\$2,227.00	\$9.00	\$2,358.00
87	Pavement Marking, Island Nose, Epoxy, Yellow	EA	14	\$ 300.00	\$ 4,200.00	\$310.00	\$4,340.00	\$200.00	\$2,800.00	\$310.00	\$4,340.00	\$310.00	\$4,340.00	\$310.00	\$4,340.00	\$330.00	\$4,620.00
88	Pavement Marking, Arrow, Epoxy, White	EA	24	\$ 200.00	\$ 4,800.00	\$295.00	\$7,080.00	\$300.00	\$7,200.00	\$295.00	\$7,080.00	\$295.00	\$7,080.00	\$295.00	\$7,080.00	\$320.00	\$7,680.00
89	Pavement Marking, Symbol, Epoxy, White (CHEVRON)	EA	2	\$ 500.00	\$ 1,000.00	\$425.00	\$850.00	\$1,500.00	\$3,000.00	\$425.00	\$850.00	\$425.00	\$850.00	\$425.00	\$850.00	\$450.00	\$900.00
90	Rectangular Rapid Flashing Beacon (RRFB) System	EA	2	\$ 10,000.00	\$ 20,000.00	\$12,150.00	\$24,300.00	\$25,000.00	\$50,000.00	\$12,150.00	\$24,300.00	\$12,150.00	\$24,300.00	\$12,150.00	\$24,300.00	\$13,000.00	\$26,000.00
Base Bid Total:					\$2,454,694.50		\$2,312,631.03		\$2,410,301.50		\$2,535,905.70		\$2,545,441.01		\$2,656,347.15		\$3,082,993.00

**Estimated Project Costs
Valley Inn Way
Lilac Ave
Village of Rib Mountain
Updated May 15, 2025**

Construction Costs		Total
Lilac Ave Construction AS-BID		\$2,312,631.00
Lilac Ave Construction Oversight & Staking - PROPOSED		\$237,100.00
Sub-total		\$2,549,731.00

Design Costs		
Lilac Ave Design Engineering (MSA) - FINAL (\$78,000+\$7,000+\$50,400+\$34,400)		\$169,800.00
Lilac Ave Soil Borings - American Engineering Testing - FINAL		\$9,300.00
Sub-total		\$179,100.00

Real Estate Acquisition Costs		
Right-of-Way Professionals, Inc. - Acquisition Services - FINAL		\$64,520.00
Lilac Ave Real Estate Acquisition - FINAL		\$252,916.00
Sub-total		\$317,436.00

Total Project Costs	\$3,046,267.00
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ITEM: Approval of Estimated Special Assessments for Lilac Avenue and Valley Inn Way

ISSUE: Estimated special assessments were mailed to impacted property owners on May 1, 2025. A Public Information Meeting was held on Monday May 12, and a Public Hearing is scheduled for Tuesday May 20, ahead of the Village Board meeting. Four property owners attended the Public Information meeting, and several others contacted me outside of the meeting. A copy of Preliminary Resolution 25-02, the Public Hearing Notice, the Assessment District Map and a summary of estimated assessments are attached.

It should be noted that Final Assessments are not determined until the project is complete and all costs are known. This would likely occur in the first quarter of 2026.

FISCAL IMPACT: Special assessments are a key component to funding of these projects, accounting for approximately \$1.1 million of the \$3.88 million project cost.

ACTION TO BE TAKEN:

1. Approve Estimated Special Assessments for Lilac Avenue and Valley Inn Way
2. Return to staff for further review.

RESOLUTION 25-02- (REVISED 24-17)

VILLAGE OF RIB MOUNTAIN

Preliminary Resolution Declaring Intent of a Special Assessment Under Municipal Police Powers Pursuant To Section 66.0703 Wis. Stats.

BE IT RESOLVED, by the governing body of the Village of Rib Mountain,
Marathon County, Wisconsin:

1. The Village of Rib Mountain hereby declares its intent to exercise its police powers under section 66.0703, Wis. Stats., to levy special assessments upon property in the Assessment District hereafter described for benefits conferred upon such property by reason of the following public work:

Street Improvements

2. The property to be assessed lies within the following described Assessment District:

ASSESSMENT DISTRICT

All properties adjacent to or with access from Morning Glory Lane from the intersection of Rib Mountain Drive to Lilac Avenue, located in the Village of Rib Mountain.

All properties adjacent to or with access from Lilac Avenue from approximately 250 feet south the intersection of Phlox Lane to Morning Glory Ln., located in the Village of Rib Mountain.

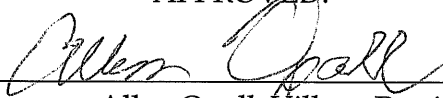
All properties adjacent to or with access from Valley Inn Way from the intersection of Rib Mountain Drive to Lilac Avenue, located in the Village of Rib Mountain.

3. The total amount assessed against the properties in the described Assessment District shall not exceed the total cost of the improvements.
4. The Village Board determines that the improvements constitute an exercise of the police power for the health, safety and general welfare of the municipality and its inhabitants.
5. The Village Street and Park Superintendent shall prepare an Engineers Report which shall consist of:

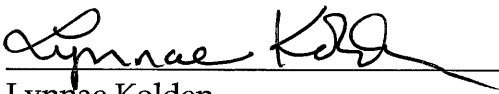
- a. Final plans and specifications for the improvements;
 - b. An estimate of the entire cost of the proposed improvements; and
 - c. Schedule of proposed assessments.
6. Upon completion, the Village Street and Park Superintendent shall file a copy of the Engineers Report with the Village Clerk for public inspection
7. Upon receiving the Engineers Report, the Village Clerk shall cause notice to be given stating the nature of the proposed improvements, the general boundary lines of the proposed improvements, the general boundary lines of the proposed Assessment District, (including a small map thereof,) the time and place at which the report may be inspected, and the time and place of the public hearing on the matters contained in the preliminary resolution and the report. This notice shall be published as a Class 1 notice under Chapter 985, Stats. and a copy shall be mailed, at least 10 days before the hearing, to every interested party whose address is known or can be ascertained with reasonable diligence.
8. The hearing shall be held at the Village Municipal Center at the following address: 227800 Snowbird Avenue, Wausau, WI 54401, in accordance with Municipal Police Powers pursuant to Section 66.0703 Wis. Stats.
9. The assessment against any parcel may be paid in cash or in annual installments, the number of installments shall be determined at the public hearing on the proposed assessments.

Resolved this 21st day of January, 2025

APPROVED:


Allen Opall, Village President

ATTEST:


Lynnae Kolden
Village Clerk

VILLAGE OF RIB MOUNTAIN

NOTICE OF PUBLIC HEARING ON SPECIAL ASSESSMENTS FOR PUBLIC IMPROVEMENTS

PLEASE TAKE NOTICE that the governing body of the Village of Rib Mountain, Wisconsin has declared its intention to exercise its police power in accordance with § 66.0703, Wis. Stats., to levy special assessments upon property within the following described assessment district for benefits conferred upon the property by the installation of street improvements.

ASSESSMENT DISTRICT

The property to be assessed lies within the following described assessment district:

All properties adjacent to or with access from Morning Glory Lane from the intersection of Rib Mountain Drive to Lilac Avenue, located in the Village of Rib Mountain; and

All properties adjacent to or with access from Lilac Avenue from approximately 250 feet south the intersection of Phlox Lane to Morning Glory Ln., located in the Village of Rib Mountain; and

All properties adjacent to or with access from Valley Inn Way from the intersection of Rib Mountain Drive to Lilac Avenue, located in the Village of Rib Mountain.

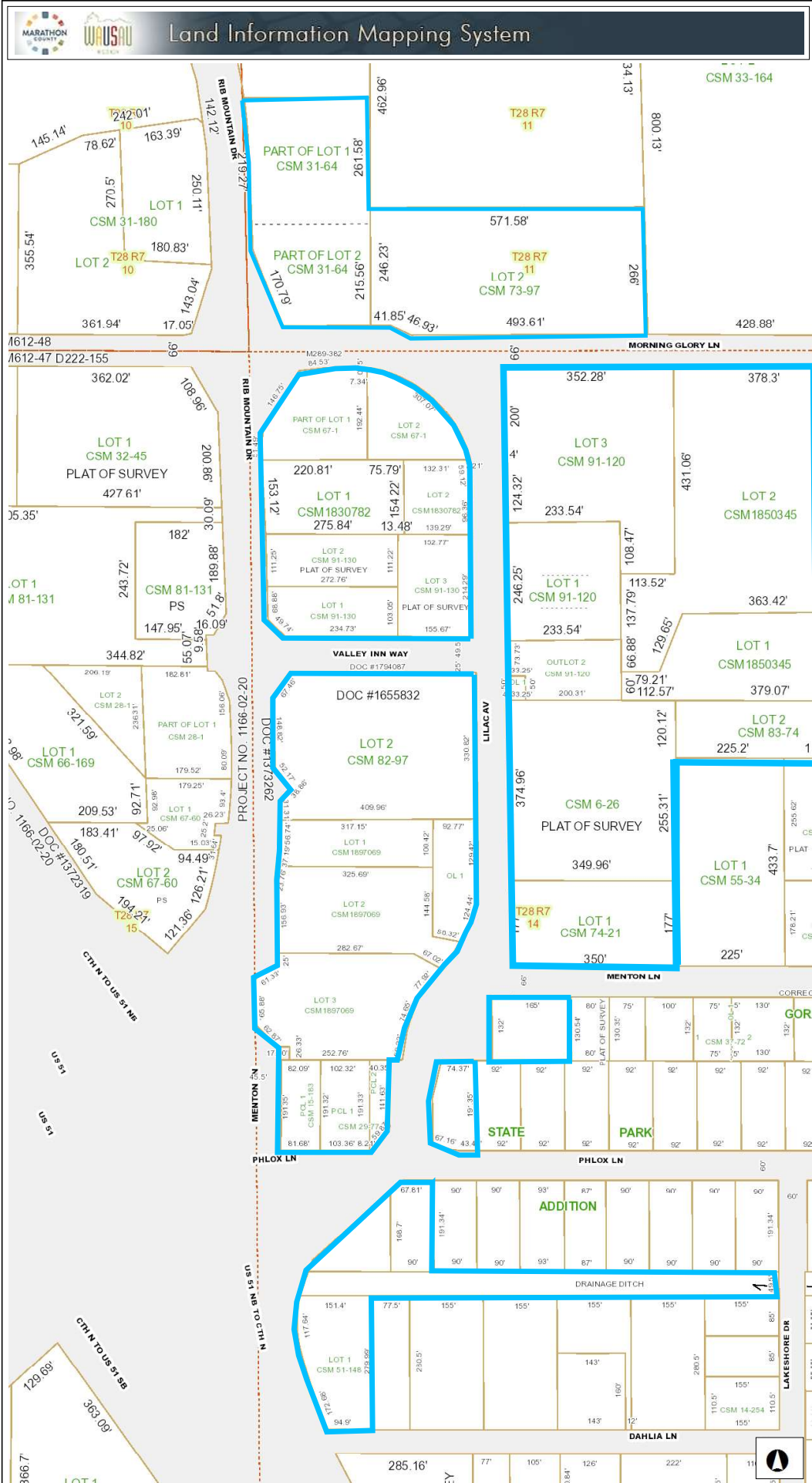
The Village Engineer's report showing the proposed plans and specifications, estimated cost of improvements and the proposed assessments is on file at the Village Clerk's office and may be inspected there during any business day between the hours of 8:00 a.m. and 4:30 p.m.

You are further notified that the governing body of the Village of Rib Mountain, Wisconsin, will hear all interested persons, or their agents or attorneys, concerning matters contained in the preliminary resolution authorizing the assessments and in the above described report at 5:45 p.m. on May 20, 2025, at the following location: Rib Mountain Municipal Center, 227800 Snowbird Avenue, Wausau, WI 54401. All objections will be considered at this hearing and thereafter the amount of the assessments will be finally determined.

Published this 5th day of May 2025.

Lynnae Kolden, Clerk

Village of Rib Mountain



TAYLOR **LINCOLN**

WOOD **PORTAGE**

Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities

Lilac Ave and Valley Inn Way Special Assessment District

**Preliminary Assessments
Valley Inn Way
Lilac Ave
Village of Rib Mountain
April 15, 2025**

Parcel #	Property Owner	Business	2024 Assessed Value	Lot Area Acres	Total Assessment based on Assessed Value	Total Assessment based on Lot Size	Estimated Assessment Average of Value & Lot Size	Credit for Previous Assessments
168-2807-142-0972	Midwest Capital Management LLC	Vapor Lounge, Cricket, Ana's Sewir	\$792,300	0.8380	\$47,736.08	\$24,058.05	\$35,897.06	\$6,172.00
168-2807-142-0971	KB Investments LLC	The Garage Bar	\$308,700	0.6780	\$18,599.18	\$19,464.63	\$19,031.90	
168-2807-142-0954	Kebob Holdings LLC	The Garage Bar Parking Lot	\$256,700	0.4910	\$15,466.18	\$14,096.06	\$14,781.12	
168-2807-142-0955	KB Investments LLC	Granite View Market Liquor Store	\$689,500	1.0330	\$41,542.38	\$29,656.28	\$35,599.33	\$6,237.75
168-2807-142-0962	Engelking Properties LLC	Jiffy Lube	\$1,002,500	0.7000	\$60,400.63	\$20,096.22	\$40,248.42	\$9,482.50
168-2807-142-0963	Lincoln Rib Mountain Holdings LLC	Spectrum	\$756,100	0.6280	\$45,555.03	\$18,029.18	\$31,792.10	
168-2807-142-0961	DT Retail Properties LLC	Dollar Tree	\$1,343,800	0.7590	\$80,963.95	\$21,790.05	\$51,377.00	
168-2807-142-0966	KT Real Estate Holdings	Kwik Trip	\$2,499,900	2.9240	\$150,618.98	\$83,944.79	\$117,281.88	
168-2807-142-0949	RL 225421 Rib Mountain Drive LLC/MM 22542	Former Olson Carpet site	\$90,100	0.5170	\$5,428.53	\$14,842.50	\$10,135.51	\$10,991.25
168-2807-142-0951	RL 225421 Rib Mountain Drive LLC/MM 22542	Former Olson Carpet site	\$316,600	0.7270	\$19,075.15	\$20,871.36	\$19,973.26	
168-2807-142-0950	RL 225421 Rib Mountain Drive LLC/MM 22542	Former Olson Carpet site	\$616,000	1.4140	\$37,114.00	\$40,594.37	\$38,854.19	
168-2807-145-0894	RL 225421 Rib Mountain Drive LLC/MM 22542	Former Olson Carpet site	\$701,800	1.6110	\$42,283.45	\$46,250.02	\$44,266.74	
168-2807-145-0101	Jason D Rickstad/Linda A Rickstad	Hair etc.	\$80,800	0.1600	\$4,868.20	\$4,593.42	\$4,730.81	
168-2807-145-0100	Wang Neng Xiong/Der Vue Xiong	Residential Home	\$177,200	0.4600	\$10,676.30	\$13,206.09	\$11,941.19	
168-2807-145-0075	SPDW Properties LLC	Briq's Soft Serve	\$102,900	0.3600	\$6,199.73	\$10,335.20	\$8,267.46	
Subtotal South & West Side			\$9,734,900	13.30	\$586,527.73	\$381,828.24	\$484,177.98	\$32,883.50
168-2807-113-095	Aldi Inc/Ryan Tax Compliance Service LLC	Aldis	\$1,995,500	2.632	\$120,228.88	\$75,561.80	\$97,895.34	\$16,204.75
168-2807-113-0938	Goodwill Industries of N Central Wisconsin Inc	Goodwill	\$1,077,700	1.7405	\$64,931.43	\$49,967.82	\$57,449.62	
168-2807-142-0958	TRS Development LLC	Warehouse	\$566,900	2.879	\$34,155.73	\$82,652.89	\$58,404.31	
168-2807-142-0952	TRS Development LLC	Warehouses	\$1,149,100	4.965	\$69,233.28	\$142,539.64	\$105,886.46	
168-2807-142-0960	Gray's Rib Mountain LLC	Culver's	\$938,000	1.32	\$56,514.50	\$37,895.73	\$47,205.12	
168-2807-142-0956	Gray's Rib Mountain LLC/TRS Development L	Pond by Culver's	\$110,400	0.634	\$6,651.60	\$18,201.44	\$12,426.52	
168-2807-142-0957	Rib Mountain Sanitary District	Utility	\$6,600	0.038	\$397.65	\$1,090.94	\$744.29	
168-2807-142-0953	Marvin Development V LLC	Taco Bell	\$793,300	1.771	\$47,796.33	\$50,843.44	\$49,319.88	
168-2807-142-0999	Ryder Truck Rental Inc/C/O Property Tax Dep	Ryder Truck Rental	\$936,500	3.04	\$56,424.13	\$87,275.03	\$71,849.58	
168-2807-142-0964	Ryder Truck Rental Inc	Ryder Back Lot	\$181,900	1.044	\$10,959.48	\$29,972.08	\$20,465.78	
168-2807-142-0996	HSH Mountain Properties LLC	Warehouse	\$481,400	1.42	\$29,004.35	\$40,766.62	\$34,885.49	
168-2807-145-0992	Henry J Yach/Sandra C Yach	Vacant Land	\$41,800	0.5	\$2,518.45	\$14,354.45	\$8,436.45	
168-2807-145-0047	Jeremy Owens	Residential Home	\$134,900	0.38	\$8,127.73	\$10,909.38	\$9,518.55	
168-2807-145-0058	Wisconsin Department of Transportation	Ponds	\$200	0.389	\$12.05	\$11,167.76	\$5,589.90	
168-2807-145-1046	Wisconsin Department of Transportation	Ponds	\$200	0.37	\$12.05	\$10,622.29	\$5,317.17	
168-2807-145-0994	Marathon County	Drainage Ditch	\$78,800	1.81	\$4,747.70	\$51,963.09	\$28,355.40	
168-2807-145-0896	A-Team Properties LLC	RestorU	\$31,210	0.0881	\$1,880.40	\$2,529.25	\$2,204.83	
Subtotal North & East Side			\$8,524,410	25.021	\$13,595.70	\$718,313.65	\$615,954.68	\$16,204.75
Project Totals			\$18,259,310	38.32	\$1,100,123.43	\$1,100,141.89	\$1,100,132.66	\$49,088.25

Project Preliminary Cost Summary

- 1 Total Project Value, Area (acres) and Foot Frontage =
- 2 Estimated Project Costs Valley Inn Way and Lilac Ave =
- 4 State TRI D Lilac Ave Funding =
- 7 Other Funding - Developer Agreements
- 8 Total Grant and Other Funding =
- 9 Total Project Costs minus Total Funding =
- 10 Village Funding 60% =
- 11 Assessment Funding 40% =
- 12 Total Preliminary Assessment Rate per Acre and Foot Frontage (#11 / #1) =

Assessment Rate Based on Assessed Value	Assessment Rate Based on Lot Size
\$18,259,310	38.321
	\$3,883,618.16
	(\$1,133,263)
	\$0.00
	(\$1,133,263.00)
	\$2,750,355.16
	\$1,650,213.10
	\$1,100,142.06
\$0.06025	\$28,708.89



ITEM: Approval of Construction Phase Services for Lilac Avenue

BACKGROUND:

With the Lilac Avenue project moving to the construction phase, it is necessary to amend the MSA Agreement to add construction phase services, including contract administration, staking, observation, project closeout and record drawings. The proposed amendment from MSA is attached.

FISCAL IMPACT:

A summary of estimated project costs was provided with the bid award recommendation. There is a projected project shortfall of about \$9,300. Staff will provide recommended options at the meeting for funding the shortfall.

ACTION TO BE TAKEN:

1. Approve the Engineering Amendment with MSA for construction phase services on Lilac Avenue in the amount of \$237,100.
2. Return to Staff for further review.

This is **EXHIBIT K**, consisting of 2 pages, referred to in and part of the **Agreement between Owner and Engineer for Professional Services** dated November 2, 2021.

AMENDMENT TO OWNER-ENGINEER AGREEMENT
Amendment No. 4

1. *Background Data:*

Effective Date of Owner-Engineer Agreement: November 2, 2021

b. Owner: VILLAGE OF RIB MOUNTAIN

c. Engineer: MSA PROFESSIONAL SERVICES, INC.

d. Project: LILAC AVENUE RECONSTRUCTION (PHLOX LANE – MORNING GLORY LANE)

Description of Modifications:

- a. Engineer shall perform or furnish the following Additional Services:

1) Construction Phase Services

- b. The Scope of Services currently authorized to be performed by Engineer in accordance with the Agreement and previous amendments, if any, is modified as follows:

- 1) Construction Phase (pursuant to Exhibit A1.05) of the OE Agreement and Appendix 1d included with this amendment.*
2) Resident Project Representative Services (pursuant to Exhibit C) of the OE Agreement and Appendix 1d included with this amendment.

- c. The responsibilities of Owner are modified as follows:

1) None.

- d. For the Additional Services or the modifications to services set forth above, Owner shall pay Engineer the following additional or modified compensation:

Construction Administration	\$58,200	Lump Sum
Construction Staking	\$36,700	Lump Sum
Construction Observation	\$142,200	Estimated Fee
TOTAL Amendment 4	\$237,100	

5. Agreement Summary (Reference only)

a. Original Agreement amount:	<u>\$ 78,000</u>
b. Net change for prior amendments:	<u>\$ 91,800</u>
c. This amendment amount:	<u>\$ 237,100</u>
d. Adjusted Agreement amount:	<u>\$ 406,900</u>

The foregoing Agreement Summary is for reference only and does not alter the terms of the Agreement, including those set forth in Exhibit C.

Owner and Engineer hereby agree to modify the above-referenced Agreement as set forth in this Amendment. All provisions of the Agreement not modified by this or previous Amendments remain in effect. The Effective Date of this Amendment is May 19, 2025.

OWNER:

ENGINEER:



By: Allen Opall

By: Dan Borchardt, PE

Title: Village Chairman

Title: Team Leader

Date
Signed: _____

Date Signed: May 19, 2025

This is **APPENDIX 1d** to **EXHIBIT A**, consisting of 3 pages, referred to in and part of the **Agreement between Owner and Engineer for Professional Services** dated November 2, 2021.

PROJECT DESCRIPTION

The project consists of:

1. Lilac Ave Reconstruction (Phlox Ln to Rib Mountain Dr) - Approximately 2,450 LF of Street Reconstruction
 - a. Work includes concrete storm sewer inlets & manholes, HDPE storm sewer pipe & culverts, unclassified excavation, base aggregate dense, HMA pavement, concrete driveway & sidewalk, curb and gutter, pavement marking, signing, traffic control and restoration.

SCOPE OF SERVICES

MSA will provide services as set forth below.

1. Construction Administration

- Project Administration: Manage and coordinate project team, budget and schedules. Maintain communication with Owner and stakeholders on project.
- QA/QC: Employ documented quality-assurance/quality-control procedures throughout project.
- Pre-Construction Meeting: Coordinate and Conduct Preconstruction Meeting
- Construction Progress Meetings: Facilitate and attend bi-weekly meetings
- Contractor Communication: Respond to Contractor Requests for Information and assist in interpretation of contract documents in person, in writing, or by telephone.
- Submittal Review: Review Contractor Shop Drawings, Submittals, Schedules and Samples for compliance with Construction Documents.
- Site Visits: Make periodic site visits to observe contractor's work in progress (maximum 12 visits concurrent with progress meetings).
- Meetings: Attend meetings of Owner Board/Council/Committee as needed to present project information (maximum 2 meetings).
- Change Orders: Review Change Order requests from Contractor; recommend Change Orders to Owner as appropriate.
- Applications for Payment: Review Contractor Applications for Payment; make payment recommendation to Owner as appropriate. (6 pay applications anticipated)
- Project Closeout: Prepare punch list (items to be completed or corrected), and Substantial Completion Certificate. Review Contractor work and completion documents for compliance with construction contract and readiness for final payment (*includes warranty documentation and lien waiver review*).

2. Construction Staking

Provide line and grade stakes for:

- slope stakes & reference line/alignment
 - i. slope stakes on each side of the road every 50 feet that include offset to reference line and offset to slope intercept
 - ii. elevation hubs behind the slope stakes every 50 feet on one side of the road

- storm sewer
 - i. offset stakes to each inlet, catch basin, manhole structure, or apron endwall
- pipe culverts
 - i. offset stakes to each apron endwall at the pipe connection end
- subgrade
 - i. hubs set to top of subgrade every 50 feet at 3 points across the road
- dense graded base
 - i. hubs set to top of dense graded base wherever base grade isn't directly defined by adjacent curb and gutter.
 - 1. Where needed, every 50 feet at 1 point across the road and more in intersections as needed.
- curb and gutter
 - i. Stake and cut fill hub every 50 feet
 - 1. Every 25 feet in vertical or horizontal curves
 - 2. High and low points
 - 3. Intersection radii
- curb ramps
 - i. opening locations only
- infiltration basin
 - i. slope intercept stakes at top of pond
 - ii. elevations hubs and cut to bottom of pond

3. Construction Observation

- Furnish a Construction Observer to observe the progress and quality of the Contractor's work on the Project. Duties and responsibilities of the CO include:
 - Attend meetings with Contractor, such as preconstruction conferences and progress meetings.
 - Assist in communication between Engineer, Contractor and Owner, especially when additional information, interpretation, or clarification is needed regarding existing conditions or contract documents.
 - Conduct on-Site observations of Contractor's work in progress to assist Engineer in determining if the Work is in general proceeding in accordance with the Contract Documents.
 - Verify that tests, equipment, and systems start-ups are conducted and documented appropriately.
 - Maintain orderly files and prepare a daily report recording Contractor's hours and activities at the site.
 - Review applications for payment with regard to Work completed, and materials and equipment delivered at the Site.
 - Participate in visits to the Project to determine punch list items, and readiness for Substantial Completion and Final Completion.
- The estimated fee for services is based on:
 - i. RPR
 - 1. 95 days of Construction Observation for 9 hours per day at the site.
 - 2. 10 days of Secondary Staff Construction Observation for 8 hours per day at the site for when 2 crews are performing concurrent operations.

4. Post Construction

- Record Drawings: Prepare Record Drawings based on addenda, Field Orders, Change Orders and Contractor's Records
- Operation and Maintenance Manuals: Compile Operation and Maintenance Manuals from information provided by Contractor.
- Correction Period: Visit site with Owner one month prior to end of Contractor's correction period to ascertain if any work is subject to correction.

SUBCONSULTANTS

MSA does not anticipate the use of subconsultants for construction administration, staking, or observation work. If materials testing is requested by the Owner during the project, MSA recommends that the Owner contract directly with a third-party consultant to complete the following tasks which are not included in our fee. MSA will assist in coordinating this work.

DELIVERABLES

MSA will provide the following deliverables:

1. Record Drawings: two (2) paper copies, and one PDF file.

PROJECT SCHEDULE

MSA anticipates the following estimated project schedule:

Date	Milestone
May 2025	Owner approves Amendment
June 2025	MSA begins work
June 2025 to November 2025	Construction
December 2025 / January 2026	Project Closeout



ITEM: Administrator's 2025 Goals

ISSUES: Attached you will find the Administrator's 2025 Goals. The goals were based on previous goals, feedback given during the performance review and the strategic priorities.

Updates to the goals will be given throughout the year.

FISCAL IMPACT N/A

ACTION TO BE TAKEN:

1. Motion to approve the 2025 Goals as presented.
2. Motion to approve the 2025 Goals with the following _____.
3. Motion to send back to staff for further review.

GOAL SHEET

Supervisors: Goals should have a specific outcome that can be measured. Meaning that measure results must be available. Goals can be measured in time, increase, decrease or accomplishment. The goal must be achievable and within the control of the individual responsible for the goal. Lastly, the goal must have a specific date by which it must be accomplished.

STATED GOAL	MEASUREMENT	TIMEFRAME	STRATEGIC PRIORITY	STATUS AS OF
Employee Engagement	<ul style="list-style-type: none"> Continue surveying employees annually. Explore other survey methods instead of Gallup 12 if feasible. Budget for FY 2026. Work with PW Staff. Continue to meet bi-weekly. Drop-in or check-in to see how they are doing. Provide mentorship with the PW Foreman. 	2025-2026	(B) Beneficial Bucket: Hiring and retaining talented, engaged	
Improve Rib Mountain's role in Broadband expansion/development.	<ul style="list-style-type: none"> Attend the County's Broadband Task Force Meetings. Support Marathon County in their Broadband initiatives – write letters of support for grant activities. Attend seminars and/or training sessions on Broadband to help find better opportunities for Rib Mountain. 	2025-2026	(B) Beneficial Bucket: Information Technology is key to a successful municipal organization and key to a successful community.	
Adoption of a marketing plan for the Village.	<ul style="list-style-type: none"> Create a marketing plan. Adoption of plan by the Village Board. The plan will have actionable items, timeline, and costs associated with it. Create focus of community by businesses and residents. This can be done through community events like Food Truck Night & Community Outreach. Continue to push the "Rib Mountain" brand forward. Recognize businesses who utilize the word "Rib Mountain" in their location identification. Work on using social media more frequently spreading the good news about Rib Mountain. This could be through ribbon cutting ceremonies, local events (Lion's Club Steak Fry), Doepke Recreation Area activities, Recreation Program, etc. Work with staff on social media. 	2025-2026	(C) Critical Bucket: The expansion of recreational facilities within Rib Mountain will create opportunities and challenges.	
Work with the Visitor Bureau to ensure that Rib Mountain is receiving a return on investment.	<ul style="list-style-type: none"> Represent the Village on the Visitor Bureau Board of Directors in the absence of the President. Ensure the CVB is adhering to the agreement. Be diligent to make sure Rib Mountain is well represented in advertising campaigns through the Visitor Bureau. If things are missed these need to be brought to the CVB's attention. Provide solutions/options for the Board if dissatisfaction continues with CVB. 	2025-2026	(C) Critical Bucket: The expansion of recreational facilities within Rib Mountain will create opportunities and challenges.	
Facilitate Residential Development	<ul style="list-style-type: none"> Make contacts with developers on residential opportunities. Check-in with large vacant landowners on their properties to see whether they are interested in developing their properties. Present residential opportunities to the Board. 	Throughout the year	(C) Critical Bucket: An increase in population and valuation is important to	

	<ul style="list-style-type: none">Facilitate ways to help developers on residential projects (i.e., Capital Improvement opportunities).Provide updates to the Village Board (or Committee) on efforts.		maintaining a level cost of government.	
Community Engagement with the new development, road construction, and other residential impactful events/items.	<ul style="list-style-type: none">Staff will continue to have tables at each election informing the public on potential development and road construction projects that may be related to the projects.Review the Community Outreach event to see if this will work going forward.Use opportunities to directly contact residents when there are projects/events that may directly impact them.	Throughout the year.	(B) Beneficial Bucket: Hiring and retaining talented, engaged employees is critical to the successful provision of municipal services and cultivating community support.	
Fire Fees	<ul style="list-style-type: none">Work with Ehlers to review Fire Fees as an alternative to levying fire services.Bring the adoption of Fire Fees to the Village Board.Help educate the public on the transition of the fire costs moving from the levy to a charge.	FY 2026-2027	(C) Critical Bucket: An increase in population and valuation is important to maintaining a level of cost of government.	
Emotional Intelligence Skills and Body Language	<ul style="list-style-type: none">Continue to seek training in emotional intelligence. Take advantage of the free training sessions offered through the Village's Employee Assistance Program.Work on not sweating the small stuff (i.e., technology failure).Be aware of body language and attempt not to overreact to situations when things do not go as planned.	Throughout the year	(B) Beneficial Bucket: Hiring and retaining talented, engaged employees is critical to the successful provision of municipal services and cultivating community support.	

Signature of Supervisor

Signature of Employee

STRATEGIC PRIORITIES – VILLAGE BOARD

Bucket: C An increase in population and valuation is important to maintaining a level cost of government.

- Proactive partnerships with developers for expansion and creating of housing opportunities.
- Redevelopment of older residential and commercial building sites will require different approaches.
- Low-maintenance housing (senior), single-family, and increased density should be incorporated into future plans.
- Create ways to spur development. Could be through incentives and outright purchase of property for development.

Bucket: C The expansion of recreational facilities within Rib Mountain will create opportunities and challenges.

- As the attractiveness of some locations is increased (Granite Peak, State Park, Nine-Mile, local parks, etc.), the opportunity for favorable development agreements that provide short- and long-term public amenities is also increased.
- Rib Mountain to build upon marketing efforts and community branding.
- Increased traffic and visitors to the community may contribute to a need for additional public services (law enforcement, public roads, etc.).
- Lead effort to build walking/biking around the base of State Park and development of Municipal parks (i.e., bathrooms at Liberty), and snow-making at Nine-Mile Recreation Area.

Bucket: B Rib Mountain Drive re/development can be guided by the Corridor Plan already in place.

- Utilize the TID and using it as a tool to encourage redevelopment and development. Proactively search for mixed use residential/commercial development.
- Promote gap financing funds opportunities.
- Pedestrian safety needs to be built into future plans to redevelop Rib Mountain Drive and all of the retail corridor.
- Infrastructure needs to be revaluated and planned before development occurs.

Bucket: B Hiring and retaining talented, engaged employees is critical to the successful provision of municipal services and cultivating community support.

- Maintaining a benefits package that can be viewed as an investment in the future.
- Having a positive culture of public service is critical. Utilization of employee engagement plan is needed.
- We strive for a slightly undersized municipal workforce that are talented, well led and highly productive.

Bucket: N Partnerships are the key to our future success in managing the cost of government without sacrificing services or reducing the quality of services. Village should look into new opportunities for involvement.

- Retain and expand successful partnership through positive relationships at the governance and staff level.
- Staff and board members are encouraged to continue to participate in the governance of community organizations to establish relationships and identify strategies that can benefit our Town.

Bucket: B Information Technology is key to a successful municipal organization and key to a successful community.

- Fiber optic expansion can provide the IT infrastructure for both the long and short term.
- Village leadership shall be alert to emerging opportunities to improve information technology through grants or private-public partnerships.

Bucket: B We need to plan for rebuilding and maintenance of our roads.

- Criteria for prioritizing road rebuilding needs to be reviewed and well communicated.
- Budgets need to provide steady financial resources.
- Infrastructure needs to be revaluated and planned before development.

ADOPTED BY VILLAGE BOARD MAY 7, 2024



ITEM: Updates to Strategic Priorities

ISSUES: Attached you will find the Village of Rib Mountain's Strategic Priorities. Strategic Priorities were updated last year due to many changes in the Village, primarily with the incorporation. This time around there does not appear to be significant changes within the community compared to the prior period.

.

Does the Board feel anything needs to be updated? If so, what updates are recommended?

FISCAL IMPACT N/A

ACTION TO BE TAKEN:

1. Motion to approve
2. Motion to send back to staff for further review.

STRATEGIC PRIORITIES – VILLAGE BOARD

Bucket: C An increase in population and valuation is important to maintaining a level cost of government.

- Proactive partnerships with developers for expansion and creating of housing opportunities.
- Redevelopment of older residential and commercial building sites will require different approaches.
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- Infrastructure needs to be revaluated and planned before development.

REVIEWED BY VILLAGE BOARD MAY 20, 2025



ITEM: 2025 Direct Seller / Mobile Food Vendor Application

ISSUES:

The Village received an application with all required permit copies and fees from Jack Arndt for an Ice Cream Truck. For area streets. For the period of 30 Days @ \$50.00. Background check was run with no issues.

FISCAL IMPACT: Fees collected.

ACTION TO BE TAKEN:

1. Motion to approve the 30-day Mobile Food Vendor permit for Jack Arndt for an Ice Cream Truck.
2. Motion to deny the license and state reason.



South Area Fire & Emergency Response SAFER District

224225 Hummingbird Rd. Wausau, WI. 54401
Phone (715)355-6763 Fax (715)355-6805

Joshua Finke
Fire Chief

Eric Lang
Deputy Fire Chief



Although it is peak wildfire season in Wisconsin our numbers for wildland fires this year have been low. We have had several burning complaints in both communities, however, nothing out of the ordinary. We are beginning to see some good results in revenue from our new billing agency. Multiple different changes had to be made with payors during this process which took a substantial amount of time. Our administrative assistant spent a great deal of time and effort into this project. Unfortunately, the new ladder truck suffered a significant leak and was sent out for repair for about 2 weeks, it has since returned. We did respond to multiple structure fires in the month of April, a detailed report is found below.

We are in the process of cleaning and doing some minor updates such as painting in the intern crew quarters. We hope to have this wrapped up no later than May 28th, interns move in on June 1st. Firefighter Brianna Welch has successfully completed her paramedic program and will now work through her training phases. We continue to wait on news regarding the SAFER grant, as of today there are no updates.

Respectfully,

Joshua J Finke

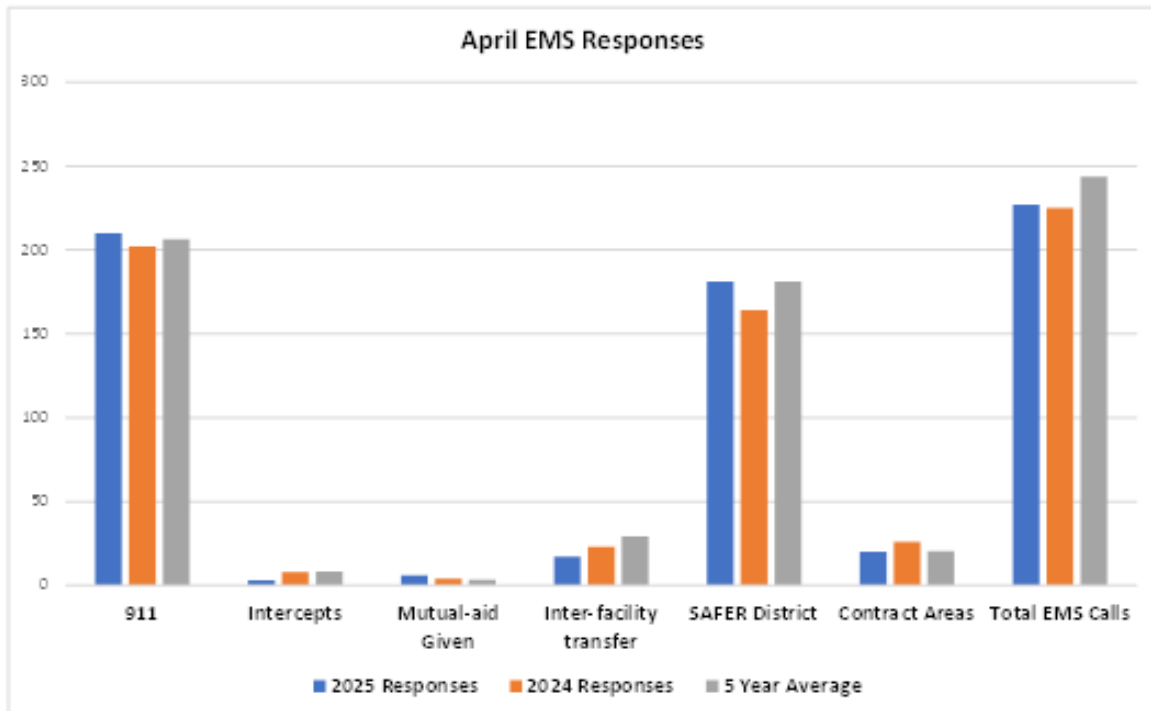
Joshua J Finke

Fire Chief

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April EMS Response Report

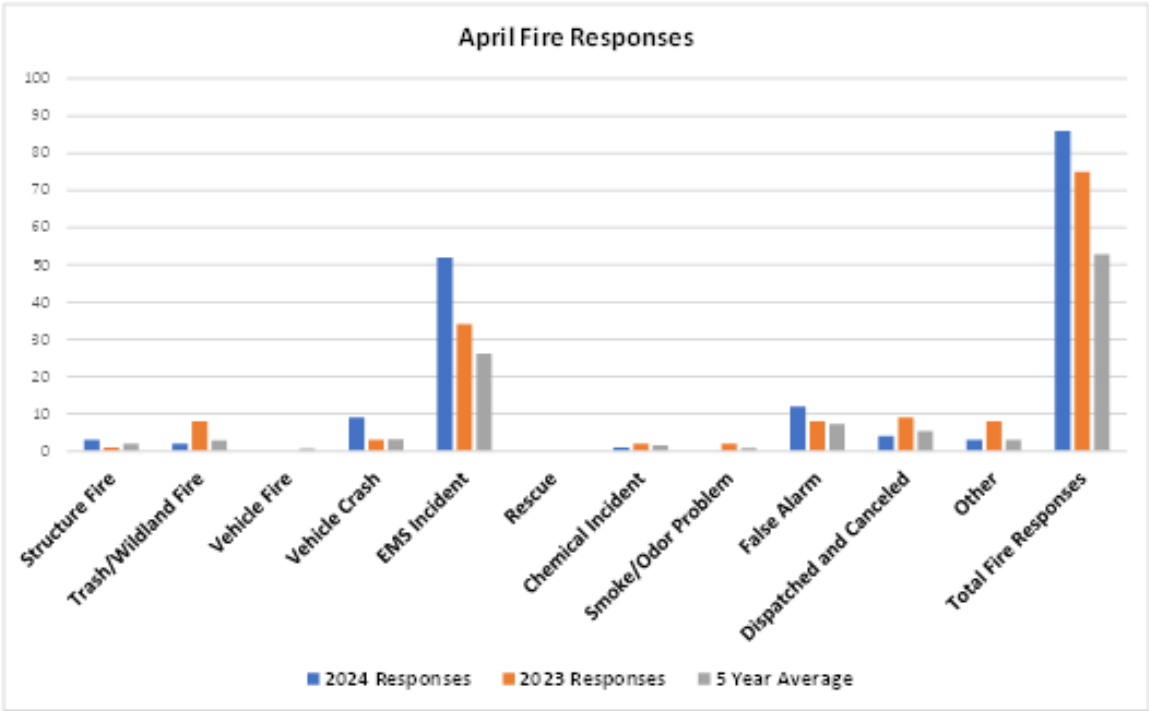
	<u>2025</u>	<u>2024</u>	<u>5 year Average</u>
911	210	202	206.4
Intercepts	3	8	8.4
Mutual-aid Given	6	4	3.4
Inter-facility transfer	17	23	29.2
SAFER District	181	164	181.0
Contract Areas	20	26	20.2
Total EMS Calls	227	225	243.8



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April Fire Response Report

	2025	2024	5 year Average
Structure Fire	3	1	2.0
Trash/Wildland Fire	2	8	2.8
Vehicle Fire	0	0	0.6
Vehicle Crash	9	3	3.2
EMS Incident	52	34	26.2
Rescue	0	0	0.0
Chemical Incident	1	2	1.6
Smoke/Odor Problem	0	2	0.8
False Alarm	12	8	7.2
Dispatched and Canceled	4	9	5.4
Other	3	8	3.0
Total Fire Responses	86	75	52.8





Administrator Report

Date: 5/16/25
To: Village Board
From: Gaylene Rhoden

Projects/Tasks/Meetings

- Attended a webinar for the Walmart/Sam's Club grant program. Deputy Mielke and I have been working on reestablishing our account for their grant program. Walmart switched their grant administration program to another entity. Based on the "chat" within the webinar, we are not the only ones having difficulty getting our account activated.
- Chaired the Wisconsin City/County Management Association's Nomination Committee meeting. As mentioned previously, this is my last part of my role as the immediate Past President for the state association.
- Attended the MPO monthly meeting.
- Prepared and attended the Park Commission meeting. We reviewed several items including the Liberty Park shelter and the possible Rotary Club donation.
- Attended the Travel Wisconsin social media webinar. Unfortunately, the webinar was heavily geared towards private businesses and provided minimal value to our organization.
- Briefly attended the Plan Commission meeting. Due to outside commitments, I had to leave early.
- Prepared and attended the Rib Mountain Pedestrian and Bicycle Safety Committee meeting. Due to lack of quorum, we could not hold the meeting.
- Attended the MCDEVCO Micro Loan meeting remotely. The loan was for an existing business that is expanding in Wausau.
- Worked with the Finance Director Krenke was reviewing the costs for Valley Inn Way and Lilac Avenue project.
- Worked on following up on several meeting items from Board and Committee meetings.
- Attended the Annual Employee Appreciation Luncheon. Trustee Conklin did a nice job thanking the employees.
- Participated in the Bike to Workday!
- Worked on following up with a candidate lead with our recruiter. At the time of this memo, I do not have any further updates.

Current & Upcoming Tasks/Projects

Task	Due Date	Status	Notes
Employee Engagement	Throughout 2025	In Progress	Quarterly employee engagements activities, survey, work with departments (PW)
Improve role in Broadband	Throughout 2025	In Progress	Attend County's Broadband Task Force meetings, introduce

expansion & development			Broadband Forward Initiative, attend seminars/training sessions
Marketing	Throughout 2025	In Progress	Incorporate new logo, rebrand community as a village, inform residents the importance of Rib Mountain as a community
Work with the Visitor Bureau to ensure Rib Mountain is receiving return on investment	Throughout 2025	In Progress	Represent the Village on the Board of Directors, ensure quarterly reports are provided, be diligent on making sure Rib Mountain is well represented in advertising campaigns
Facilitate Residential Development	Throughout 2025	In Progress	Make contacts with developers. Create resolution that outlines a proactive/positive approach to development, develop TID along CTH NN that could assist with residential development
Community Engagement	Throughout 2025	In Progress	Staff informational tables at elections, continue to use social media to spread the good word
Improve Emotional Intelligence Skills & Body Language	Throughout 2025	In Progress	Attend training that addresses these areas. Work on "reading the room" and body language

The following is a tentative schedule of meetings I will be attending:

Monday, May 19	Here	First Annual Committee/Commission Dinner
Tuesday, May 20	Here	WCMA Executive Committee Meeting
Wednesday, May 21	Here	CWED Monthly Meeting – Annual Meeting
Thursday, May 22	Here	Central HR Quarterly Meeting
Thursday, May 22	Here	Region 2 Meeting WCMA
Thursday, May 22	Here	WCMA Nomination Committee Meeting
Thursday, May 15	Here	Annual Employee Recognition Luncheon
Wednesday, May 28	Here	Health Insurance Group Meeting
Wednesday, May 28	Schofield	CVB Annual Dinner

Final notes: I will be updating my Goals within the Administrator's report once they are adopted by the Village Board.

I will be scheduling the annual Rib Mountain Community Improvement Foundation meeting by the end of this month. The meeting will elect new officers and approve expenditures. There are expenditure requests through the Park Commission for fencing and other items.

In June, I will be looking at signing up for the International City/County Management Association Annual Conference this October. The hotel block typically opens at that time. I do not attend every year; however, I evaluate not only the location, but the Administrator's budget. This year's conference will be held in Tampa, Florida. The Florida Manager's Association is strong; therefore, I expect there to be a robust program. Also, this event helps me fulfill my Credentialed Management training hours requirement. If you have any questions, please let me know.



Community Development Report

Date: May 16, 2025
To: Village Board
From: Jared Grande

- 5/6 attended a free WAOW TV Seminar on marketing in Plover.
- 5/6 Centergy EDO meeting in Mosinee.
- 5/7 Jeremy and I did shoreland setback check.
- 5/7 interview with potential internship candidate.
- 5/7 call with Dean on legal question.
- 5/12 interview with potential internship candidate.
- 5/12 assisted with Lilac Ave information meeting.
- 5/13 MCDEVCO Municipality meeting.
- 5/13 attended virtual league round table.
- 5/13 attended Wausau MPO meeting.
- Note: I have continued to assist with the Liberty Park shelter project. Jeremy Kloos is going to be the point of contact for the Village working with Funktion Design.
- Note: the intern position has been posted and we received four applications. Staff is working on reviewing and setting up interviews with the applicants.
- Note: I continue to assist the Public Works Department on various daily tasks or requests. This may include road limit questions/requests, street project questions, assisting with Lilac Ave project, and stormwater questions or situations.
- Note: [More Housing Wisconsin](#), a collaboration between the Wisconsin Realtors Association, the Wisconsin Builders Association, and the League of Wisconsin Municipalities, seeks to educate and inform Wisconsin city and village leaders and staff about zoning changes and other strategies communities can use to help address this state's housing shortage.
- Note: I have been assisting Gaylene with filling the Street and Parks Director position.



Current & Upcoming Tasks/Projects

Task/Project	Due Date	Status	Notes
Community Branding & Development of Marketing Plan	Unknown	In progress	New Logo has been created. Entry signs are under construction. Staff works on other aspects.
Planning of commercial corridors that feed into tourism areas (Rib Mountain State Park, retail district)	Unknown	In progress	Corridor Study, etc.
Grant opportunities to help fund projects that serve our recreational goals	Early 2024	In progress	Wrapping up final edits with Ayres & Assoc.
Development of Tax Incremental District for CTH NN	End of Summer 2024	In progress	discontinued
Complete Corridor Study	Spring 2024	Sam Wessel had kick off meeting on 9/17 with Plan Commission.	discontinued
Purchase of property for development or redevelopment	Unknown	In progress	Always evaluating potential property.
Marketing for residential housing including engaging with property owners	Unknown	In progress	Article in Village Beat. Resolution passed. Locate in WI placed on website
Facility Improvement Plan	Unknown	In Progress	Discussions internally.

Date: May 16, 2025
To: Village Board
From: Benjamin Krenke

Projects/Tasks/Meetings

- Reviewed accounts receivable, accounts payable, payroll, and journal entries.
- Met with M3 regarding Chamber Health Plan Initiative
- Coordinated annual employee appreciation lunch on May 15th
- Coordinated committee/commission appreciation for May 19th
- Completed April bank reconciliations for all accounts
- Submitted Village WRS remittance for the month of April
- Attended SAFER Fiscal Agent meeting
- Prepared Water Utility April Financial Report
- Prepared Village May Financial Report – included in packet
 - \$707,746 general fund surplus to date
 - Note: 54% of property taxes collected
 - \$2,844,657 unreserved fund balance

Current & Upcoming Tasks/Projects

Task/Project	Due Date	Status	Notes
Working with CLA regarding filing of 990T Tax Credit form for Solar Array		On Going	Forms filed with IRS
SLFRF (ARPA) Annual Report	4/30/25	Completed	Annual ARPA expenditure report
Debt payments	Various	On Going	Coordinate Village and Water Utility debt payments
Fire Fee Study		On Going	Working with Ehlers on contracted Fire Fee Study

VILLAGE OF RIB MOUNTAIN
April 30, 2025 Budget Status Report

(33.3% of the year complete)

General Fund Revenue to Date: 46.4% has been collected for 2025 compared to 47.4% collected in 2024, at this time.

2025 revenues = \$ 2,065,835

2024 revenues = \$ 2,021,843

- 50.2% of the transportation aid and 0.0% of the shared revenue has been collected.
- Interest revenue is 61.4% of the budgeted amount.
- 54.1% of property taxes were collected through the February Settlement. This amount was proportionately assigned to the General Fund, Debt Service Fund, and TID #1.

General Fund Expenditures to Date: 31.4% has been expended for 2025 compared to 30.5% spent in 2024, at this time.

2025 expenditures = \$ 1,398,863

2024 expenditures = \$ 1,301,184

- 50.0% of our SAFER obligation has been paid.
- 53.5% of our Deputy contract has been paid
- 25.0% of Public Fire Protection has been paid to Water Utility

The Unassigned Fund Balance as of 04/30/2025 was \$2,844,657

The Village's General Fund Policy requires a minimum unassigned fund balance of 20-25% of current year expenditures.

At 04/30/2025 the fund balance was at 203.4%.

If we were to assume the applied fund balance for FY2025 was collected, and expenditures equaled the budgeted amount, the unassigned fund balance at 12/31/2025 would have been roughly 51.04%.

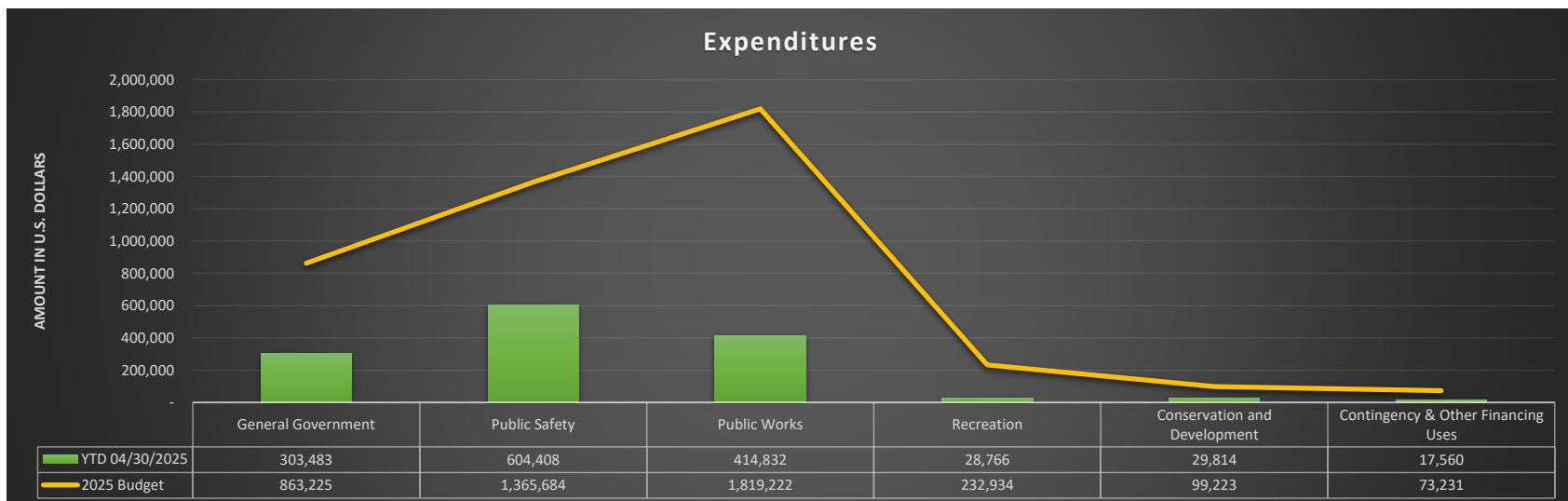
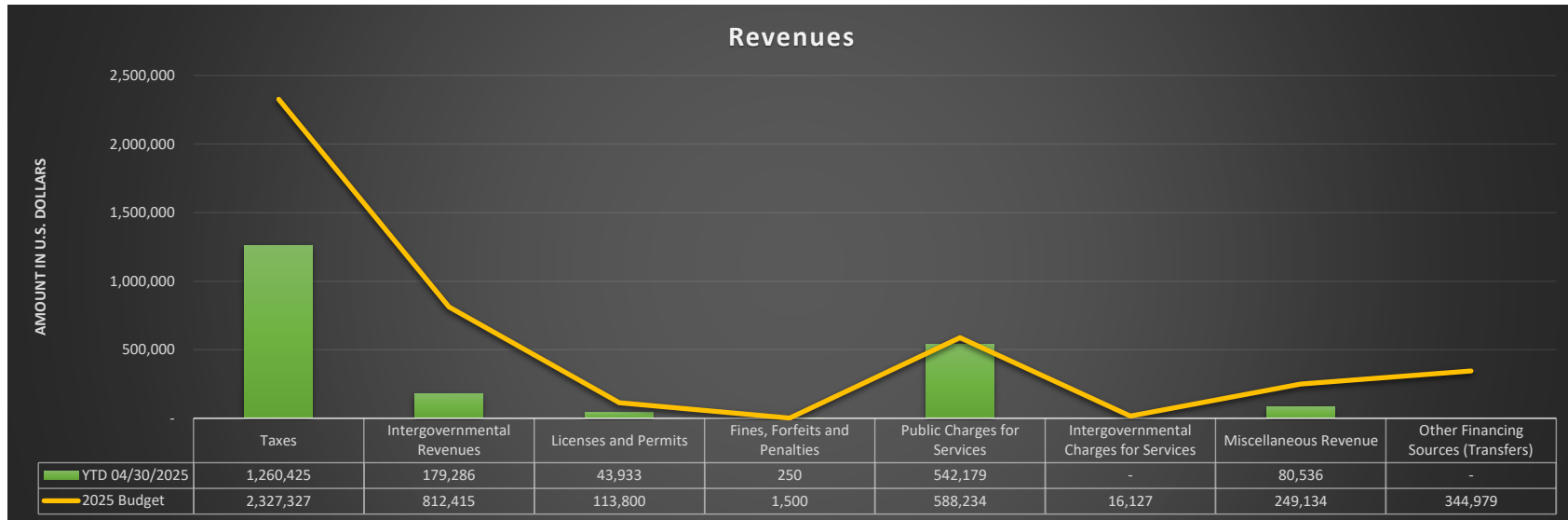
VILLAGE OF RIB MOUNTAIN
Banking and Investment Summary
4/30/2025

Fund	Account/Type	Location	Yield	Balance
General	Checking	Peoples	4.48%	\$ 2,774,117.60
Parkland	Checking	Peoples	4.48%	\$ 57,779.63
ARPA	Checking	Peoples	4.48%	\$ 26,354.77
Debt	Investment	LGIP	5.40%	\$ -
Debt	Checking	Peoples	4.48%	\$ 301,982.10
TID #1	Checking	Peoples	4.48%	\$ (959,601.20)
Cap Imp	Checking	Peoples	4.48%	\$ (247,056.87)
Doepke	Checking	Peoples	4.48%	\$ 53,346.33
				2,932,327.58
Summary by Bank				
Peoples				\$ 2,932,327.58
LGIP				\$ -
				<hr/>
				\$ 2,932,327.58

VILLAGE OF RIB MOUNTAIN
Governmental and Foundation Fund Balances Summary
As of April 30, 2025

	General Fund 100	Motel Tax 201	Parkland Fund 210	Tourism Commission 230	ARPA Funds 280	Debt Service 300	TID #1 401	Capital Project 415 & 416	Doepke Fund 450	Community Foundation 501
Beginning Fund Balance UNAUDITED	2,542,479	(3,433)	55,098	946,712	26,983	331,989	2,044,521	1,157,737	41,596	80,440
2025 Year-to-Date Revenues	2,106,610	22,649	2,682	10,193	334	607,059	85,838	66,413	3,804	23,238
2025 Year-to-Date Expenditures	(1,398,863)	(15,382)	-	(76,109)	(3,312)	(503,980)	281,116	(115,169)	-	(1,917)
Ending Fund Balance	<u>3,250,225</u>	<u>3,834</u>	<u>57,780</u>	<u>880,796</u>	<u>24,005</u>	<u>435,068</u>	<u>2,411,474</u>	<u>1,108,981</u>	<u>45,400</u>	<u>101,761</u>
Fund Balance as of 12/31/2015	1,337,221	209,961	28,900	-	-	9,615	-	1,231,883	4,606	1,317
Fund Balance as of 12/31/2016	1,361,850	215,849	34,552	-	-	186,003	-	2,003,410	8,007	2,213
Fund Balance as of 12/31/2017	1,482,282	238,458	40,756	27,663	-	88,766	-	612,381	13,162	48,625
Fund Balance as of 12/31/2018	1,981,734	222,828	47,736	127,951	-	383,438	-	1,833,612	18,129	2,364
Fund Balance as of 12/31/2019	2,057,899	225,895	63,679	286,247	-	256,112	-	679,896	19,442	2,638
Fund Balance as of 12/31/2020	1,911,060	146,598	47,706	382,022	-	243,771	443,618	1,071,269	22,243	21,807
Fund Balance as of 12/31/2021	2,038,865	146,753	57,010	518,976	323,236	185,050	(9,424)	980,893	15,726	54,489
Fund Balance as of 12/31/2022	1,957,829	147,228	66,856	598,451	406,582	208,835	32,671	2,018,312	20,073	66,435
Fund Balance as of 12/31/2023	2,168,708	140,190	47,942	731,173	406,582	331,989	247,050	600,242	29,297	75,042
UNAUDITED Fund Balance as of 12/31/2024	2,542,479	(3,433)	55,098	946,712	26,983	282,032	2,044,521	1,157,737	41,596	80,440

VILLAGE OF RIB MOUNTAIN
Revenue and Expenditure Summary
As of April 30, 2025



Net Change in Fund Balance as of 04/30/2025 was \$707,746

Village of Rib Mountain - Special Revenue Funds

Revenue and Expenditure Summary

As of April 30, 2025

<u>MOTEL TAX FUND</u>	YTD	2025	Remaining	Budget
	4/30/2025	Budget	Balance	% Left
REVENUES				
Motel Taxes	20,147	593,847	573,700	96.61%
Interest on Balances	2,503	750	(1,753)	-233.68%
Interest/Penalty	-	-	-	N/A
Total Revenues	22,649	594,597	571,948	96.19%
EXPENDITURES				
Tourism Activities	15,382	7,000	(8,382)	-119.75%
Miscellaneous Expense	-	15,000	15,000	100.00%
Transfers Out	-	593,847	593,847	100.00%
Total Expenditures	15,382	615,847	600,465	97.50%
Net Change in Fund Balance	7,267			
Beginning Fund Balance	(3,433)			
Change in Fund balance	7,267			
Ending Fund Balance	3,834			

<u>TOURISM FUND</u>	YTD	2025	Remaining	Budget
	4/30/2025	Budget	Balance	% Left
REVENUES				
Transfers In	-	380,693	380,693	100.00%
Interest on Balances	10,193	2,500	(7,693)	-307.70%
Total Revenues	10,193	383,193	373,000	
EXPENDITURES				
Legal Expenses	2,025	2,000	(25)	-1.25%
Tourism Activities	71,357	100,000	28,643	28.64%
CVB/SA Quarterly Payments	2,726	203,943	201,217	98.66%
Total Expenditures	76,109	305,943	229,834	75.12%
Net Change in Fund Balance	(65,916)			
Beginning Fund Balance	946,712			
Change in Fund balance	(65,916)			
Ending Fund Balance	880,796			

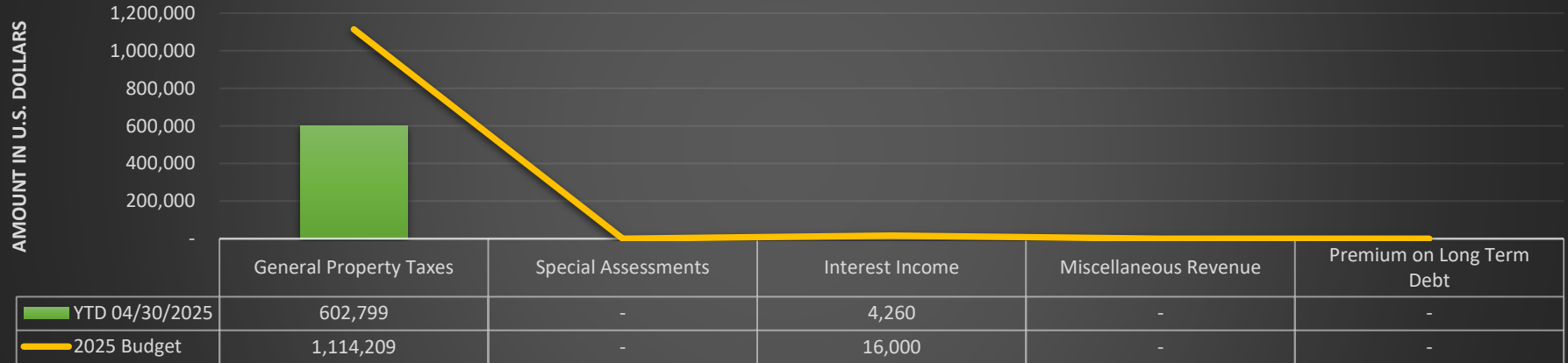
<u>PARKLAND FUND</u>	YTD	2025	Remaining	Budget
	4/30/2025	Budget	Balance	% Left
REVENUES				
Parkland Fees	1,950	8,000	6,050	75.63%
Interest Income	732	250	(482)	-192.76%
Total Revenues	2,682	8,250	5,568	32.51%
EXPENDITURES				
Parks Expense	-	-	-	N/A
Total Expenditures	-	-	-	
Net Change in Fund Balance	2,682			
Beginning Fund Balance	55,098			
Net Change in Fund Balance	2,682			
Ending Fund Balance	57,780			

<u>DOEPKE PARK FUND</u>	YTD	2025	Remaining	Budget
	4/30/2025	Budget	Balance	% Left
REVENUES				
Shelter Rental Fee	3,154	7,500	4,346	57.95%
Interest Income	650	850	200	23.49%
Miscellaneous Revenue	-	150	150	100.00%
Total Revenues	3,804	8,500	4,696	44.76%
EXPENDITURES				
Transfers Out	-	2,280	2,280	100.00%
Total Expenditures	-	2,280	2,280	0.00%
Net Change in Fund Balance	3,804			
Beginning Fund Balance	41,596			
Net Change in Fund Balance	3,804			
Ending Fund Balance	45,400			

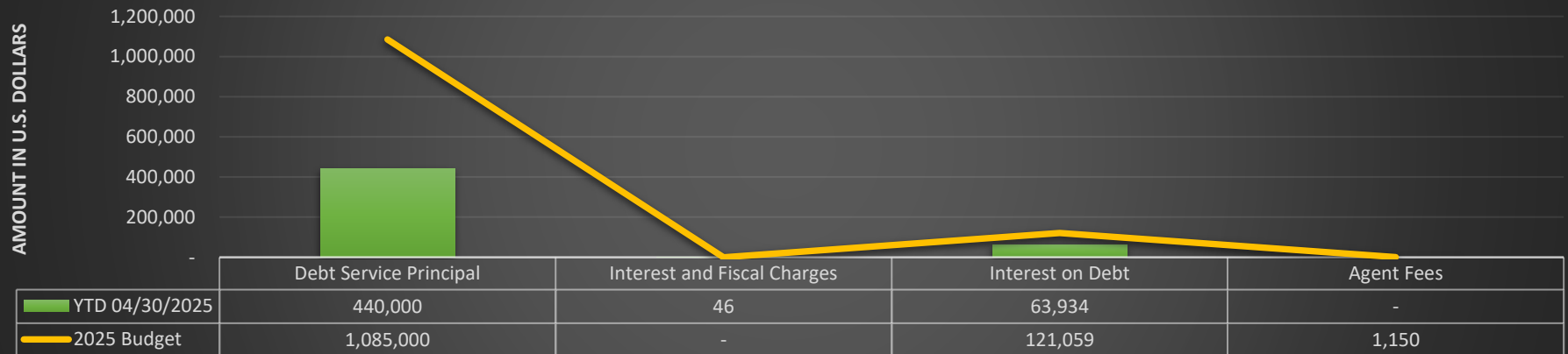
<u>ARPA FUNDS</u>	YTD	2025	Remaining	Budget
	4/30/2025	Budget	Balance	% Left
REVENUES				
Interest Income	334	1,750	1,416	80.94%
Total Revenues	334	1,750	1,416	19.06%
EXPENDITURES				
Approved Expenses	3,312	60,248	56,936	94.50%
Total Expenditures	3,312	60,248	56,936	5.50%
Net Change in Fund Balance	(2,978)			
Beginning Fund Balance	26,983			
Net Change in Fund Balance	(2,978)			
Ending Fund Balance	24,005			

Village of Rib Mountain - Debt Service Fund
Revenue and Expenditure Summary
 As of April 30, 2025

REVENUES



EXPENDITURES



Net change in fund balance as of 04/30/2025 was \$103,079

Village of Rib Mountain - Capital Projects Funds

Revenue and Expenditure Summary

As of April 30, 2025

	YTD 4/30/2025	2025 Budget	Remaining Balance	Budget % Left
Revenues				
Interest Income	20,913	9,500	(11,413)	-120%
Sale of Highway Equipment	45,500	-	(45,500)	N/A
Transfer From Other Funds	-	-	-	N/A
Proceeds from Issue	-	-	-	N/A
Premium on Debt	-	-	-	
Total Revenues	66,413	9,500	(56,913)	-599%
Expenditures				
Series 2022 Borrowing Items - Roads	4,648	-	(4,648)	
Heron Area Stormwater Study	-	-	-	#DIV/0!
Hollibush Stormwater Study	-	-	-	#DIV/0!
Rookery Park Trails	-	-	-	#DIV/0!
Series 2024 Borrowing Items - Roads	-	566,000	566,000	100%
Pickup 3/4 Ton Replace #16	-	-	-	#DIV/0!
Pickup 1/2 Ton '05 Replace #17	-	-	-	#DIV/0!
Series 2022 Borrowing Items - Equipment	109,780	-	(109,780)	#DIV/0!
Interest/Issuance Costs	742	500	(242)	N/A
Total Use of Funds	115,169	566,500	#VALUE!	#VALUE!
Beginning Fund Balance	1,157,737			
Change in Fund balance	(48,756)			
Ending Fund Balance	1,108,981			

2022 Borrowing Items

Activity	2023/2024/2		Remaining Balance	Budget % Left
	025 YTD	Budget		
1 Woodbine/Smoketree Overlay	-	48,000	48,000	100%
2 Starflower/Dragonwing/Buffalo Clover Overlay	180,176	102,000	(78,176)	-77%
3 Boulder Ridge Circle Area Overlay	234,186	180,000	(54,186)	-30%
4 Ambrosia/Dusty Miller Overlay	-	32,000	32,000	100%
5 Gooseberry/Loganberry/Woodsmoke Overlay	56,647	175,000	118,353	68%
6 Rib Mtn Dr Phase I Curb Repairs	289,486	222,000	(67,486)	-30%
7 SAFER Equipment	-	346,990	346,990	100%
8 Patrol Truck Single Axle 11" Replace #11	-	240,000	240,000	100%
9 Tractor Backhoe 10'	-	92,000	92,000	100%
10 Rubber Tire Loader 10' Replace	-	160,000	160,000	100%
11 MC/Lion's Park	-	30,000	30,000	100%
12 Concrete Pads Tables/Benches	-	25,000	25,000	100%
13 Goldenrod Culverts	28,490	50,000	21,510	43%

2024 Borrowing Items

Activity	2024/2025		Remaining Balance	Budget % Left
	YTD	Budget		
14 Gooseberry, Loganberry Overlay	97,571	120,000	22,429	19%
15 Carnation and Larkspur area Overlay	117,196	112,000	(5,196)	-5%
16 One Ton 03' Replace #3	-	60,000	60,000	100%
17 Deertail Storm Sewer Inlet Repairs	-	50,000	50,000	100%
18 Snow Pusher Blade	-	35,000	35,000	100%
19 Starling, Woodduck Overlay Leveling	27,132	20,000	(7,132)	-36%
20 Heron Area Stormwater Study	-	15,000	15,000	100%

Village of Rib Mountain - Tax Incremental District #1 Fund

Revenue and Expenditure Summary

As of April 30, 2025

	YTD 4/30/2025	2025 Budget	Remaining Balance	Budget % Left
Revenues				
Taxes	45,629	209,420	163,791	78%
Interest on Balances	40,209	3,000	(37,209)	-1240%
Proceeds of Long-term Debt	-	-	-	0%
Total Revenues	<u>85,838</u>	<u>212,420</u>	<u>126,582</u>	60%
Expenditures				
Economic Development	-	-	-	N/A
General Administration	10,848	59,406	48,558	82%
Financial Administration	6,850	7,850	1,000	13%
Valley Inn Way Improvements	-	-	-	N/A
Lilac Ave Planning, Real Estate, Street Lighting	261,881	3,037,000	2,775,119	91%
Debt Service - Principal	-	320,000	320,000	100%
Interest and Fiscal Charges	1,536	1,750	214	12%
Transfer to General Fund	-	-	-	N/A
Transfer to Debt Service Fund	-	-	-	N/A
Total Use of Funds	<u>281,116</u>	<u>3,426,006</u>	<u>3,144,890</u>	92%
Beginning Fund Balance	2,044,521			
Change in Fund balance	<u>(195,278)</u>			
Ending Fund Balance	<u>1,849,243</u>			

April 1, 2025 - April 30, 2025
Account Number: T79-003082

VILLAGE OF RIB MOUNTAIN
227800 SNOWBIRD AVE
WAUSAU WI 54401-5828

Your Portfolio Manager:
EHLERS INVESTMENT PARTNERS
(651) 697-8500

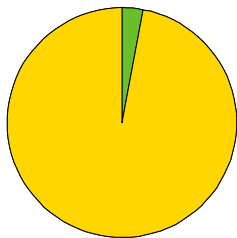
GENERAL FUNDS

Portfolio at a Glance

	This Period	Year-to-Date
BEGINNING ACCOUNT VALUE	\$1,100,071.39	\$1,086,714.25
Adjusted Previous Account Value	1,100,071.39	1,086,714.25
Dividends, Interest and Other Income	813.32	14,291.40
Fees	-173.49	-600.74
Net Change in Portfolio¹	1,656.55	1,962.86
ENDING ACCOUNT VALUE	\$1,102,367.77	\$1,102,367.77
Accrued Interest	\$9,068.72	
Account Value with Accrued Interest	\$1,111,436.49	

¹ Net Change in Portfolio is the difference between the ending account value and beginning account value after activity.

Asset Summary



Percent	Asset Type	Last Period	This Period
3%	Cash, Money Funds, and Bank Deposits	36,308.56	36,948.39
97%	Fixed Income	1,063,762.83	1,065,419.38
100%	Account Total (Pie Chart)	\$1,100,071.39	\$1,102,367.77

Additional Information

Description	This Period	Year-to-Date
Securities Bought and Sold	\$0.00	-\$750,855.56

Client Service Information

Your Portfolio Manager:

EHLERS INVESTMENT PARTNERS
3060 CENTER POINTE DRIVE
ROSEVILLE MN 55113

Contact Information

Business: (651) 697-8500
E-Mail: investmentservices@ehlers-inc.com

Client Service Information

Client Service Telephone Number: (800) 552-1171
Web Site: EHLERS-INC.COM
To report a lost or stolen Debit Card or check call (800) 547-7008,
24 hours a day, 7 days a week.

Your Account Information

TAX LOT DEFAULT DISPOSITION METHOD

Default Method for Mutual Funds: First In First Out
Default Method for Stocks in a Dividend Reinvestment Plan: First In First Out
Default Method for all Other Securities: First In First Out

BOND AMORTIZATION ELECTIONS

Amortize premium on taxable bonds based on Constant Yield Method: Yes
Accrual market discount method for all other bond types: Constant Yield Method
Include market discount in income annually: No

ELECTRONIC DELIVERY

Congratulations! All your documents are enrolled for electronic delivery.
Please log in to your account or contact your Portfolio Manager to make any changes to your electronic delivery preferences.

E-mail notifications are delivered to the following e-mail address(es):

bkrenke@ribmountainwi.gov
dheeg@ribmountainwi.gov
grhoden@ribmountainwi.gov
rhabeck@ribmountainwi.gov
**rhabeck@ribmountainwi.gov is on file for these documents*

Portfolio Holdings

Opening Date	Quantity	Account Number	Activity Ending	Opening Balance	Closing Balance	Accrued Income	Income This Year	30-Day Yield	Current Yield
CASH, MONEY FUNDS AND BANK DEPOSITS 3.00% of Portfolio									
Money Market									
DREYFUS TREAS OBLIG CM PART									
04/01/25	36,948.3900	N/A	04/30/25	\$36,308.56	\$36,948.39	0.00	2,627.91	3.80%	3.79%
Total Money Market				\$36,308.56	\$36,948.39	\$0.00	\$2,627.91		
TOTAL CASH, MONEY FUNDS AND BANK DEPOSITS				\$36,308.56	\$36,948.39	\$0.00	\$2,627.91		

April 1, 2025 - April 30, 2025
VILLAGE OF RIB MOUNTAIN

Portfolio Holdings *(continued)*

Date Acquired	Quantity	Unit Cost	Current Cost Basis	Market Price	Market Value	Unrealized Gain/Loss	Accrued Interest
FIXED INCOME 97.00% of Portfolio <i>(In Maturity Date Sequence)</i>							
Certificates of Deposit							
ALASKA USA FED CR UN ANCHORAGE ALASKA SH CTF 5.150% 03/23/26 DTD 03/22/23 03/17/23 ^{*,3,12}	160,000.0000	99.9090	159,855.00 Original Cost Basis: \$159,855.00	100.9330	161,492.80	1,637.80	180.60
SECURITY IDENTIFIER: 011852AH3							
CAPITAL ONE BK USA NATL ASSN GLEN ALLEN VA CTF DEP 3.500% 08/03/26 B/E DTD 08/03/22 ACT/365 07/28/22 ^{*,3,12}	152,000.0000	99.8600	151,787.00 Original Cost Basis: \$151,787.00	99.2990	150,934.48	-852.52	1,253.48
SECURITY IDENTIFIER: 14042TJC2							
Total Certificates of Deposit	312,000.0000		\$311,642.00		\$312,427.28	\$785.28	\$1,434.08
Municipal Bonds							
UNITED INDPT SCH DIST TEX TAXABLE UNLTD TAX REF BDS 2021 A 5.000% 08/15/25 B/E DTD 09/01/21 Moody Rating Aaa 01/06/25	250,000.0000	100.1760	250,439.05 Original Cost Basis: \$250,905.00	100.2120	250,530.00	90.95	2,604.17
SECURITY IDENTIFIER: 910678X55							
IOWA FIN AUTH REV ST REVOLVING FD BDS 2025 B GREEN BOND 4.440% 08/01/27 B/E DTD 01/30/25 1ST CPN DTE 08/01/25 S & P Rating AAA 01/16/25	245,000.0000	100.0040	245,009.06 Original Cost Basis: \$245,010.00	101.2580	248,082.10	3,073.04	2,719.50
SECURITY IDENTIFIER: 46247SGT5							
SOUTH DAKOTA HSG DEV AUTH HOMEOWNERSHIP MTG BDS 2025 B 4.754% 11/01/28 B/E DTD 02/20/25 GUA FNMA Moody Rating Aaa S & P Rating AAA 01/23/25	250,000.0000	100.0040	250,009.54 Original Cost Basis: \$250,010.00	101.7520	254,380.00	4,370.46	2,310.97
SECURITY IDENTIFIER: 83756LBYO							
Total Municipal Bonds	745,000.0000		\$745,457.65		\$752,992.10	\$7,534.45	\$7,634.64
TOTAL FIXED INCOME	1,057,000.0000		\$1,057,099.65		\$1,065,419.38	\$8,319.73	\$9,068.72

Portfolio Holdings *(continued)*

	Current Cost Basis	Market Value	Unrealized Gain/Loss	Accrued Interest	Estimated Annual Income
Total Portfolio Holdings	\$1,094,048.04	\$1,102,367.77	\$8,319.73	\$9,068.72	\$2,627.91

* *Noncovered under the cost basis rules as defined below.*

Generally, securities acquired before 2011, in retirement accounts or held by Non-U.S. entities are not subject to the cost basis reporting rules set forth in the Internal Revenue Code of 1986, as amended by the Emergency Economic Stabilization Act of 2008, and are marked as "noncovered". Securities marked as "covered", were identified as securities potentially subject to the cost basis reporting rules and may be reported to the IRS on form 1099-B for the applicable tax year in which the securities are disposed.

Note: In the event where we cannot easily determine the taxability of an account, we may mark the account as noncovered. However, if the account does not receive a 1099B, the cost basis will not be reported to the IRS.

Cost Basis on fixed income securities may be adjusted for amortization, accretion, original issue discount adjustments, or principal paydowns. The calculation is based upon the taxpayer election, type of fixed income security, and certain attributes, obtained from sources believed to be reliable. In the event, one or more of these attributes is changed, there may be a temporary incorrect adjusted cost basis reflected until the cost basis system is amended to reflect this change. These calculations will not be performed under certain circumstances, including those involving foreign bonds, bonds sold short or bonds issued with less than one year to maturity. This information is meant as a general guide and you should consult your tax advisor in the preparation of your tax returns.

³ *Either all or a portion of the cost basis of this security has been provided to us by you or your introducing firm and Pershing makes no representation as to the accuracy of this information.*

¹² *Pershing has received updated cost basis information for either all or some of the shares for this security, therefore cost basis provided on previous client brokerage statements may differ from the new cost basis reported in this section.*

Portfolio Holdings Disclosures

Pricing

This section includes the net market value of the securities in your account on a settlement date basis, including short positions, at the close of the statement period. The market prices, unless otherwise noted, have been obtained from independent vendor services, which we believe to be reliable. In some cases the pricing vendor may provide prices quoted by a single broker or market maker. Market prices do not constitute a bid or an offer, and may differ from the actual sale price. Securities for which a price is not available are marked "N/A" and are omitted from the Total.

THE AS OF PRICE DATE ONLY APPEARS WHEN THE PRICE DATE DOES NOT EQUAL THE STATEMENT DATE.

Estimated Annual Figures

The estimated annual income (EAI) and estimated annual yield (EAY) figures are estimates and for informational purposes only. These figures are not considered to be a forecast or guarantee of future results. These figures are computed using information from providers believed to be reliable; however, no assurance can be made as to the accuracy. Since interest and dividend rates are subject to change at any time, and may be affected by current and future economic, political, and business conditions, they should not be relied on for making investment, trading, or tax decisions. These figures assume that the position quantities, interest and dividend rates, and prices remain constant. A capital gain or return of principal may be included in the figures for certain securities, thereby overstating them. Refer to www.bny.com/pershing/us/en/disclosures.html for specific details as to formulas used to calculate the figures. Accrued interest represents interest earned but not yet received.

Reinvestment

The dollar amount of Mutual Fund distributions, Money Market Fund dividend income, Bank Deposit interest income, or dividends for other securities shown on your statement may have been reinvested. You will not receive confirmation of these reinvestments. Upon written request to your financial institution, information pertaining to these transactions, including the time of execution and the name of the person from whom your security was purchased, may be obtained. In dividend reinvestment transactions, Pershing acts as your agent and receives payment for order flow.

Portfolio Holdings Disclosures *(continued)*

Option Disclosure

Information with respect to commissions and other charges incurred in connection with the execution of option transactions has been included in confirmations previously furnished to you. A summary of this information is available to you promptly upon your written request directed to your introducing firm. In order to assist your introducing firm in maintaining current background and financial information concerning your option accounts, please promptly advise them in writing of any material change in your investment objectives or financial situation. Expiring options which are valuable are exercised automatically pursuant to the exercise by exception procedure of the Options Clearing Corporation. Additional information regarding this procedure is available upon written request to your introducing firm.

Certificates of Deposit

Certificates of Deposit acquired through the Certificate of Deposit Account Registry Service ("CDARS") and held in your brokerage account are subject to Securities Investor Protection Corporation (SIPC) coverage. Please see additional information about SIPC under Important Information and Disclosures on this statement.

Please be advised that the secondary market for CDs is generally illiquid; the actual value of CDs may be different from their purchase price; and a significant loss of principal could result if your CDs are sold prior to maturity. In the event that the CDs listed above do not indicate a market valuation, an accurate market value could not be determined. In the event that a price is listed above for your CDs, Pershing has obtained a price from sources deemed to be reliable or has priced your CDs using a matrix formula. Prices are estimates and the actual value you may obtain for your CD may be different if you elect to sell your CD in the secondary market.

Foreign Currency Transactions

Pershing will execute foreign currency transactions as principal for your account. Pershing may automatically convert foreign currency to or from U.S. dollars for dividends and similar corporate action transactions unless you instruct your financial organization otherwise. Pershing's currency conversion rate will not exceed the highest interbank conversion rate identified from customary banking sources on the conversion date or the prior business day, increased by up to 1%, unless a particular rate is required by applicable law. Your financial organization may also increase the currency conversion rate. This conversion rate may differ from rates in effect on the date you executed a transaction, incurred a charge, or received a credit. Transactions converted by agents (such as depositories) will be billed at the rates such agents use.

Proxy Vote

Securities not fully paid for in your margin account may be lent by Pershing to itself or others in accordance with the terms outlined in the Margin Agreement. The right to vote your shares held on margin may be reduced by the amount of shares on loan. The Proxy Voting Instruction Form sent to you may reflect a smaller number of shares entitled to vote than the number of shares in your margin account.

Ratings

This statement may contain credit rating information obtained from Standard & Poor's. Reproducing and distributing any information received from Standard & Poor's is not permitted without prior written authorization from Standard & Poor's. Standard & Poor's does not guarantee the accuracy, completeness, timeliness or availability of any information. Standard & Poor's is not responsible for any errors or omissions, regardless of the cause, or for the results of using such content. Standard & Poor's makes no express or implied warranties including warranties of merchantability or fitness for a particular purpose. Standard & Poor's shall not be legally responsible for any fees, costs, expenses or losses in connection with the use of their content. Credit ratings are opinions and not statements of facts; are not recommendations to purchase, hold or sell securities; and do not address suitability for investment purpose. Credit ratings should not be relied upon as investment advice.

Variable Rate Securities

Interest rate data for certain complex and/or variable rate securities is provided to Pershing by third-party data service providers pursuant to contractual arrangements. Although we seek to use reliable sources of information, the accuracy, reliability, timeliness, and completeness of interest rate data may vary sometimes, particularly for complex and/or variable rate securities and those with limited or no secondary market. As a result, we can offer no assurance as to the accuracy, reliability, timeliness, or completeness of interest rate data for

Portfolio Holdings Disclosures *(continued)*

Variable Rate Securities *(continued)*

such securities. Pershing may also occasionally make interest rate updates and adjustments based on its reasonable efforts to obtain accurate, reliable, timely, and/or complete interest rate data from other data sources, but we can similarly provide no assurance that those rates or adjustments will be accurate, reliable, timely, or complete.

When updated interest rate data is received from a third-party data service provider or adjusted by Pershing, the updated data will be reflected in various sources where interest rate data is used or viewed, including both paper and electronic communications and data sources. Prior use or communication of interest rate-related data will not be revised. Since variable interest rates may be subject to change at any time and are only as accurate as the data received from third-party data service providers or otherwise obtained by Pershing, interest rate data should not be relied on for making investment, trading, or tax decisions. All interest rate data and other information derived from and/or calculated using interest rates are not warranted as to accuracy, reliability, timeliness, or completeness and are subject to change without notice. Pershing disclaims any responsibility or liability to the fullest extent permitted by applicable law for any loss or damage arising from any reliance on or use of the interest rate data or other information derived from and/or calculated using interest rates in any way. You should request a current valuation for your securities from your financial adviser or broker prior to making a financial decision or placing an order or requesting a transaction in these securities.

Structured Products

Structured products in this section are complex products and may be subject to special risks, which may include, but are not limited to: loss of initial investment; issuer credit risk; limited or no appreciation; risks associated with the underlying reference asset(s); no periodic payments; call prior to maturity (a redemption could affect the yield represented); early redemption fees or other applicable fees; price volatility resulting from issuer's and/or guarantor's credit quality; lower interest rates and/or yield compared to conventional debt with a comparable maturity; unique tax implications; concentration risk of owning the related security; limited or no secondary market; restrictions on transferability; conflicts of interest; and limits on participation in appreciation of underlying asset(s). To review a complete list of risks, please refer to the offering documents for the structured product. For more information about the risks specific to your structured products, you should contact your financial institution or advisor. Certain structured products are designed to make periodic distributions to you and any such structured product distributions you receive will be listed in the Transactions section of your statement. Structured product distributions may be listed there as "Bond Interest Received"; however, this description is not intended to reflect a determination as to either the asset classification of the product or the U.S. tax treatment of such distributions.

Activity Summary *(All amounts shown are in base currency)*

	Credits This Period	Debits This Period	Net This Period	Credits Year-to-Date	Debits Year-to-Date	Net Year-to-Date
Securities						
Securities Bought	0.00	0.00	0.00	0.00	-750,855.56	-750,855.56
Total Securities	\$0.00	\$0.00	\$0.00	\$0.00	-\$750,855.56	-\$750,855.56
Dividends and Interest	\$813.32	\$0.00	\$813.32	\$14,291.40	\$0.00	\$14,291.40
Fees	\$0.00	-\$173.49	-\$173.49	\$0.00	-\$600.74	-\$600.74
Totals	\$813.32	-\$173.49	\$639.83	\$14,291.40	-\$751,456.30	-\$737,164.90

Daily Transactions Summary

Settlement/ Process Date	Activity Type	Description	Quantity	Price	Amount	Balance
04/01/25	Combined Opening Balances					\$36,308.56
04/11/25	MANAGEMENT FEE PAID USD999997	MANAGEMENT FEE			-173.49	36,135.07

April 1, 2025 - April 30, 2025
VILLAGE OF RIB MOUNTAIN

Daily Transactions Summary (continued)

Settlement/ Process Date	Activity Type	Description	Quantity	Price	Amount	Balance
04/22/25	BOND INTEREST RECEIVED	160000 ALASKA USA FED CR UN ANCHORAGE ALASKA SH CTF			699.84	36,834.91
	011852AH3	5.150% 03/23/26 DTD 03/22/23 RD 04/07 PD 04/22/25				
04/30/25	MONEY MARKET FUND	DREYFUS TREAS OBLIG			113.48	36,948.39
	INCOME RECEIVED					
	PER201156					
04/30/25	Combined Closing Balances				\$639.83	\$36,948.39
The price and quantity displayed may have been rounded.						

Cash Not Yet Received

Security	Record Date	Payable Date	Quantity Held	Rate	Dividend Option	Amount of Payment
Interest						
SOUTH DAKOTA HSG DEV AUTH HOMEOWNERSHIP	04/30/25	05/01/25	250,000.0000	9.375944	Cash	2,343.99
MTG BDS 2025 B						
Total Cash Not Yet Received						\$2,343.99

Assets shown here are not reflected in your account. This information has been received from sources we believe to be reliable. Pershing does not guarantee the accuracy of the information.

Income and Expense Summary

	Current Period		Year-to-Date	
	Taxable	Non Taxable	Taxable	Non Taxable
Dividend Income				
Money Market	113.48	0.00	2,627.91	0.00
Interest Income				
Bond Interest	699.84	0.00	11,663.49	0.00
Total Income	\$813.32	\$0.00	\$14,291.40	\$0.00

Accrued Interest Summary

	Current Period		Year-to-Date	
	Taxable	Non Taxable	Taxable	Non Taxable
Accrued Interest Paid				
Municipal Bonds	0.00	0.00	0.00	-4,930.56
Total Accrued Interest Paid	\$0.00	\$0.00	\$0.00	-\$4,930.56

Money Market Fund Detail

Date	Activity Type	Description	Amount	Balance
Sweep Money Market Fund				
DREYFUS TREAS OBLIG CM PART				
Current Yield: 3.79% Activity Ending: 04/30/25				
04/01/25	Opening Balance		36,308.56	36,308.56
04/11/25	Withdrawal	MONEY FUND REDEMPTION	-173.49	36,135.07
04/23/25	Deposit	MONEY FUND PURCHASE	699.84	36,834.91
04/30/25	Deposit	INCOME REINVEST	113.48	36,948.39
04/30/25	Closing Balance			\$36,948.39
Total All Money Market Funds				\$36,948.39

Fixed Income Analysis

Bond Quality

Bond Quality	Market Value	% of Bond Market Value	Percent of Fixed Income	
AAA	752,992.10	71%	<div><div></div></div>	
Not Rated	312,427.28	29%	<div><div></div></div>	
Total	1,065,419.38	100%	<div><div></div></div>	

Bond Maturity Schedule



Percentages of bond market values are rounded to the nearest whole percentage.

Bond quality ratings reflect Moody's or Standard and Poor's ratings. Bonds may be rated by other services. Bonds that are in default are not included. Please refer to your Portfolio Holdings section.

Messages

Although a money market mutual fund (money fund) seeks to preserve the value of your investment at \$1 per share, it is possible to lose money by investing in a money fund. Shares of a money fund or the balance of a bank deposit product held in your brokerage account may be liquidated upon request with the proceeds credited to your brokerage account. Please see the money fund's prospectus or the bank deposit product's disclosure document or contact your advisor for additional information. Pursuant to SEC Rule 10b-10(b)(1) confirmations are not sent for purchases into money funds processed on the sweep platform. Pursuant to applicable regulation, account statements will be produced monthly or

Messages *(continued)*

quarterly. Balances in Federal Deposit Insurance Corporation (FDIC)-insured bank deposit sweep products are not protected by Securities Investor Protection Corporation (SIPC).

Important Information and Disclosures

The Role of Pershing

- **Pershing LLC, member FINRA, NYSE, carries your account as clearing broker pursuant to a clearing agreement with your financial institution.** Pershing is not responsible or liable for any acts or omissions of your financial institution or its employees and it does not supervise them. Pershing provides no investment advice nor does it assess the suitability of any transaction or order. Pershing acts as the agent of your financial institution and you agree that you will not hold Pershing or any person controlling or under common control with it liable for any investment losses incurred by you.
- Pershing performs several key functions at the direction of your financial institution. It acts as custodian for funds and securities you may deposit with it directly or through your financial institution or that it receives as the result of securities transactions it processes.
- Your financial institution is responsible for adherence to the securities laws, regulations and rules which apply to it regarding its own operations and the supervision of your account, its sales representatives and other personnel. Your financial institution is also responsible for approving the opening of accounts and obtaining account documents; the acceptance and, in certain instances, execution of securities orders; the assessment of the suitability of those transactions, where applicable; the rendering of investment advice, if any, to you and in general, for the ongoing relationship that it has with you.
- Inquiries concerning the positions and balances in your account may be directed to the **Pershing Customer Service Department at (201) 413-3333**. All other inquiries regarding your account or activity should be directed to your financial institution. Your financial organization's contact information can be found on the first page of this statement.
- For a description of other functions performed by Pershing please consult the Disclosure Statement provided to you upon the opening of your account. This notice is not meant as a definitive enumeration of every possible circumstance, but as a general disclosure. If you have any questions regarding this notice or if you would like additional copies of the Disclosure Statement, please contact your financial institution.
- Pershing is a member of the Securities Investor Protection Corporation (SIPC®). Please note that SIPC does not protect against loss due to market fluctuation. An explanatory brochure is available upon request at www.sipc.org. In addition to SIPC protection, Pershing provides coverage in excess of SIPC limits. For more detailed information please visit: www.bny.com/pershing/us/en/about/strength-and-stability.html
- This statement will be deemed conclusive. You are advised to report any inaccuracy or discrepancy (including unauthorized trading) promptly, but no later than ten days after receipt of this statement, to your financial organization and Pershing. Please be advised that any oral communication should be re-confirmed in writing to further protect your rights, including your rights under the Securities Investor Protection Act.
- Your financial organization's contact information can be found on the first page of this statement. Pershing's contact information is as follows: **Pershing LLC, Legal Department, One Pershing Plaza, Jersey City, New Jersey 07399; (201) 413-3330**. Errors and Omissions excepted.

Important Arbitration Disclosures

- All parties to this agreement are giving up the right to sue each other in court, including the right to a trial by jury, except as provided by the rules of the arbitration forum in which a claim is filed.
- Arbitration awards are generally final and binding; a party's ability to have a court reverse or modify an arbitration award is very limited.
- The ability of the parties to obtain documents, witness statements and other discovery is generally more limited in arbitration than in court proceedings.
- The arbitrators do not have to explain the reason(s) for their award, unless, in an eligible case, a joint request for an explained decision has been submitted by all parties to the panel at least 20 days prior to the first scheduled hearing date.
- The panel of arbitrators will typically include a minority of arbitrators who were or are affiliated with the securities industry.
- The rules of some arbitration forums may impose time limits for bringing a claim in arbitration. In some cases, a claim that is ineligible for arbitration may be brought in court.
- The rules of the arbitration forum in which the claim is filed, and any amendments thereto, shall be incorporated into this agreement.

Important Information and Disclosures *(continued)*

Important Arbitration Agreement

Any controversy between you and Pershing LLC shall be submitted to arbitration before the Financial Industry Regulatory Authority. No person shall bring a putative or certified class action to arbitration, nor seek to enforce any predispute arbitration agreement against any person who has initiated in court a putative class action, who is a member of a putative class who has not opted out of the class with respect to any claims encompassed by the putative class action until; (I) the class certification is denied; (II) the class is decertified; or (III) the client is excluded from the class by the court. Such forbearance to enforce an agreement to arbitrate shall not constitute a waiver of any rights under this agreement except to the extent stated herein. The laws of the State of New York govern.

Pershing's contact information is as follows: **Pershing LLC, Legal Department, One Pershing Plaza, Jersey City, New Jersey 07399; (201) 413-3330.**



Investment Account Statement

April 1, 2025 - April 30, 2025
Account Number: T79-004387

VILLAGE OF RIB MOUNTAIN
227800 SNOWBIRD AVE
WAUSAU WI 54401-5828

2024A - Capital Improvement Proj

Portfolio at a Glance

	This Period	Year-to-Date
BEGINNING ACCOUNT VALUE	\$4,233,322.15	\$4,189,547.52
Adjusted Previous Account Value	4,233,322.15	4,189,547.52
Dividends, Interest and Other Income	15,382.29	60,811.90
Fees	-668.28	-2,323.26
ENDING ACCOUNT VALUE	\$4,248,036.16	\$4,248,036.16
Accrued Interest	\$0.00	
Account Value with Accrued Interest	\$4,248,036.16	

Asset Summary

Percent	Asset Type	Last Period	This Period
2%	Cash, Money Funds, and Bank Deposits	78,322.15	93,036.16
98%	Mutual Funds	4,155,000.00	4,155,000.00
100%	Account Total	\$4,233,322.15	\$4,248,036.16

Client Service Information

Your Portfolio Manager:

EHLERS INVESTMENT PARTNERS
3060 CENTER POINTE DRIVE
ROSEVILLE MN 55113

Contact Information

Business: (651) 697-8500
E-Mail: investmentservices@ehlers-inc.com

Client Service Information

Client Service Telephone Number: (800) 552-1171
Web Site: EHLERS-INC.COM

Your Account Information

TAX LOT DEFAULT DISPOSITION METHOD

Default Method for Mutual Funds: First In First Out
 Default Method for Stocks in a Dividend Reinvestment Plan: First In First Out
 Default Method for all Other Securities: First In First Out

BOND AMORTIZATION ELECTIONS

Amortize premium on taxable bonds based on Constant Yield Method: Yes
 Accrual market discount method for all other bond types: Constant Yield Method
 Include market discount in income annually: No

ELECTRONIC DELIVERY

Congratulations! All your documents are enrolled for electronic delivery.
 Please log in to your account or contact your Portfolio Manager to make any changes to your electronic delivery preferences.

E-mail notifications are delivered to the following e-mail address(es):

bkrenke@ribmountainwi.gov
 dheeg@ribmountainwi.gov
 grhoden@ribmountainwi.gov
**dheeg@ribmountainwi.gov is on file for these documents*

Portfolio Holdings

Opening Date	Quantity	Account Number	Activity Ending	Opening Balance	Closing Balance	Accrued Income	Income This Year	30-Day Yield	Current Yield
CASH, MONEY FUNDS AND BANK DEPOSITS 2.00% of Portfolio									
Money Market									
DREYFUS TREAS OBLIG CM PART									
04/01/25	93,036.1600	N/A	04/30/25	78,322.15	93,036.16	0.00	885.18	3.80%	3.79%
Total Money Market				\$78,322.15	\$93,036.16	\$0.00	\$885.18		
TOTAL CASH, MONEY FUNDS AND BANK DEPOSITS				\$78,322.15	\$93,036.16	\$0.00	\$885.18		
Date Acquired	Quantity	Unit Cost	Current Cost Basis	Market Price	Market Value	Unrealized Gain/Loss			
MUTUAL FUNDS 98.00% of Portfolio									
DREYFUS PREFERRED GOVERNMENT MONEY MARKET FUND			Security Identifier: DSVXX						
INSTITUTIONAL CLASS			CUSIP: 26200X100						
Open End Fund									
10/03/24	4,155,000.0000	1.0000	4,155,025.00	1.0000	4,155,000.00	-25.00			
TOTAL MUTUAL FUNDS			\$4,155,025.00		\$4,155,000.00	-\$25.00			
			Current Cost Basis	Market Value		Unrealized Gain/Loss	Accrued Interest	Estimated Annual Income	
Total Portfolio Holdings			\$4,248,061.16	\$4,248,036.16		-\$25.00	\$0.00	\$885.18	

Generally, securities acquired before 2011, in retirement accounts or held by Non-U.S. entities are not subject to the cost basis reporting rules set forth in the Internal Revenue Code of 1986, as amended by the Emergency Economic Stabilization Act of 2008, and are marked as "noncovered". Securities marked as "covered", were identified as securities potentially subject to the cost basis reporting rules and may be reported to the IRS on form 1099-B for the applicable tax year in which the securities are disposed.

Portfolio Holdings *(continued)*

Note: In the event where we cannot easily determine the taxability of an account, we may mark the account as noncovered. However, if the account does not receive a 1099B, the cost basis will not be reported to the IRS.

Portfolio Holdings Disclosures

Pricing

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Estimated Annual Figures

The estimated annual income (EAI) and estimated annual yield (EAY) figures are estimates and for informational purposes only. These figures are not considered to be a forecast or guarantee of future results. These figures are computed using information from providers believed to be reliable; however, no assurance can be made as to the accuracy. Since interest and dividend rates are subject to change at any time, and may be affected by current and future economic, political, and business conditions, they should not be relied on for making investment, trading, or tax decisions. These figures assume that the position quantities, interest and dividend rates, and prices remain constant. A capital gain or return of principal may be included in the figures for certain securities, thereby overstating them. Refer to www.bny.com/pershing/us/en/disclosures.html for specific details as to formulas used to calculate the figures. Accrued interest represents interest earned but not yet received.

Reinvestment

The dollar amount of Mutual Fund distributions, Money Market Fund dividend income, Bank Deposit interest income, or dividends for other securities shown on your statement may have been reinvested. You will not receive confirmation of these reinvestments. Upon written request to your financial institution, information pertaining to these transactions, including the time of execution and the name of the person from whom your security was purchased, may be obtained. In dividend reinvestment transactions, Pershing acts as your agent and receives payment for order flow.

Option Disclosure

Information with respect to commissions and other charges incurred in connection with the execution of option transactions has been included in confirmations previously furnished to you. A summary of this information is available to you promptly upon your written request directed to your introducing firm. In order to assist your introducing firm in maintaining current background and financial information concerning your option accounts, please promptly advise them in writing of any material change in your investment objectives or financial situation. Expiring options which are valuable are exercised automatically pursuant to the exercise by exception procedure of the Options Clearing Corporation. Additional information regarding this procedure is available upon written request to your introducing firm.

Foreign Currency Transactions

Pershing will execute foreign currency transactions as principal for your account. Pershing may automatically convert foreign currency to or from U.S. dollars for dividends and similar corporate action transactions unless you instruct your financial organization otherwise. Pershing's currency conversion rate will not exceed the highest interbank conversion rate identified from customary banking sources on the conversion date or the prior business day, increased by up to 1%, unless a particular rate is required by applicable law. Your financial

Portfolio Holdings Disclosures *(continued)*

Foreign Currency Transactions *(continued)*

organization may also increase the currency conversion rate. This conversion rate may differ from rates in effect on the date you executed a transaction, incurred a charge, or received a credit. Transactions converted by agents (such as depositories) will be billed at the rates such agents use.

Proxy Vote

Securities not fully paid for in your margin account may be lent by Pershing to itself or others in accordance with the terms outlined in the Margin Agreement. The right to vote your shares held on margin may be reduced by the amount of shares on loan. The Proxy Voting Instruction Form sent to you may reflect a smaller number of shares entitled to vote than the number of shares in your margin account.

Variable Rate Securities

Interest rate data for certain complex and/or variable rate securities is provided to Pershing by third-party data service providers pursuant to contractual arrangements. Although we seek to use reliable sources of information, the accuracy, reliability, timeliness, and completeness of interest rate data may vary sometimes, particularly for complex and/or variable rate securities and those with limited or no secondary market. As a result, we can offer no assurance as to the accuracy, reliability, timeliness, or completeness of interest rate data for such securities. Pershing may also occasionally make interest rate updates and adjustments based on its reasonable efforts to obtain accurate, reliable, timely, and/or complete interest rate data from other data sources, but we can similarly provide no assurance that those rates or adjustments will be accurate, reliable, timely, or complete.

When updated interest rate data is received from a third-party data service provider or adjusted by Pershing, the updated data will be reflected in various sources where interest rate data is used or viewed, including both paper and electronic communications and data sources. Prior use or communication of interest rate-related data will not be revised. Since variable interest rates may be subject to change at any time and are only as accurate as the data received from third-party data service providers or otherwise obtained by Pershing, interest rate data should not be relied on for making investment, trading, or tax decisions. All interest rate data and other information derived from and/or calculated using interest rates are not warranted as to accuracy, reliability, timeliness, or completeness and are subject to change without notice. Pershing disclaims any responsibility or liability to the fullest extent permitted by applicable law for any loss or damage arising from any reliance on or use of the interest rate data or other information derived from and/or calculated using interest rates in any way. You should request a current valuation for your securities from your financial adviser or broker prior to making a financial decision or placing an order or requesting a transaction in these securities.

Structured Products

Structured products in this section are complex products and may be subject to special risks, which may include, but are not limited to: loss of initial investment; issuer credit risk; limited or no appreciation; risks associated with the underlying reference asset(s); no periodic payments; call prior to maturity (a redemption could affect the yield represented); early redemption fees or other applicable fees; price volatility resulting from issuer's and/or guarantor's credit quality; lower interest rates and/or yield compared to conventional debt with a comparable maturity; unique tax implications; concentration risk of owning the related security; limited or no secondary market; restrictions on transferability; conflicts of interest; and limits on participation in appreciation of underlying asset(s). To review a complete list of risks, please refer to the offering documents for the structured product. For more information about the risks specific to your structured products, you should contact your financial institution or advisor. Certain structured products are designed to make periodic distributions to you and any such structured product distributions you receive will be listed in the Transactions section of your statement. Structured product distributions may be listed there as "Bond Interest Received"; however, this description is not intended to reflect a determination as to either the asset classification of the product or the U.S. tax treatment of such distributions.

Activity Summary *(All amounts shown are in base currency)*

	Credits This Period	Debits This Period	Net This Period	Credits Year-to-Date	Debits Year-to-Date	Net Year-to-Date
Dividends and Interest	\$15,382.29	\$0.00	\$15,382.29	\$60,811.90	\$0.00	\$60,811.90
Fees	\$0.00	-\$668.28	-\$668.28	\$0.00	-\$2,323.26	-\$2,323.26
Totals	\$15,382.29	-\$668.28	\$14,714.01	\$60,811.90	-\$2,323.26	\$58,488.64

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Transactions in Date Sequence

Process/ Settlement Date	Activity Type	Description	Quantity	Price	Accrued Interest	Amount	Currency
04/01/25	CASH DIVIDEND RECEIVED DSVXX	DREYFUS PREFERRED GOVERNMENT MONEY MARKET FUND INSTITUTIONAL CLASS FOR ACCRUAL PERIOD ENDING 03/31/25				15,093.85	USD
04/11/25	MANAGEMENT FEE PAID USD999997	MANAGEMENT FEE				-668.28	USD
04/30/25	MONEY MARKET FUND INCOME RECEIVED PER201156	DREYFUS TREAS OBLIG				288.44	USD
Total Value of Transactions					\$0.00	\$14,714.01	USD
The price and quantity displayed may have been rounded.							

Income and Expense Summary

	Current Period		Year-to-Date	
	Taxable	Non Taxable	Taxable	Non Taxable
Dividend Income				
Money Market	288.44	0.00	885.18	0.00
Other Dividends	15,093.85	0.00	59,926.72	0.00
Total Income	\$15,382.29	\$0.00	\$60,811.90	\$0.00

Money Market Fund Detail

Date	Activity Type	Description	Amount	Balance
Sweep Money Market Fund				
DREYFUS TREAS OBLIG CM PART				
Current Yield: 3.79% Activity Ending: 04/30/25				
04/01/25	Opening Balance		78,322.15	78,322.15
04/02/25	Deposit	MONEY FUND PURCHASE	15,093.85	93,416.00
04/11/25	Withdrawal	MONEY FUND REDEMPTION	-668.28	92,747.72
04/30/25	Deposit	INCOME REINVEST	288.44	93,036.16
04/30/25	Closing Balance			\$93,036.16
Total All Money Market Funds				\$93,036.16

Messages

Although a money market mutual fund (money fund) seeks to preserve the value of your investment at \$1 per share, it is possible to lose money by investing in a money fund. Shares of a money fund or the balance of a bank deposit product held in your brokerage account may be liquidated upon request with the proceeds credited to your brokerage account. Please see the money fund's prospectus or the bank deposit product's disclosure document or contact your advisor for additional information. Pursuant to SEC Rule 10b-10(b)(1) confirmations are not sent for purchases into money funds processed on the sweep platform. Pursuant to applicable regulation, account statements will be produced monthly or quarterly. Balances in Federal Deposit Insurance Corporation (FDIC)-insured bank deposit sweep products are not protected by Securities Investor Protection Corporation (SIPC).

Important Information and Disclosures

The Role of Pershing

- **Pershing LLC, member FINRA, NYSE, carries your account as clearing broker pursuant to a clearing agreement with your financial institution.** Pershing is not responsible or liable for any acts or omissions of your financial institution or its employees and it does not supervise them. Pershing provides no investment advice nor does it assess the suitability of any transaction or order. Pershing acts as the agent of your financial institution and you agree that you will not hold Pershing or any person controlling or under common control with it liable for any investment losses incurred by you.
- Pershing performs several key functions at the direction of your financial institution. It acts as custodian for funds and securities you may deposit with it directly or through your financial institution or that it receives as the result of securities transactions it processes.
- Your financial institution is responsible for adherence to the securities laws, regulations and rules which apply to it regarding its own operations and the supervision of your account, its sales representatives and other personnel. Your financial institution is also responsible for approving the opening of accounts and obtaining account documents; the acceptance and, in certain instances, execution of securities orders; the assessment of the suitability of those transactions, where applicable; the rendering of investment advice, if any, to you and in general, for the ongoing relationship that it has with you.
- Inquiries concerning the positions and balances in your account may be directed to the **Pershing Customer Service Department at (201) 413-3333**. All other inquiries regarding your account or activity should be directed to your financial institution. Your financial organization's contact information can be found on the first page of this statement.
- For a description of other functions performed by Pershing please consult the Disclosure Statement provided to you upon the opening of your account. This notice is not meant as a definitive enumeration of every possible circumstance, but as a general disclosure. If you have any questions regarding this notice or if you would like additional copies of the Disclosure Statement, please contact your financial institution.
- Pershing is a member of the Securities Investor Protection Corporation (SIPC®). Please note that SIPC does not protect against loss due to market fluctuation. An explanatory brochure is available upon request at www.sipc.org. In addition to SIPC protection, Pershing provides coverage in excess of SIPC limits. For more detailed information please visit: www.bny.com/pershing/us/en/about/strength-and-stability.html
- This statement will be deemed conclusive. You are advised to report any inaccuracy or discrepancy (including unauthorized trading) promptly, but no later than ten days after receipt of this statement, to your financial organization and Pershing. Please be advised that any oral communication should be re-confirmed in writing to further protect your rights, including your rights under the Securities Investor Protection Act.
- Your financial organization's contact information can be found on the first page of this statement. Pershing's contact information is as follows: **Pershing LLC, Legal Department, One Pershing Plaza, Jersey City, New Jersey 07399; (201) 413-3330**. Errors and Omissions excepted.

Important Arbitration Disclosures

- All parties to this agreement are giving up the right to sue each other in court, including the right to a trial by jury, except as provided by the rules of the arbitration forum in which a claim is filed.
- Arbitration awards are generally final and binding; a party's ability to have a court reverse or modify an arbitration award is very limited.
- The ability of the parties to obtain documents, witness statements and other discovery is generally more limited in arbitration than in court proceedings.
- The arbitrators do not have to explain the reason(s) for their award, unless, in an eligible case, a joint request for an explained decision has been submitted by all parties to the panel at least 20 days prior to the first scheduled hearing date.
- The panel of arbitrators will typically include a minority of arbitrators who were or are affiliated with the securities industry.
- The rules of some arbitration forums may impose time limits for bringing a claim in arbitration. In some cases, a claim that is ineligible for arbitration may be brought in court.
- The rules of the arbitration forum in which the claim is filed, and any amendments thereto, shall be incorporated into this agreement.

Important Arbitration Agreement

Any controversy between you and Pershing LLC shall be submitted to arbitration before the Financial Industry Regulatory Authority. No person shall bring a putative or certified class action to arbitration, nor seek to enforce any predispute arbitration agreement against any person who has initiated in court a putative class action, who is a member of a putative

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Important Information and Disclosures *(continued)*

Important Arbitration Agreement *(continued)*

class who has not opted out of the class with respect to any claims encompassed by the putative class action until; (I) the class certification is denied; (II) the class is decertified; or (III) the client is excluded from the class by the court. Such forbearance to enforce an agreement to arbitrate shall not constitute a waiver of any rights under this agreement except to the extent stated herein. The laws of the State of New York govern.

Pershing's contact information is as follows: **Pershing LLC, Legal Department, One Pershing Plaza, Jersey City, New Jersey 07399; (201) 413-3330.**



Clerk Report

Date: 5-15-25
To: Village Board
From: Lynnae Kolden

Projects/Tasks/Meetings

- A/R Billing
- Weekly Department Chair Meeting
- Logo Items - Ongoing
- Signage – Waiting Install
- Scanning / Laserfiche

Current & Upcoming Tasks/Projects

Task/Project	Due Date	Status	Notes
Cold Storage Room		On-going	Reorganizing files with Laserfiche
New Signage	Spring	PW Prepping Sites	Signs are ready to be installed
Updating Logo	Ongoing	Working on various items.	Ongoing – Website is ready to launch.
Community Outreach Event	May 29 th	Planned	Have food Vendors, Advertising Next
Food Trucks in the Park	Sept 11 th , 2025	1 Final meeting Aug 12 th for planning	Securing Vendors via application, advertising and flyer will be pushed in the summer months
Alcohol License Renewals	May 15 th Forms due License up July 1st	Sent out renewal notices. Running background checks and processing forms.	Approvals VB Meeting June 3rd & 17th