

Chair
• Ryan Cowley

Vice-Chair
• Claude Payne

City Planner
• Steve Parkinson



Commission Members

- Samantha Bills
- Torris Brand
- Christopher Collins
 - Jason Felt
- Janel Hulbert
 - Jason Sphar
- Daniel Tanner

PLANNING COMMISSION AGENDA

June 14, 2022 - 6:00 p.m.

The Roy City Planning Commission regular meeting will be held in the City Council Chamber / Court Room in the Roy City Municipal Building located at 5051 South 1900 West. The meeting will commence with the Pledge of Allegiance, which will be appointed by the Chair.

This meeting will be streamed live on the Roy City YouTube channel.
(<https://www.youtube.com/channel/UC6zdmDzxdOSW6veb2XpzCNA>)

Agenda Items

1. Declaration of Conflicts
2. Approval of the May 10, 2022 regular meeting minutes
3. Approval of the May 24, 2022 work-session minutes

Legislative Items

4. **Public Hearing - 6:00 p.m.** - To consider amendments to Title 10 Zoning Regulations, regarding Water-Wise / Drought Tolerant Landscaping, amending CH 10 - General Property Development Standards - 10-10-20 - Required Front Yard Landscaping in Residential Zones; CH 13 - Mixed Use - 10-13-5 - Landscaping; CH 14 - Permitted Uses - 10-14-10 - Application Requirements to Establish a Permitted Use Proposing New Construction of a Building(s); & 10-14-11 - Additional Site and Building Design Standards for New Construction or Structural Modifications to an Existing Building(s); CH 15 - Conditional Uses - 10-15-7 - Application Requirements to Establish a Conditional Use for New Construction of a Building(s); & 10-15-8 - Additional Site Standards and Design Requirements to Establish A Conditional Use; CH 31 - Definitions - Irrigation System Design & Landscaping.

Administrative Items

5. Consider a request for Site Plan & Architectural review approval for RailRunner located at approximately 2449 West 4000 South
6. Consider a request for Site Plan & Architectural review approval for Kents Market located at approximately 3535 West 5600 South
7. Commissioners Minute
8. Staff Update
9. Adjourn

In Compliance with the Americans with Disabilities Act, persons needing auxiliary communicative aids and services for these meetings should contact the Administration Department at (801) 774-1040 or by email: ced@royutah.org at least 48 hours in advance of the meeting.

Pursuant to Section 52-4-7.8 (1)(e) and (3)(B)(ii) "Electronic Meetings" of the Open and Public Meetings Law, any Commissioner may participate in the meeting via teleconference, and such electronic means will provide the public body the ability to communicate via the teleconference.

Certificate of Posting

The undersigned, does hereby certify that the above notice and agenda was posted in a public place within the Roy City limits on this 10th day of June 2022. A copy was also provided to the Standard Examiner and posted on the Roy City Website on the same date.

Visit the Roy City Web Site @ www.royutah.org
Roy City Planning Commission Agenda Information – (801) 774-1027


Steve Parkinson, City Planner





ROY CITY
Planning Commission Regular meeting
May 10, 2022 – 6:00 p.m.
City Council Chambers/Courtroom
5051 South 1900 West

1 The meeting was a regularly scheduled work-session designated by resolution. Notice of the
2 meeting was provided to the *Standard Examiner* at least 24 hours in advance. A copy of the
3 agenda was posted.

4
5 The following members were in attendance:

6
7 Ryan Cowley, Chair
8 Torris Brand
9 Chris Collins
10 Janel Hulbert
11 Jason Sphar
12 Daniel Tanner

Steve Parkinson, City Planner
Brody Flint, Assistant City Attorney

13
14 Excused: Commissioners Samantha Bills, Jason Felt and Claude Payne

15
16 Others in attendance: Glenda Moore, Alexis Riggs, Mike MacFarlane, Elizabeth Brown, Sabrina
17 Brown, and Brandy Fowers.

18
19 Pledge of Allegiance: Commissioner Collins

20
21 1. DECLARATIONS OF CONFLICT

22
23 There were none.

24
25 2. APPROVAL OF THE MARCH 22, 2022 WORK-SESSION MINUTES

26
27 **Commissioner Collins moved to approve the March 22, 2022, regular meeting minutes as**
28 **written. Commissioner Hulbert seconded the motion. Commissioners Brand, Collins,**
29 **Cowley, Hulbert, Sphar, and Tanner “aye.” The motion carried.**

30
31 3. APPROVAL OF THE APRIL 12, 2022 WORK-SESSION MINUTES

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33 **Commissioner Brand moved to approve the April 12, 2022, regular meeting minutes as**
34 **written. Commissioner Tanner seconded the motion. Commissioners Brand, Collins,**
35 **Cowley, Hulbert, Sphar, and Tanner voted “aye.” The motion carried.**

36
37 4. APPROVAL OF THE APRIL 26, 2022 WORK-SESSION MINUTES

38
39 **Commissioner Tanner moved to approve the April 26, 2022, regular meeting minutes as**
40 **written. Commissioner Collins seconded the motion. Commissioners Brand, Collins,**
41 **Cowley, Hulbert, Sphar, and Tanner voted “aye.” The motion carried.**

42
43 5. CONTINUATION – TO CONSIDER AMENDMENTS TO TITLE 10 ZONING
44 REGULATIONS, CH 10 - GENERAL PROPERTY DEVELOPMENT STANDARDS,
45 AMENDING TABLE 10-1 "MAXIMUM BUILDING HEIGHT" AND CH 31 - DEFINITIONS
46 AMENDING THE DEFINITION OF "BUILDING, HEIGHT"
47

Steve Parkinson, City Planner, provided an overview of this item. He explained that during the April 26th work-session staff explain what transpired during their conversation with Mr. Brodsky. Commissioner Felt also brought up a concern regarding the "3" points and asked if there was a way that staff could make so developers don't try and exploit it. The Commission discussed other ways and produced the idea of changing the minimum number of points from "3" to "4" and adding that at one point per façade is required. Staff recommended approval of the suggested change as outlined.

Commissioner Collins moved to recommend to the City Council that they approve the proposed amendments to Title 10 Zoning Regulations, CH 10 - General Property Development Standards, amending Table 10-1 "Maximum Building Height" and CH 31 - Definitions amending the definition of "Building, Height". Commissioner Brand seconded the motion. Commissioners Brand, Collins, Cowley, Hulbert, Sphar, and Tanner voted "aye." The motion carried.

6. PUBLIC HEARING – TO CONSIDER AMENDMENTS TO TITLE 13 SIGN REGULATIONS; CH 4 – REGULATIONS OF SIGNS; AMENDING SECTION 3 - SIGNS THAT REQUIRE A PERMIT; AMENDING MONUMENT SIGNS, POLE SIGNS AND ELECTRONIC MESSAGE CENTER (EMC) SIGNS, AND ADDING PROJECTING SIGNS, PROJECTING MARQUEE SIGNS AND AWNING SIGNS.

Steve Parkinson, City Planner, presented the staff report as well as a redlined copy of the ordinance showing the amendments in relation to existing language. He explained that when the City began looking at the Mixed Use zoning code for Downtown and the FrontRunner Station there was a chapter on signage, which was later removed when the Council approved it. But within that chapter there were new sign types. With the shift to allow buildings to be closer to the street and with possible multiple uses within the same building, should we look at our current sign code and the allowed types of signs and possibly increase what can or is allowed? During the last two (2) work-sessions (March 22, 2022 & April 26, 2022) the Commission has been discussing what sign types that were a part of the "Mixed Use" code and which of those could be allowed within those zones. Along with the proposed language regarding height, width, location, numbers, and appropriate zones. Exhibit "A" has the proposed language as discussed.

The proposed amendments are consistent with the General Plan, as well as previous discussions held by the Planning Commission. Therefore, Staff recommends forwarding a recommendation of approval to the City Council regarding the proposed amendments to Title 13 Sign Regulations; CH 4 – Regulations of Signs; amending Section 3 - Signs that Require a Permit; amending Monument Signs, Pole Signs and Electronic Message Center (EMC) Signs, and adding Projecting Signs, Projecting Marquee Signs and Awning Signs.as written and with the recommendations and findings as stated in the staff report.

Commissioner Tanner moved to open the public hearing. Commissioner Sphar seconded the motion. Commissioners Brand, Collins, Cowley, Hulbert, Sphar, and Tanner voted "aye." The motion carried

Chairman Cowley opened the floor for public comments. No comments were made.

Commissioner Spahr moved to close the public hearing. Commissioner Tanner seconded the motion. Commissioners Brand, Collins, Cowley, Hulbert, Spahr, and Tanner voted “aye.” The motion carried.

Commissioner Collins moved to recommend to the City Council that they approve the proposed amendments to Title 13 Sign Regulations; CH 4 – Regulations of Signs; amending Section 3 - Signs that Require a Permit; amending Monument Signs, Pole Signs and Electronic Message Center (EMC) Signs, and adding Projecting Signs, Projecting Marquee Signs and Awning Signs. Commissioner Hulbert seconded the motion. Commissioners Brand, Collins, Cowley, Hulbert, Spahr, and Tanner voted “aye.” The motion carried.

7. TO CONSIDER A REQUEST FOR SITE PLAN & ARCHITECTURAL REVIEW APPROVAL FOR DOLLAR TREE LOCATED AT APPROXIMATELY 3610 WEST 5600 SOUTH

Alexis Riggs & Mike MacFarlane, applicants, presented their application as well as an aerial map to depict the site plan's location. They explained that this vacant property is between 3500 West & 3675 West and 5600 South & 5500 South, located west of Kent's market. (Exhibit “A” in the staff report.) The property is 1.53 acres (66,646.8 sq.-ft.) in lot area. The proposed building will be approximately 10,000 sq.-ft. and will have the same access points as Kent's market itself. At the request of the Commissioners, the applicants then described where the truck entrance would be located.

Steve Parkinson, City Planner, presented the staff report and explained that there are a few issues with the site plan, however, these aren't large items that the site couldn't meet the ordinance after some minor modifications. The parking area exceeds the minimum number of parking stalls required, not only on this parcel but within the overall development. The proposed building will be visible from 5500 South, 5600 South and 3675 West. The elevations do appear to meet the minimum requirements of the code along with the proposed materials and colors. The proposed building and site can for the most part meet all of the minimum requirements of the code. There are still a department or two that haven't provided their comments; however, the Planning portion of the DRC Memo can be found in exhibit “D.” The Planning Commission will need to determine if the proposed development meets the intent of the Zoning Ordinance.

Commissioner Collins moved to approve the Site Plan for Dollar Tree with the conditions as stated in the staff report. Commissioner Tanner seconded the motion. Commissioners Brand, Collins, Cowley, Hulbert, Spahr, and Tanner voted “aye.” The motion carried.

Commissioner Tanner moved to approve the Architectural for Dollar Tree with the conditions as stated in the staff report. Commissioner Collins seconded the motion. Commissioners Brand, Collins, Cowley, Hulbert, Spahr, and Tanner voted “aye.” The motion carried.

8. CONSIDER A REQUEST FOR ARCHITECTURAL REVIEW APPROVAL FOR SACCOS LOCATED AT APPROXIMATELY 6050 SOUTH 1900 WEST

Brandy Fowers, applicant, presented, her application and discussed her desire to educate the public on where their food comes from. She noted that her business is family owned and operated. The property in question has been around for more than 60 years and it is located on the east side of 1900 West and is the last business as you leave the City heading south and is a Landmark in the City. Ms. Fowers stated that she wants to modernize the color scheme of this landmark. The color updates are to change the building from gray with yellow trim to a white building with black trim.

Commissioner Sphar moved to approve the Architectural for Sacco's with the conditions as stated in the staff report. Commissioner Hulbert seconded the motion. Commissioners Brand, Collins, Cowley, Hulbert, Sphar, and Tanner voted "aye." The motion carried.

9. COMMISSIONERS MINUTE

Mr. Parkinson provided updates on the painting project taking place at Deal Depot. He explained there was a halt on the project, at which time the painter went to work on a different project which is why there have been additional delays.

10. STAFF UPDATE

There were no additional staff updates.

11. ADJOURN

Commissioner Tanner moved to adjourn at 6:39 p.m. Commissioner Hulbert seconded the motion. Commissioners Brand, Collins, Cowley, Hulbert, Sphar, and Tanner voted "aye." The motion carried.

Ryan Cowley
Chair

dc: 05-10-22



ROY CITY
Planning Commission Work-Session
May 24, 2022 – 6:00 p.m.
Community Development Conference Room
5051 South 1900 West

The meeting was a regularly scheduled work-session designated by resolution. Notice of the meeting was provided to the *Standard Examiner* at least 24 hours in advance. A copy of the agenda was posted.

The following members were in attendance:

Claude Payne, Vice Chair	Steve Parkinson, City Planner
Torris Brand	
Chris Collins	
Jason Felt	
Janel Hulbert	
Jason Sphar	
Daniel Tanner	

Excused: Commissioner Samantha, Ryan Cowley, and Assistant City Attorney Brody Flint

Others in attendance: None

Pledge of Allegiance: Commissioner Hulbert

1. DECLARATIONS OF CONFLICT

There were none.

2. DISCUSSION ON WATER-WISE/DROUGHT TOLERANT LANDSCAPING ORDINANCE

Steve Parkinson, City Planner, presented the proposed ordinance. First, he covered additional language added to 10-10-20 Required Front Yard Landscaping in Residential Zones which stated:

(2) Water-wise landscaping is required for all Lots as identified in the subsection above. The following shall apply:

- 1) Turf not to exceed 35% of the total square footage of the front and side yards.
- 2) No turf in park-strips or any areas less than eight (8) feet in width.
- 3) Drip irrigation should be use for all Non-turf areas.

In general requirements, the following were added:

- i) Landscape plans shall comply with the following:
 - i) Turf not to exceed 15% of the total landscaped area (designated recreational areas excluded).
 - ii) No turf in parking lot landscape islands, park-strips, buffer areas or any area less than eight (8) feet wide.
 - iii) Drip irrigation should be use for all Non-turf areas.

Next, Mr. Parkinson reviewed Section 10-14-10 Application Requirements to Establish a Permitted Use Proposing New Construction of a Building(s). The ordinance stated that Landscape plan(s) shall be included with the Permitted Use Application, prepared by a registered landscape architect, identifying all proposed landscape, screening, and buffering features,

including all proposed plant materials, including their locations and sizes. All proposed plant materials should be drought tolerant. The following shall apply:

- b) Turf not to exceed 15% of the total landscaped area (designated recreational areas excluded).
- c) No turf in parking lot landscape islands, park-strips, buffer areas or any area less than eight (8) feet wide.
- d) Drip irrigation should be use for all Non-turf areas.

Mr. Parkinson reviewed Section 10-14-11 Additional Site and Building Design Standards for New Construction or Structural Modifications to an Existing Building(s). This section included Site and Building Design Standards, and then outlined requirements within the following areas: site access, trash and refuse collection areas, noise impact, off-street parking and loading bays, flood channels and drainage ways, site landscaping and screen treatments, landscape buffers, internal parking lot landscaping, landscape materials, native vegetation materials, plant size, spacing and scale, screening walls, fences and other visual barriers, non-vegetative land cover, and landscape maintenance. This section of the ordinance also clarified that All landscape plans should include necessary irrigation plans and shall demonstrate that long-term landscape maintenance and water conservation has been considered in the landscape design.

Mr. Parkinson reviewed Section 10-15-7 Application Requirements to Establish a Conditional Use for New Construction of a Building(s). Changes were made to subsection (b), regarding landscape plans. The following requirements were added:

- i) Turf not to exceed 15% of the total landscaped area (designated recreational areas excluded).
- ii) No turf in parking lot landscape islands, park-strips, buffer areas or any area less than eight (8) feet wide.
- iii) Drip irrigation should be use for all Non-turf areas.

Mr. Parkinson reviewed Section 10-15-8 Additional Site and Building Design Standards for New Construction or Structural Modifications to an Existing Building(s). This section also included site design standards.

Lastly, Mr. Parkinson reviewed Section 10-31-1 Purpose and Conflicts, noting language changes to the following:

Landscaping: Materials and treatments that include naturally growing elements such as grass, trees, shrubs, vines, ground covers and flowers. Landscaping may also include the use of rocks, stone, bark chips, and structural features, including but not limited to, fountains, outdoor artwork, benches, and contouring of the earth.

Mr. Parkinson and Planning Commissioners discussed the reasoning behind the proposed changes.

3. COMMISSIONERS MINUTE

Commissioner Felt asked what was going on along Airport Road.

Commissioner Tanner asked if the Fire Marshall had been down to the development on the south side of 4000 South and Midland Drive? The parking on the private road behind McDonalds etc. still has many, many cars parked and with the Townhomes behind that will make the area more difficult to navigate.

4. STAFF UPDATE

Mr. Parkinson mentioned that the Council had gone through the entire General Plan and staff has sent it to the consultant to make the modifications. Also mentioned that the last two ordinance amendments will be going to the Council in June.

5. ADJOURN

Commissioner Tanner moved to adjourn at 6:40 p.m. Commissioner Hulbert seconded the motion. Commissioners Brand, Felt, Hulbert, Payne, Sphar, and Tanner voted "aye," Commissioner Collins voted "nay." The motion carried.

Claude Payne
Vice-Chair

dc: 05-24-22



STAFF REPORT

Planning Commission

June 14, 2022

Agenda Item #4

SYNOPSIS

Application Information

Applicant: Roy City

Request: **6:00 p.m. – PUBLIC HEARING** – To consider amendments to Title 10 Zoning Regulations, regarding Water-Wise / Drought Tolerant Landscaping, amending CH 10 - General Property Development Standards - 10-10-20 - Required Front Yard Landscaping in Residential Zones; CH 13 – Mixed Use - 10-13-5 - Landscaping; CH 14 - Permitted Uses - 10-14-10 - Application Requirements to Establish a Permitted Use Proposing New Construction of a Building(s); & 10-14-11 - Additional Site and Building Design Standards for New Construction or Structural Modifications to an Existing Building(s); CH 15 – Conditional Uses - 10-15-7 - Application Requirements to Establish a Conditional Use for New Construction of a Building(s); & 10-15-8 - Additional Site Standards and Design Requirements to Establish A Conditional Use; CH 31 - Definitions – Irrigation System Design & Landscaping.

Staff

Report By: Steve Parkinson

Staff Recommendation: Approval

APPLICABLE ORDINANCES

- Roy City Zoning Ordinance Title 10 - Zoning Regulations
 - Chapter 10 - General Property Development Standards
 - 10-10-20 - Required Front Yard Landscaping in Residential Zones;
 - Chapter 13 – Mixed Use
 - 10-13-5 - Landscaping;
 - Chapter 14 - Permitted Uses
 - 10-14-10 - Application Requirements to Establish a Permitted Use Proposing New Construction of a Building(s); &
 - 10-14-11 - Additional Site and Building Design Standards for New Construction or Structural Modifications to an Existing Building(s);
 - Chapter 15 – Conditional Uses
 - 10-15-7 - Application Requirements to Establish a Conditional Use for New Construction of a Building(s);
 - 10-15-8 - Additional Site Standards and Design Requirements to Establish A Conditional Use;
 - Chapter 31 - Definitions –
 - Irrigation System Design
 - Landscaping.

ANALYSIS

Background:

During the March 15th City Council meeting Jon Parry from Weber Basin Water presented the Flip-your-Strip program. From that the Council directed staff to look at it and have the Planning Commission look at amending our Ordinance(s). Also with the ever increasing drought/issue/concern of water conservation and with residences wanting to qualify for the “Flip-your-Strip” and other incentive programs as well as being good stewards ourselves. Staff would like to have a discussion on the code requirements that Weber Basin Water Conservancy District presented us to adopt for a more “Water-wise” Landscaping ordinance.



During the April 26, 2022 Work-session the Commission had a discussion on what potential amendments are going to be needed to accomplish Weber Basin's goals and the City's needs and desires.

Things Weber Basin's amendments would require:

- Prohibit lawn in park-strips less than eight (8) feet wide.
- Limit lawn in all new yards and/or yards that re-landscape with a max percentage:
 - Single-Family 35%
 - Commercial 15%
- Prohibit lawn in buffer areas.
- Require drip irrigation in areas less than eight (8) feet wide.
- Require smart irrigation controllers
- Prevent HOA's from prohibiting xeriscape landscaping

The Commission reviewed the Weber Basin Water Efficient Landscape Ordinance as well as a summary of other Cities for Water Efficient Landscaping Standards.

During the May 24, 2022 work-session the Commission discussed potential language changes to sections of the Zoning Code in order to comply with the requirements set by Weber Basin Water Conservancy District in order for the citizens of Roy to take part in the "Flip your Strip" program.

The sections of the code that were reviewed were:

- | | |
|------------|-----------|
| • 10-10-20 | • 10-15-7 |
| • 10-13-5 | • 10-15-8 |
| • 10-14-10 | • 10-31-1 |
| • 10-14-11 | |

Staff also sent a copy of the proposed language changes to Jon Parry of Weber Basin Water to get his input on the proposed changes. His comments have been incorporated into the proposed changes as found in Exhibit "A".

FINDINGS

1. The proposed amendments are consistent with the General Plan.
2. Is consistent with previous discussions with the Planning Commission.

ALTERNATIVE ACTIONS

The Planning Commission can recommend Approval, Approval with conditions, Deny or Table.

RECOMMENDATION

Staff recommends forwarding a recommendation of approval to the City Council regarding the proposed amendments to Title 10 Zoning Regulations, regarding Water-Wise / Drought Tolerant Landscaping, amending CH 10 - General Property Development Standards - 10-10-20 - Required Front Yard Landscaping in Residential Zones; CH 13 - Mixed Use - 10-13-5 - Landscaping; CH 14 - Permitted Uses - 10-14-10 - Application Requirements to Establish a Permitted Use Proposing New Construction of a Building(s); & 10-14-11 - Additional Site and Building Design Standards for New Construction or Structural Modifications to an Existing Building(s); CH 15 - Conditional Uses - 10-15-7 - Application Requirements to Establish a Conditional Use for New Construction of a Building(s); & 10-15-8 - Additional Site Standards and Design Requirements to Establish a Conditional Use; CH 31 - Definitions - Irrigation System Design & Landscaping as written and with the recommendations and findings as stated in the staff report.

EXHIBITS

- A. Proposed Changes

EXHIBIT “A” – PROPOSED CHANGES

Note - Language to be added has been **bolded** and language to be removed has been ~~struck~~ through.

10-10-20 Required Front Yard Landscaping in Residential Zones:

1. Landscaping, ~~such as but not limited to, grass, rocks, trees, shrubs, and ground cover~~ **as defined** is required to be installed in all yard areas of all residential lots within eighteen (18) months from issuance of a Certificate of Occupancy. For existing residential lots which have either not installed landscaping or residential lots where the landscaping no longer exists, landscaping according to these regulations shall be installed within eighteen (18) months from the enactment of this provision. **The following shall apply:**
 - a. **Turf grass not to exceed 35% of the total irrigable space of the front and side yards.**
 - b. **No turf grass in park-strips or any areas less than eight (8) feet in width.**
 - c. **An Irrigation System Design should be used for all areas to conserve water.**
2. Landscaping of residential lots shall be maintained in a healthy condition. Yard areas shall not lack appropriate turf, plant or ground cover material so as to cause excessive dust or allow the accumulation of debris. (Ord. 1036, 12-7-2013)

10-13-5 Landscaping:

- 1) General Requirements.
 - b) Applicability. Landscaping, trees, and buffers shall be installed as detailed in this section.
 - ii) **Landscape plans shall comply with the following:**
 - (1) **Turf grass not to exceed 15% of the total landscaped area (designated recreational areas excluded).**
 - (2) **No turf grass in parking lot landscape islands, park-strips, buffer areas or any area less than eight (8) feet wide.**
 - (3) **An Irrigation System Design should be used for all areas to conserve water.**
 - iii) Buffers. Landscape buffers are required according to the provisions in this section with the following exceptions.
 - (1) Shared Driveways. Buffers shall not be required along a property line where a curb cut or aisle is shared between two adjoining lots.
 - (2) Points of Access. Buffering is not required at driveways or other points of access to a lot.
 - iv) Temporary Uses. These provisions do not apply to temporary uses, unless determined otherwise by the Zoning Administrator.

10-14-10 Application Requirements to Establish a Permitted Use Proposing New Construction of a Building(s):

All applications to establish a Permitted Use proposing new construction of a building(s) shall include and provide the following information:

- 3) Located on the Site Plan sheet(s), or on separate sheets, as may be proposed by the applicant, or required by the Zoning Administrator for readability, the following information shall be provided:
 - b) A Landscape Plan(s). Landscape plan(s) shall be included with the Permitted Use Application, prepared by a registered landscape architect, identifying all proposed landscape, screening and buffering features, including all proposed plant materials, including their locations and sizes. All proposed plant materials should be drought tolerant. **The following shall apply:**
 - i) **Turf grass not to exceed 15% of the total landscaped area (designated recreational areas excluded).**
 - ii) **No turf grass in parking lot landscape islands, park-strips, buffer areas or any area less than eight (8) feet wide.**
 - iii) **An Irrigation System Design should be used for all areas to conserve water.**

10-14-11 Additional Site and Building Design Standards for New Construction or Structural Modifications to an Existing Building(s):

To achieve the purposes of this Ordinance, Site and Building Design Standards or Design Guidelines are categorized as follows:

B. Site Design Standards:

All Site Plan Applications shall provide site functionality for the integration of the proposed buildings with existing, or planned, pedestrian and vehicular circulation patterns and provides for a system of interconnected streets, walkways, trails, and parking areas.

- 9) **Site Landscaping and Screening Treatments.** Landscape improvements should mitigate building and parking lot impact, add aesthetic interest, and character. Landscaping is an integral element of site development. Landscaping should complement the architecture of the building and provide visual interest and variety, provide screening elements, add to year round site beautification, highlight building design features, and conserve water. The minimum landscaping requirement is based on the Zoning District in which the site is located, as provided in Table 10-2. Landscape designers shall recognize the following landscape design principles with the Landscape Plan(s) materials:
 - h) **Landscape Maintenance.** All landscape plans shall include necessary irrigation plans and shall demonstrate that long-term landscape maintenance **and water conservation** has been considered in the landscape design.

10-15-7 Application Requirements to Establish a Conditional Use for New Construction of a Building(s):

All applications to establish a Conditional Use shall include a Site Plan and provide the following information:

- 3) Located on the Site Plan sheet(s), or on separate sheets, as may be proposed by the applicant, or required by the Zoning Administrator for readability, the following information shall be provided:
 - b) A Landscape Plan(s). Landscape plan(s) shall be included with the Conditional Use Application, prepared by a registered landscape architect, identifying all proposed landscape, screening and buffering features, including all proposed plant materials, including their locations and sizes. All proposed plant materials should be drought tolerant. **The following shall apply:**
 - (i) **Turf grass not to exceed 15% of the total landscaped area (designated recreational areas excluded).**
 - (ii) **No turf grass in parking lot landscape islands, park-strips, buffer areas or any area less than eight (8) feet wide.**
 - (iii) **An Irrigation System Design should be used for all areas to conserve water.**

10-15-8 Additional Site Standards and Design Requirements to Establish A Conditional Use:

To achieve the purposes of this Ordinance, Site and Building Design Standards or Design Guidelines are categorized as follows:

B. Site Design Standards:

All Site Plan Applications shall provide site functionality for the integration of the proposed buildings with existing, or planned, pedestrian and vehicular circulation patterns and provides for a system of interconnected streets, walkways, trails, and parking areas.

- 9) **Site Landscaping and Screening Treatments.** Landscape improvements should mitigate building and parking lot impact, add aesthetic interest, and character. Landscaping is an integral element of site development. Landscaping should complement the architecture of the building and provide visual interest and variety, provide screening elements, add to year round site beautification, highlight

building design features, and conserve water. The minimum landscaping requirement is based on the Zoning District in which the site is located, as provided in Table 10-2. Landscape designers shall recognize the following landscape design principles with the Landscape Plan(s) materials:

- h) **Landscape Maintenance.** All landscape plans shall include necessary irrigation plans and shall demonstrate that long-term landscape maintenance **and water conservation** has been considered in the landscape design.

10-31-1 Purpose and Conflicts:

Irrigation System Design:

- 1. A drip irrigation (with filter and pressure regulator) used in areas where turf grass is not used.**
- 2. Each irrigation valve shall irrigate landscaping with similar plant materials and watering needs. Turf grass and planting beds shall be irrigated on separate valves. Drip emitters, pop up spray heads, and rotators shall be placed on separate irrigation valves.**
- 3. Water Sense labeled smart irrigation controllers shall be used for landscaped areas.**

Landscaping: Materials and treatments that include naturally growing elements such as **turf** grass, trees, shrubs, **vines, ground covers, artificial turf (with no concrete underneath), drought tolerant plants** and flowers. Landscaping may also include the use of rocks, **stone, bark chips, and structural features, including but not limited to,** fountains, **outdoor art work**, benches, and contouring of the earth. **Landscaping does not include concrete, asphalt or other similar products.**



STAFF REPORT

Planning Commission

June 14, 2022

Agenda Item # 5

SYNOPSIS

Application Information

Applicant: Pat Burns; Lynx Construction
Request: Request for Site Plan and Architectural approval of an addition for RailRunner
Address: Approximately 2449 West 4000 South

Land Use Information

Current Zoning: S-S: Station-South
Adjacent Zoning: North: S-S: Station-South South: R-3; Multi-Family Residential
East: R-1-8; Single-Family Residential West: R-1-8; Single-Family Residential

Staff

Report By: Steve Parkinson
Recommendation: Recommends approval with conditions.

APPLICABLE ORDINANCES

- Roy City Zoning Ordinance Title 10, Chapter 13 – Mixed Use

ANALYSIS

Project Overview:

This property vacant and is between 4000 South to the North, West Park Subdivision to the South, D&RG Trail to the West and the Union Pacific Railroad to the East. (Exhibit "A") The property is approximately 16.38 acres (713,512.8 sq.-ft.) in lot area. .

Staff Review & Comments:

Parking: Teach unit appears to have a 2-Car garage, which meets the minimum number of stalls for 3-bedroom units. However the site also has 74 additional parking spaces for visitors as well 112 units have driveways long enough for additional visitor parking. The project has more parking than required.

Site Plan: There are several issues with the site plan that once corrected might change the site plan itself, but on a holistic view those changes won't change the concept or overall development.

Elevations: There three (3) different proposed buildings. The elevations do appear to meet the minimum requirements of the code along with the proposed materials and colors. However it would be nice to incorporate more "Aerospace" type of materials

Summary: The proposed buildings and site can for the most part meet all of the minimum requirements of the code. For your information the Planning portion of the DRC memo can be found in Exhibit "D".

The Planning Commission will need to determine if the proposed development meets the intent of the Zoning Ordinance.

CONDITIONS FOR APPROVAL

- Compliance to the requirements and recommendations within this report.
- Compliance to all requirements as discussed in this meeting

FINDINGS

- The proposed site plan can meet all of the requirements of the Zoning Ordinance.
- The proposed building elevations can meet all of the requirements of the Zoning Ordinance.



ALTERNATIVE ACTIONS

The Planning Commission can recommend Approval, Approval with conditions, Table or Deny.

RECOMMENDATION

Staff recommends approving both the Site Plan and Architectural review with the conditions that all current and future DRC review comments are complied with along with any conditions as stated in the Staff report or during this Planning Commission meeting

EXHIBITS

- A. Aerial Map
- B. Proposed Site Plan
- C. Proposed Building Elevations
- D. Building Materials
- E. Planning Portion of the DRC Review Memo

EXHIBIT "A" – AERIAL

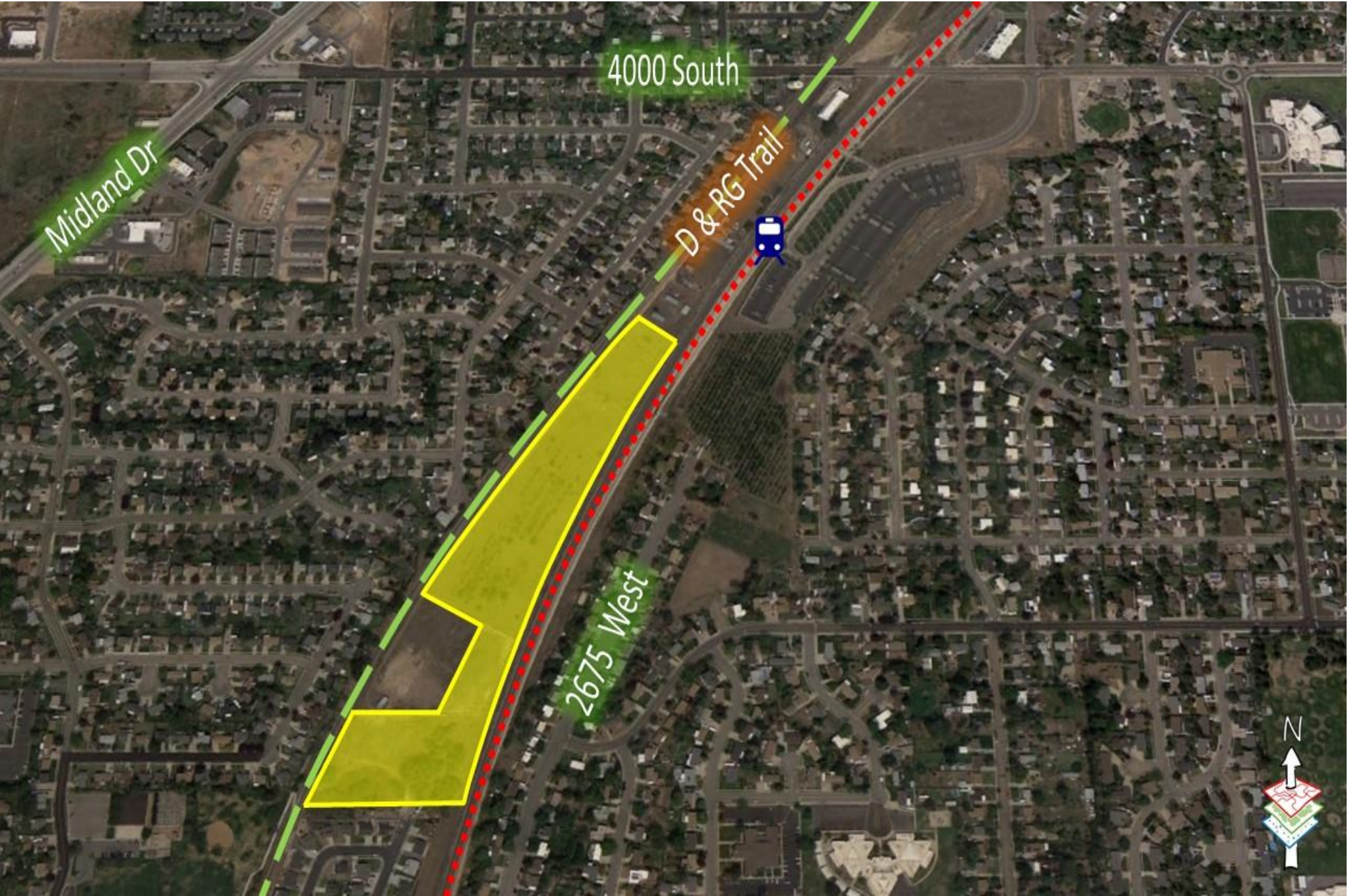


EXHIBIT "B" – PROPOSED SITE PLAN

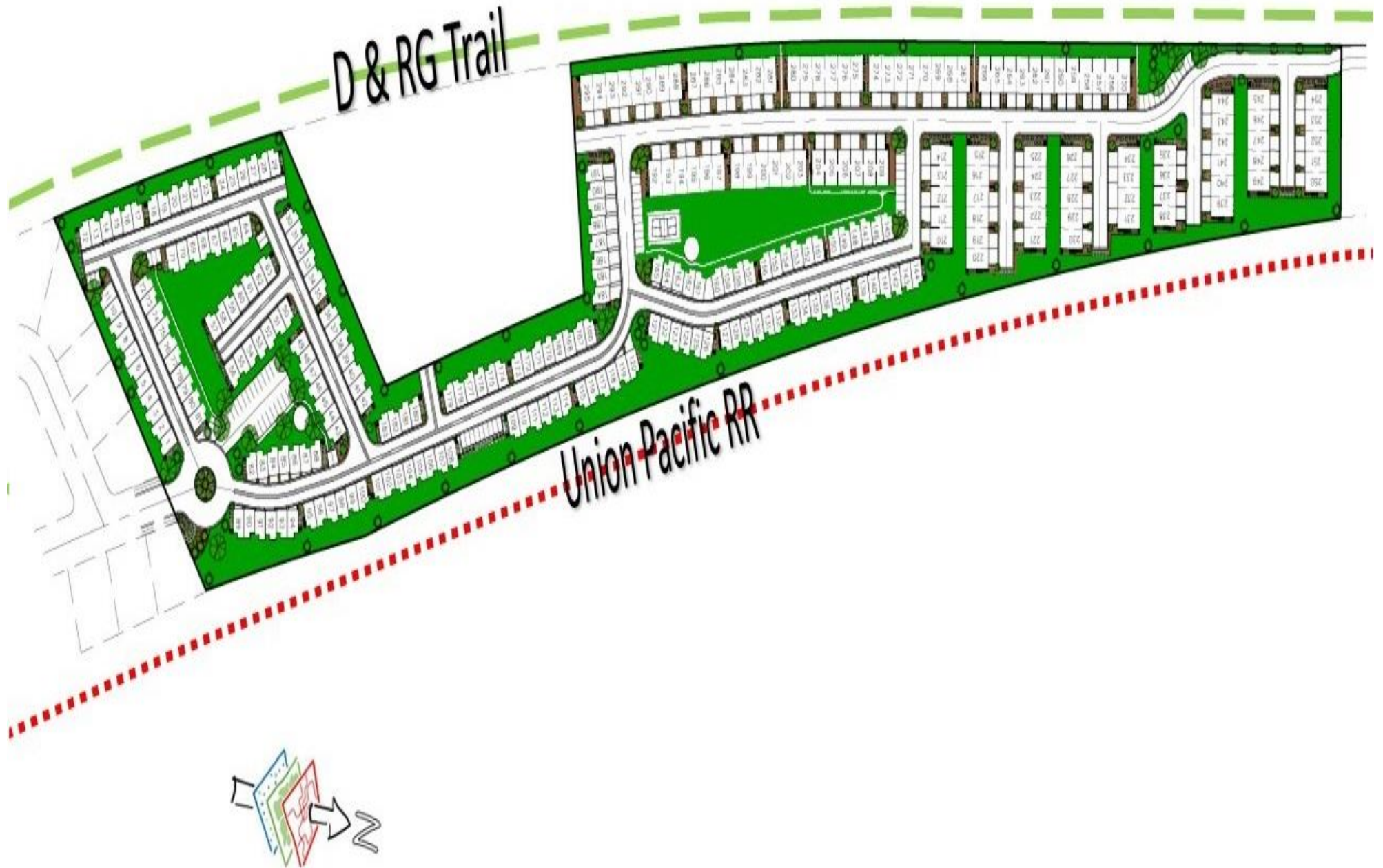
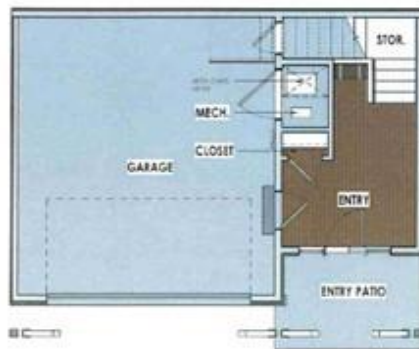


EXHIBIT "C" – PROPOSED ELEVATIONS

Building Type I



Building Type 2



Building Type 3

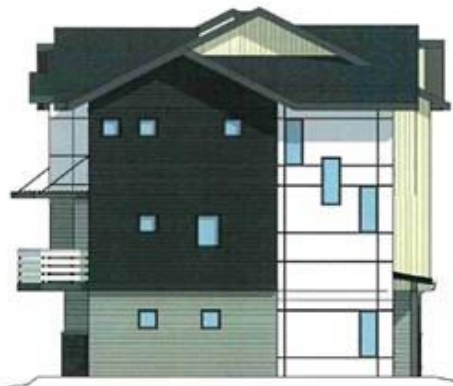


EXHIBIT "D" – PROPOSED BUILDING MATERIALS

MATERIAL CHART

COLOR SCHEME - 01



FIBER CEMENT LAP SIDING
Material: Fiber Cement Lap Siding 6" Exposure
Manufacturer: TBD
Color: SW7040 Smokehouse



FIBER CEMENT BD & BATT SIDING
Material: Fiber Cement Board and Batt Siding
Manufacturer: TBD
Color: SW9054 French Mole



STONE VENEER
Material: Thin Stone
Manufacturer: Delta Stone
Color: Mountain Valley Natural



FIBER CEMENT PANEL
Material: Fiber Cement Board with Reveal
Manufacturer: TBD
Color: White



ROOFING
Material: Standing Seam Metal
Manufacturer: MBCI
Color: Medium Bronze



ROOFING
Material: Asphalt Shingle
Manufacturer: GAF Timberline or Equal
Color: Charcoal



WOOD COLUMNS/BEAMS
Material: Wood Stained
Manufacturer: TBD
Color: Clear Seal Natural



FASCIA/TRIM/PARAPET CAP/D RIP EDGE
Material: Fiber Cement/MTL
Manufacturer: TBD
Color: Charcoal 379 (Geniek)

COLOR SCHEME - 02



ENTRY DOORS
Material: Wood
Manufacturer: TBD
Color: To Match Charcoal Gray

GARAGE DOORS
Material: Aluminum/Glass
Manufacturer: TBD
Color: TBD - Anodized Gray

WINDOWS
Material: Vinyl
Manufacturer: TBD
Color: White



FIBER CEMENT LAP SIDING
Material: Fiber Cement Lap Siding 6" Exposure
Manufacturer: TBD
Color: SW7047 Porpoise



FIBER CEMENT LAP SIDING
Material: Fiber Cement Lap Siding 6" Exposure
Manufacturer: TBD
Color: SW7044 Amazing Gray



FIBER CEMENT BD & BATT SIDING
Material: Fiber Cement Board and Batt Siding
Manufacturer: TBD
Color: SW9021 Naples Yellow



STONE VENEER
Material: Thin Stone
Manufacturer: Delta Stone
Color: Cherry Hill



FIBER CEMENT PANEL
Material: Fiber Cement Board with Reveal
Manufacturer: TBD
Color: White



ROOFING
Material: Standing Seam Metal
Manufacturer: MBCI
Color: Medium Bronze



ROOFING
Material: Asphalt Shingle
Manufacturer: GAF Timberline or Equal
Color: Charcoal



WOOD COLUMNS/BEAMS
Material: Wood Stained
Manufacturer: TBD
Color: Clear Seal Natural



FASCIA/TRIM/PARAPET CAP/D RIP EDGE
Material: Fiber Cement/MTL
Manufacturer: TBD
Color: Charcoal 379 (Geniek)

COLOR SCHEME - 03



ENTRY DOORS
Material: Wood
Manufacturer: TBD
Color: To Match Charcoal Gray

GARAGE DOORS
Material: Aluminum/Glass
Manufacturer: TBD
Color: TBD - Anodized Gray

WINDOWS
Material: Vinyl
Manufacturer: TBD
Color: White



FIBER CEMENT LAP SIDING
Material: Fiber Cement Lap Siding 6" Exposure
Manufacturer: TBD
Color: SW7744 Teal



FIBER CEMENT LAP SIDING
Material: Fiber Cement Lap Siding 6" Exposure
Manufacturer: TBD
Color: SW7549 Stucco



FIBER CEMENT BD & BATT SIDING
Material: Fiber Cement Board and Batt Siding
Manufacturer: TBD
Color: SW6191 Centerfield



STONE VENEER
Material: Thin Stone
Manufacturer: Delta Stone
Color: Jackson Ledge



FIBER CEMENT PANEL
Material: Fiber Cement Board with Reveal
Manufacturer: TBD
Color: White



ROOFING
Material: Standing Seam Metal
Manufacturer: MBCI
Color: Medium Bronze



ROOFING
Material: Asphalt Shingle
Manufacturer: GAF Timberline or Equal
Color: Charcoal



WOOD COLUMNS/BEAMS
Material: Wood Stained
Manufacturer: TBD
Color: Clear Seal Natural



FASCIA/TRIM/PARAPET CAP/D RIP EDGE
Material: Fiber Cement/MTL
Manufacturer: TBD
Color: Charcoal 379 (Geniek)



Date:

To: Pat Burns
Chris Cave & Emilee Roche; Reeve & Associates

From: Steve Parkinson – Planning & Zoning Administrator

Subject: The RailRunner Site Plan – 2449 We. 4000 So. – plans submitted May 17, 2022

If there are comments below that require corrections OR changes to plans, resubmittal of plans is required.

We have tried to address all items of concern with reference to all applicable City codes or for the general Health, Safety and Welfare of the public, however, this review does not forego any other items of concern that may come to our attention during additional reviews.

Planning –

A. General

1. Plans need to provide street standards for the R.O.W. easement going to or coming from 4000 South.

B. Site Plan

1. Plans are lacking measurements.
 - a. Setbacks, front/rear is 10'
2. What's the overall acreage within the project?
3. Landscaping plans should take into account water-wise/drought tolerant planting. City currently is reviewing an amendment to the Zoning Code requiring no more than 15% of the project can be in turf, except within "designated activity areas"
4. Need to submit an Irrigation Plan
5. Parking space areas need to have landscaping at the beginning and ending of all rows. After eight (8) stalls in a row there must be a landscape island.
6. Vehicle parking requirement for 3 bedroom units is 2 stalls.
7. Vehicle parking dimensions are to be 9'x20 unless abutting a six (6) foot walkway or a minimum of two (2) feet of landscaping.
8. Where are the Bicycle parking areas?
 - a. The requirement is 0.05 spaces per bedroom (295 units of 3 bedrooms equals 45 spaces.)
9. Will there be any additional trail access points on the south end of the project?
10. What type of Open Space is being proposed?
11. What will the bowery's look like?
12. Will there be any other amenities?
13. What treatment is being proposed for the sidewalks that end along the southern boundary?
Sidewalks are required along all public streets.
14. One building type shows a grade change from front to back, is the site such where this would/could occur?
15. What type of fencing is proposed to be installed along the boundary of the project?
16. Will there be dumpsters?
17. All street names will be redone

C. Architectural

1. The maximum number of units per building is eight (8).
2. Minimum distance between buildings is 15'.
3. Plans are lacking measurements (Scale is incorrect)
4. The materials by-in-large meet the code, however it would be nice to have more "Aerospace" type materials.



D. Site Lighting

- I. Will there be any street lights?

E. Subdivision Plat

- I. A plat will be required for subdividing & combining the parcels into the project area. This must be completed prior to occupancy of any buildings.



STAFF REPORT

Planning Commission

June 14, 2022

Agenda Item # 6

SYNOPSIS

Application Information

Applicant: David Lloyd
Request: Request for Site Plan and Architectural approval of an addition for Kent's Market
Address: Approximately 3535 West 5600 South

Land Use Information

Current Zoning: CC: Community Commercial
Adjacent Zoning: North: RE-15; Residential Estates South: CC: Community Commercial
East: CC: Community Commercial West: CC: Community Commercial

Staff

Report By: Steve Parkinson
Recommendation: Recommends approval with conditions.

APPLICABLE ORDINANCES

- Roy City Zoning Ordinance Title 10, Chapter 10 – General Property Development Standards
 - 10-10-24 - Table 10-1 – Minimum Lot and Setback Requirements ...
- Roy City Zoning Ordinance Title 10, Chapter 14 – Permitted Uses
 - 10-14-11 – Additional Site and Building Design Standards
- Roy City Zoning Ordinance Title 10, Chapter 17 – Table of Uses
 - 10-17-1 - Table 17-1 – Table of Allowed Uses – Non-Residential Zoning Districts
- Roy City Zoning Ordinance Title 10, Chapter 19 – Off-Street Parking and Loading

ANALYSIS

Project Overview:

The property is on the West side of 3500 West and between 5600 South & 5500 South,. (Exhibit "A") The property has 4.18 acres (182,080.8 sq.-ft.) in lot area. The proposed project will be a 29'x21' addition on the Northwest side of the Kent's building, behind the "Strip Mall" portion of the complex.

Staff Review & Comments:

Site Plan: There are a few issues with the site plan, (see exhibit "D") however these aren't large enough items that the site couldn't meet the ordinance after some minor modifications.

Elevations: The proposed addition will only be visible from 3675 West, or until Dollar Tree is built. There are a few issues with the elevations (see exhibit "D") but these aren't large enough issues that the addition do appear to meet the minimum requirements of the code along with the proposed materials and colors.

Summary: The proposed building and site can for the most part meets or can meet all of the minimum requirements of the code. The Planning portion of the DRC Memo can be found in exhibit "D".

The Planning Commission will need to determine if the proposed development meets the intent of the Zoning Ordinance.

CONDITIONS FOR APPROVAL

1. Compliance to the requirements and recommendations within this report.
2. Compliance to all requirements as discussed in this meeting



FINDINGS

1. The proposed site plan can meet all of the requirements of the Zoning Ordinance.
2. The proposed building elevations can meet all of the requirements of the Zoning Ordinance.

ALTERNATIVE ACTIONS

The Planning Commission can recommend Approval, Approval with conditions, Table or Deny.

RECOMMENDATION

Staff recommends approving both the Site Plan and Architectural review with the conditions that all current and future DRC review comments are complied with along with any conditions as stated in the Staff report or during this Planning Commission meeting

EXHIBITS

- A. Aerial Map
- B. Proposed Site Plan
- C. Proposed Building Elevations
- D. Planning Portion of the DRC Review Memo

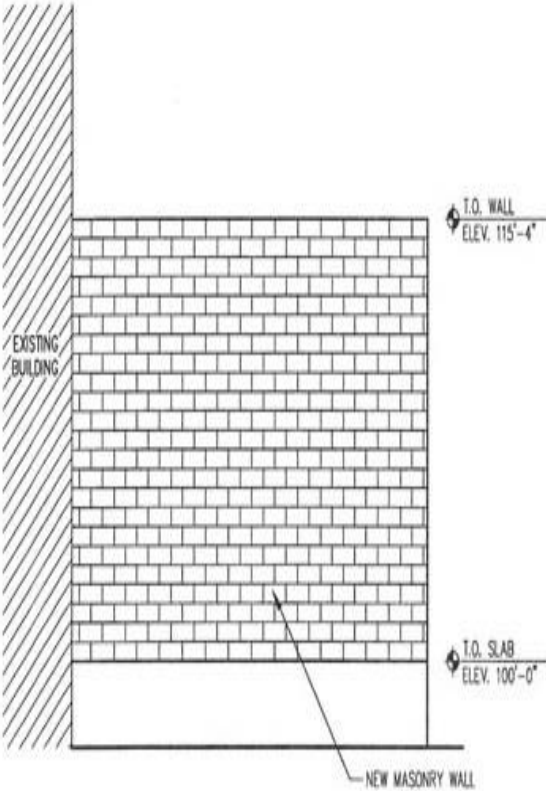
EXHIBIT "A" – AERIAL



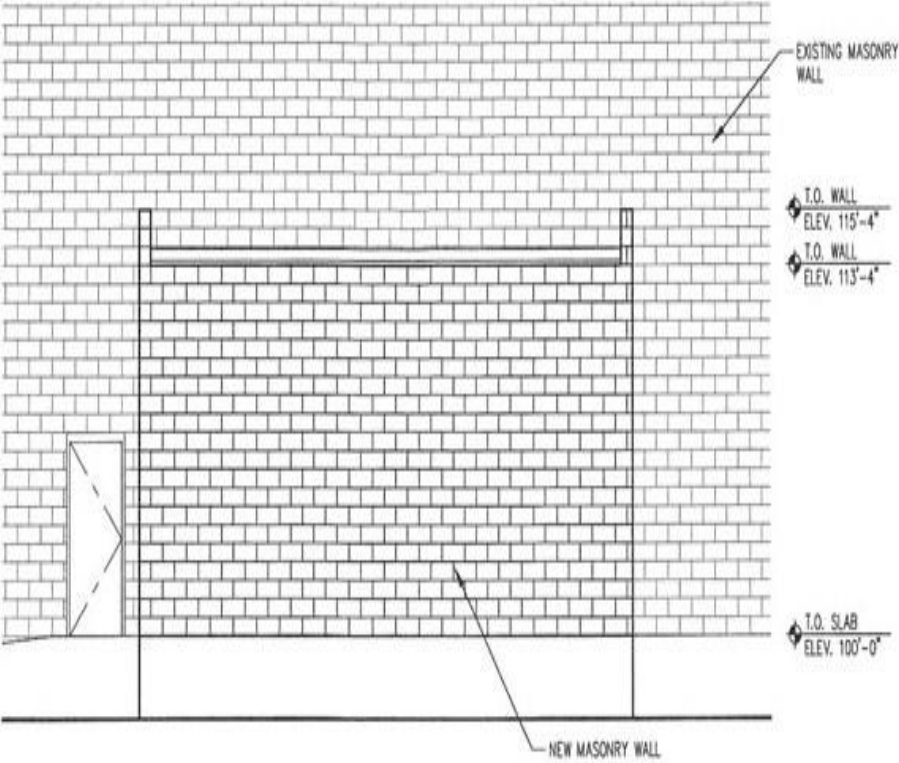
EXHIBIT “B” – PROPOSED SITE PLAN



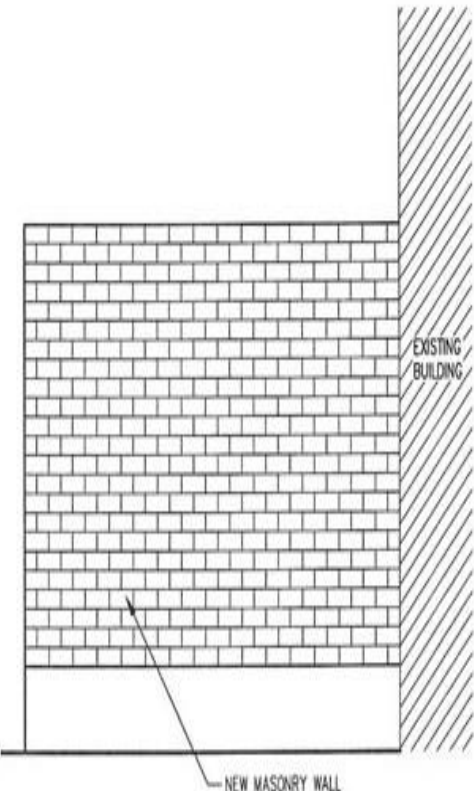
EXHIBIT “C” – PROPOSED ELEVATIONS



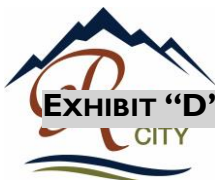
NORTH ELEVATION



WEST ELEVATION




SOUTH ELEVATION



Date: 9 June 2022

To: David Lloyd
Brad; Mountain View Engineering

From: Steve Parkinson – Planning & Zoning Administrator 

Subject: The Kent's Market "Beer Cave" Site Plan – 3535 We. 5600 So. – plans submitted May 26, 2022

If there are comments below that require corrections OR changes to plans, resubmittal of plans is required.

We have tried to address all items of concern with reference to all applicable City codes or for the general Health, Safety and Welfare of the public, however, this review does not forego any other items of concern that may come to our attention during additional reviews.

Planning –

A. Site Plan

1. How will the proposed addition affect the couple of Parking Stalls to the South?
2. How will it affect the drainage of the site?
3. What's the additions relationship to the two (2) exterior doors on the Western façade?
4. How will the addition affect the ADA access ramp and door?

B. Architectural

1. Sheet S3.1 mentions that the addition will be constructed of masonry, but doesn't mention type of masonry or color.





STAFF REPORT

Planning Commission

June 14, 2022

Agenda Item # 7

SYNOPSIS

Application Information

Applicant: Chuck Morgan
Request: Request for Architectural review approval of an addition for McDonalds
Address: Approximately 4070 South Midland Drive

Land Use Information

Current Zoning: CC: Community Commercial
Adjacent Zoning: North: CC: Community Commercial
South: CC: Community Commercial
East: CC: Community Commercial
West: C-3: Regional Commercial [West Haven]

Staff

Report By: Steve Parkinson
Recommendation: Recommends approval with conditions.

APPLICABLE ORDINANCES

- Roy City Zoning Ordinance Title 10, Chapter 14 – Permitted Uses
 - 10-14-11 – Additional Building Design Standards

ANALYSIS

Project Overview:

The property is on the East side of Midland Drive South of 4000 South. (Exhibit “A”) The property has 1.17 acres (50,965.2 sq.-ft.) in lot area. The proposed project is to make minor modifications to the North-West corner of the building. The changes will only be visible from Midland Drive, near the drive-up window area.

Staff Review & Comments:

Site Plan: There are zero changes.

Elevations: The proposed modifications though minor still change the character of the northern elevation (drive-up window). [see exhibits “B” & “C”] The changes appear to be around the exit door. Removal of the canopy and changing out the window from a solid one to a three part window for additional drive-up services. There aren’t any issues from staff to warrant a formal DRC review.

Summary: The proposed building meets all of the minimum requirements of the code.

The Planning Commission will need to determine if the proposed development meets the intent of the Zoning Ordinance.

CONDITIONS FOR APPROVAL

1. Compliance to the requirements and recommendations within this report.
2. Compliance to all requirements as discussed in this meeting

FINDINGS

1. The proposed site plan can meet all of the requirements of the Zoning Ordinance.
2. The proposed building elevations can meet all of the requirements of the Zoning Ordinance.



ALTERNATIVE ACTIONS

The Planning Commission can recommend Approval, Approval with conditions, Table or Deny.

RECOMMENDATION

Staff recommends approving the Architectural review with the conditions as stated in the Staff report or during this Planning Commission meeting

EXHIBITS

- A. Aerial Map
- B. Proposed Building Elevations
- C. Proposed Floor Plans

EXHIBIT "A" – AERIAL

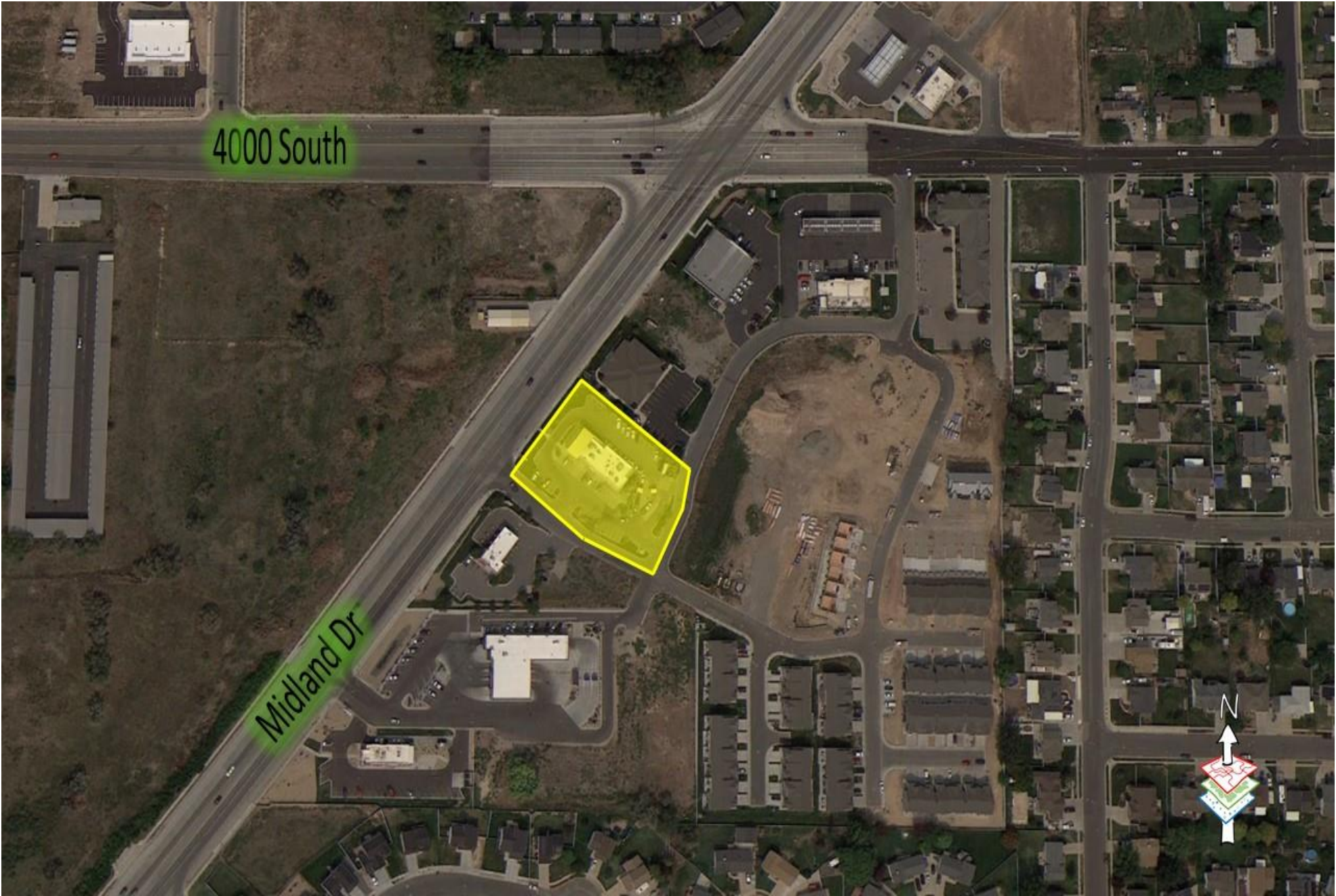
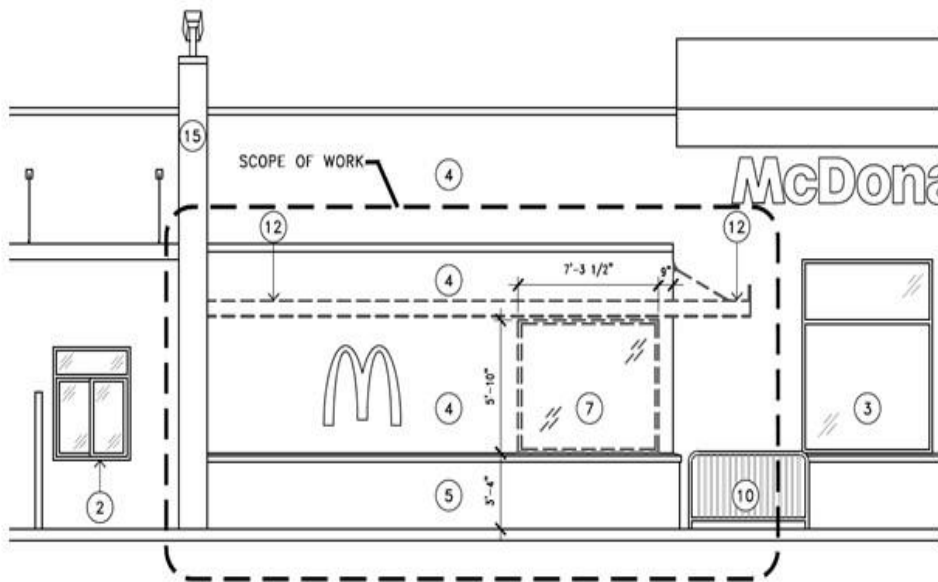


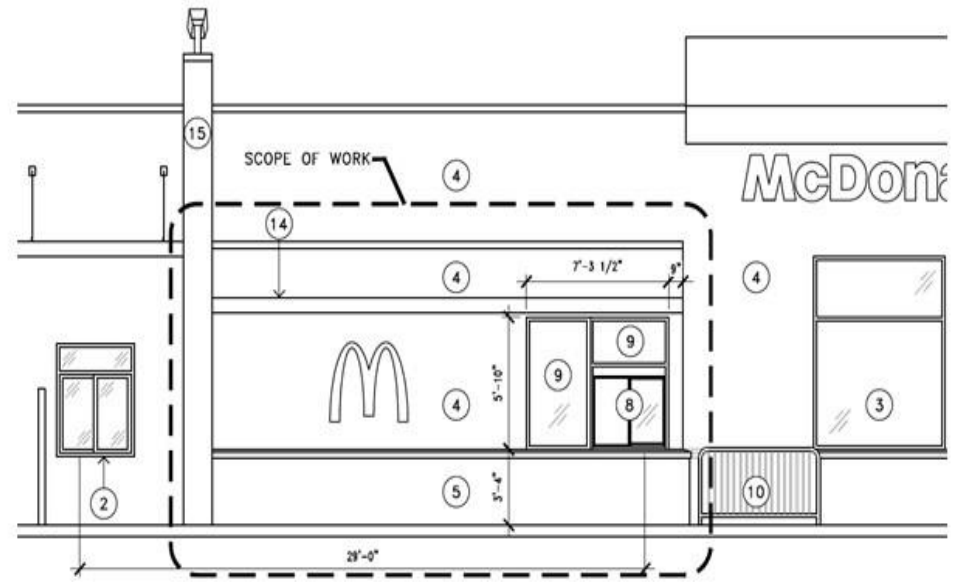
EXHIBIT "B" – PROPOSED ELEVATIONS

Northern Elevation

Existing



Proposed

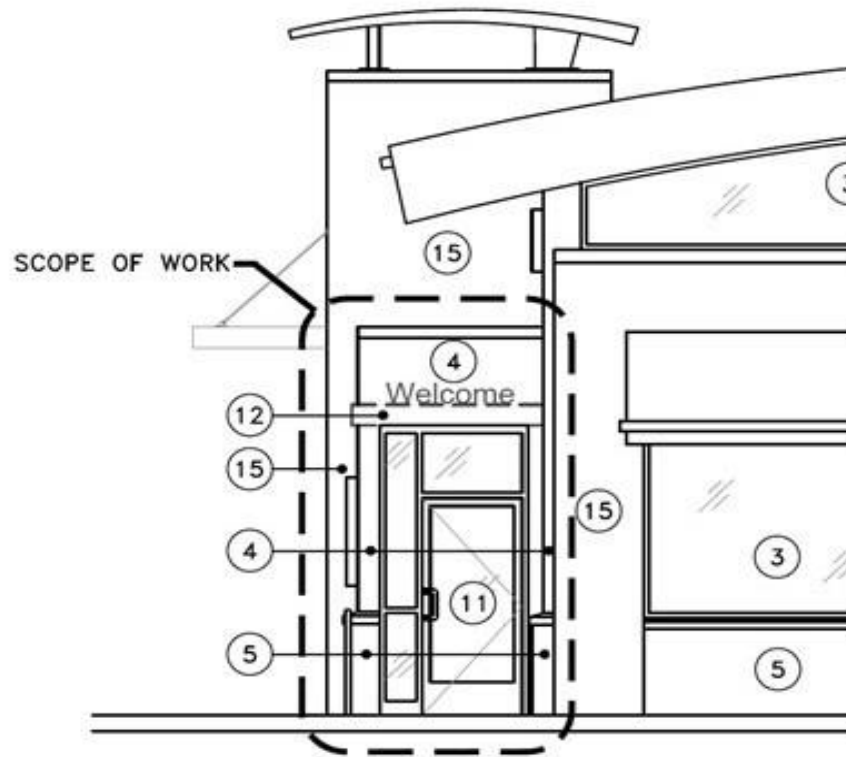


NOTES

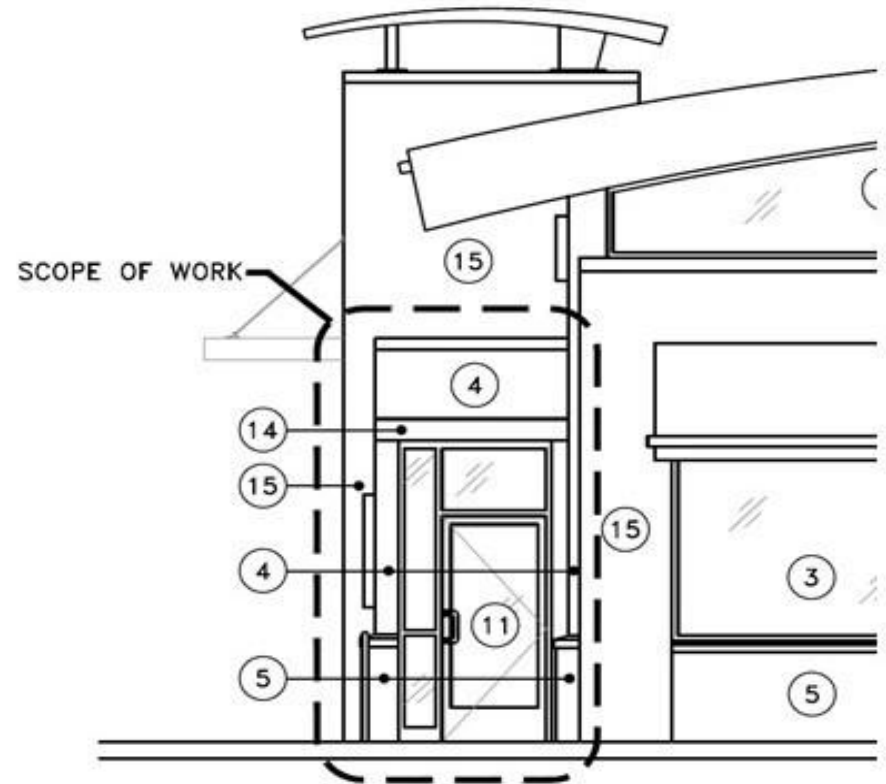
2. EXISTING SERVICE WINDOW
3. EXISTING GLAZING
4. EXISTING STUCCO
5. EXISTING BRICK
7. DEMO EXISTING GLAZING
8. NEW FORWARD PRESENT WINDOW
9. NEW GLAZING
10. EXISTING GUARD RAIL
12. DEMO EXISTING WALL BAND AND ENTRANCE CANOPY
14. PATCH AND REPAIR EXISTING EXTERIOR WALL WHERE NEEDED
15. EXISTING STONE

Western Elevation

Existing



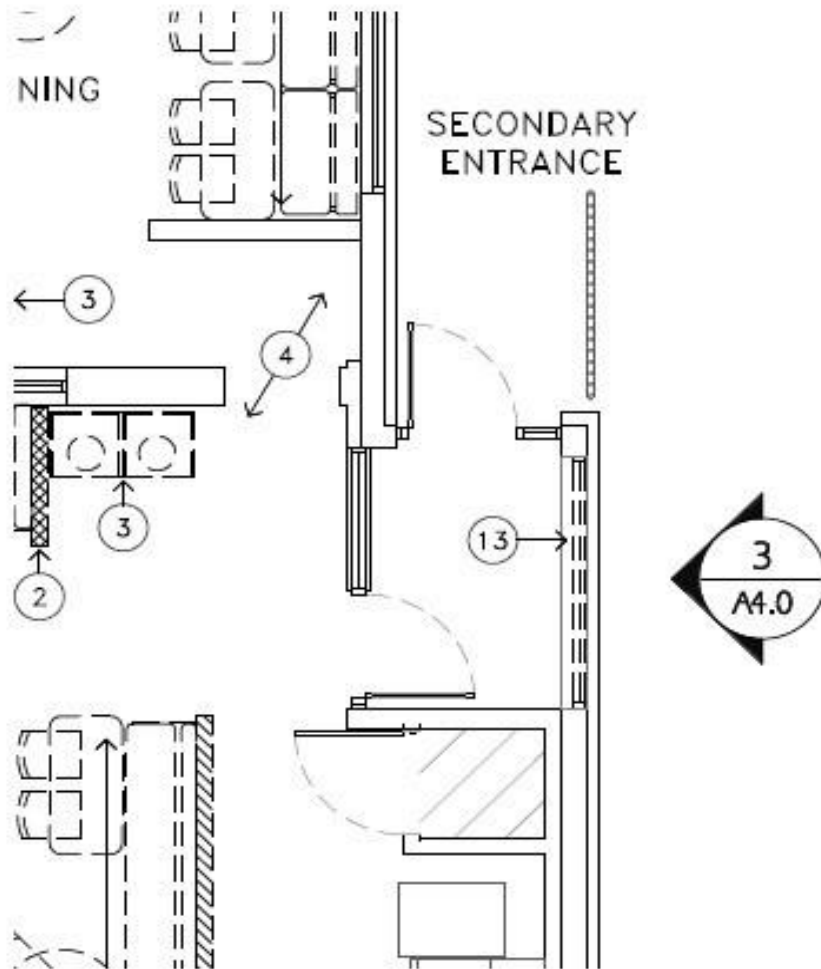
Proposed



NOTES

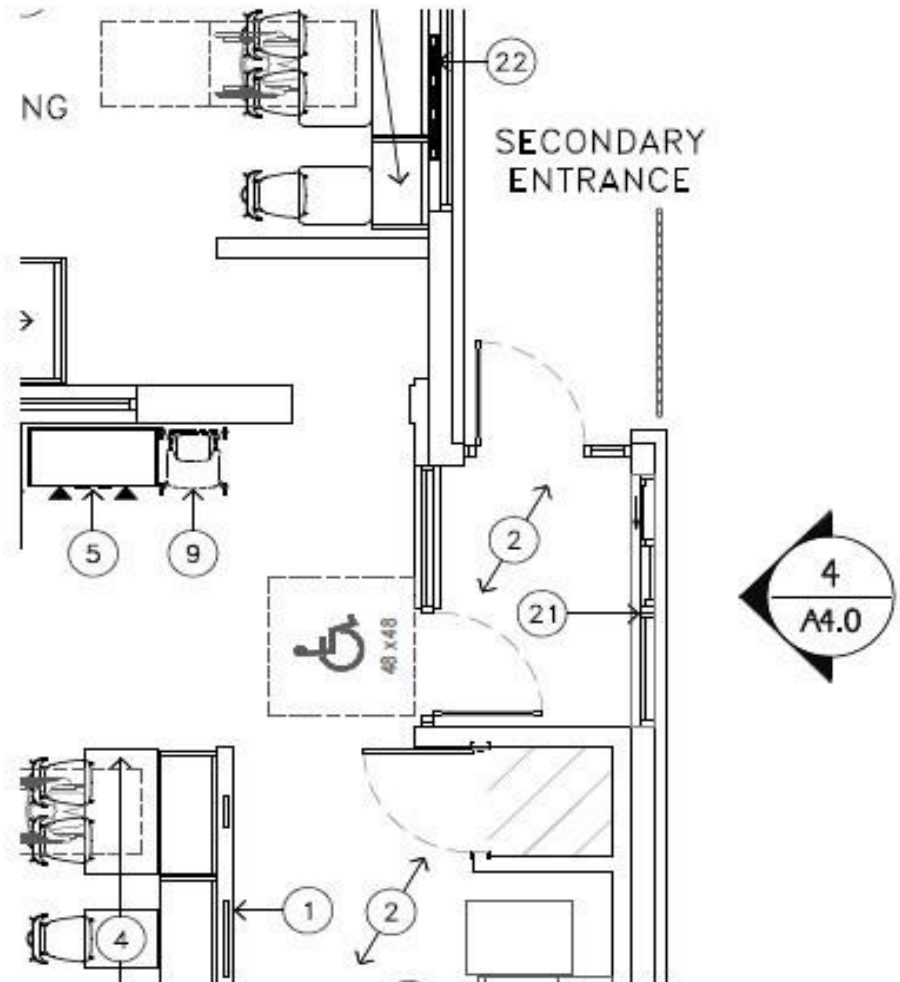
- 4. EXISTING STUCCO
- 5. EXISTING BRICK
- 11. EXISTING CUSTOMER ENTRANCE
- 12. DEMO EXISTING WALL BAND AND ENTRANCE CANOPY
- 14. PATCH AND REPAIR EXISTING EXTERIOR WALL WHERE NEEDED
- 15. EXISTING STONE

Current Glazing



13. REMOVE EXISTING GLAZING AND PREP TO RECEIVE NEW FORWARD PRESENT WINDOW AND GLAZING. REFER TO 1 / A1.0 AND A4.0

Proposed Glazing



21. NEW FORWARD PRESENT WINDOW AND GLAZING. REFER TO 4 / A4.0