

Chair

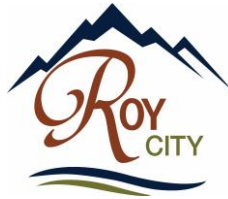
- Ryan Cowley

Vice-Chair

- Claude Payne

City Planner

- Steve Parkinson

**Commission Members**

- Samantha Bills
- Torris Brand
- Christopher Collins
 - Jason Felt
- Janel Hulbert
- Jason Sphar
- Daniel Tanner

PLANNING COMMISSION

AGENDA

March 14, 2023

6:00 p.m.

The Roy City Planning Commission regular meeting will be held in the City Council Chamber / Court Room in the Roy City Municipal Building located at 5051 South 1900 West. The meeting will commence with the Pledge of Allegiance, which will be appointed by the Chair.

This meeting will be streamed live on the Roy City YouTube channel.

(<https://www.youtube.com/channel/UC6zdmDzxdOSW6veb2XpzCNA>)

Agenda Items

1. Declaration of Conflicts
2. Approval of the December 13, 2022, regular meeting minutes
3. Legislative Items
4. Administrative Items
 - A. Continuation of a request for Site Plan and Architectural approval for Starbucks located at approximately 5591 South 1900 West
 - B. A request for Site Plan and Architectural approval for Taco Bell located at approximately 2746 West 4000 South
 - C. A request for Site Plan and Architectural approval for Oakley Roasting located at approximately 3551 West 5600 South
5. Election of Chair and Vice Chair for 2023
6. Commissioners Minute
7. Staff Update
8. Adjourn

In Compliance with the Americans with Disabilities Act, persons needing auxiliary communicative aids and services for these meetings should contact the Administration Department at (801) 774-1040 or by email: ced@royutah.org at least 48 hours in advance of the meeting.

Pursuant to Section 52-4-7.8 (1)(e) and (3)(B)(ii) "Electronic Meetings" of the Open and Public Meetings Law, any Commissioner may participate in the meeting via teleconference, and such electronic means will provide the public body the ability to communicate via the teleconference.

Certificate of Posting

The undersigned, does hereby certify that the above notice and agenda was posted in a public place within the Roy City limits on this 10th day of March 2023. A copy was also provided to the Standard Examiner and posted on the Roy City Website on the same date.

Visit the Roy City Web Site @ www.royutah.org

Roy City Planning Commission Agenda Information – (801) 774-1027

Steve Parkinson, City Planner





ROY CITY
Planning Commission Regular meeting
December 13, 2022 – 6:00 p.m.
City Council Chambers/Courtroom
5051 South 1900 West

1 The meeting was a regularly scheduled work-session designated by resolution. Notice of the
2 meeting was provided to the *Standard Examiner* at least 24 hours in advance. A copy of the
3 agenda was posted.

4
5 The following members were in attendance:

6
7 Claude Payne, Vice Chair
8 Samantha Bills
9 Torris Brand
10 Chris Collins
11 Janel Hulbert
12 Jason Sphar
13 Daniel Tanner

Steve Parkinson, City Planner

14
15 Excused: Commissioners Ryan Cowley and Jason Felt

16
17 Others in attendance: Kevin Homer, Cambria Hulbert, Rhett Buttars, Amanda Vernieuw, and Iris
18 Berrett.

19
20 Pledge of Allegiance: Commissioner Sphar

21
22 1. DECLARATIONS OF CONFLICT

23
24 There were none.

25
26 2. APPROVAL OF THE OCTOBER 25, 2022 WORK-SESSION MINUTES

27
28 **Commissioner Collins moved to approve the October 25, 2022, work-session meeting**
29 **minutes as written. Commissioner Bills seconded the motion. Commissioners Bills,**
30 **Brand, Collins, Hulbert, Payne, Sphar and Tanner voted “aye.” The motion carried.**

31
32 3. PUBLIC HEARING – TO CONSIDER UPDATES TO THE PROPOSED 2022 GENERAL
33 PLAN UPDATE TO THE MODERATE-INCOME HOUSING PLAN WITH REGARDS TO
34 THE STATE REQUIRED STRATEGIES AND IMPLEMENTATIONS AS PER HB-462
35 (2022)

36
37 City Planner Steve Parkinson presented this item and stated that Senate Bill 34, which had been
38 passed in 2019, required Cities to adopt a minimum of three strategies to help with moderate
39 income housing, or four strategies if the city also had a rail station. He said since 2019 Roy City
40 had been particularly ambitious and had adopted ten strategies.

41
42 Mr. Parkinson stated every year they had to do a report to assess the status of these strategies.
43 He reported this year, five of the individual strategies they had adopted had been consolidated
44 into one. He said a timeline was required for when the strategies would be completed, as well as
45 implementation actions for how they would be accomplished. He noted this was the first time the
46 State required these to be included in the General Plan.

Mr. Parkinson continued to say that the State would also be requiring a water conservation plan within the General Plan. He said the updated General Plan had not been adopted yet, so he wanted to bring it back for discussion based on these new requirements from the State. City Planner Parkinson stated this new timeline would need to be approved by the Department of Workforce Services, and he said he had been working with the department to work on appropriate wording. He said he was about 95% done and he wanted to present his latest draft to the Commission for discussion.

Mr. Parkinson announced strategy 1A was to rezone for densities necessary to facilitate the production of moderate-income housing, and said there would be a couple different zones that would need to be updated and rezoned to accomplish this. He stated it would be difficult to implement a timeline for this because the City did not typically do this and since it was done by application it was difficult to say when the rezones would be completed.

Mr. Parkinson stated the land-use plan would be updated in January of 2023 and it would be revisited every couple of years and updated as necessary. He added implementation measures would be strongly recommended if they aligned with the General Plan and the future land-use map.

Mr. Parkinson elaborated that he was okay with the implementation element, but he was still trying to figure out the timeline. He said language was a lot easier to apply to the future than rezoning and land-use.

Mr. Parkinson continued to go through the strategies. He said he had some issues with F because it was a rezone and similar to A, but noted the time frame would not be up to him. He said G had a language change, but they had already completed this with the Frontrunner Station rezone. He said H had been signed off on but had a minor language change.

Mr. Parkinson explained J, R, S, and T had been eliminated and rolled into O, and U and M had been eliminated. He said what used to be V had become P, and RDAs had become CRA's and the State had modified the requirements for moderate income housing percentages.

Mr. Parkinson stated the Department of Workforce Services was okay with everything that had been mentioned. He continued to explain the process of the stationary plan that was required and said they had received a grant from Wasatch County recreation that they would not have to pay anything for. City Planner Parkinson stated the timeline was to have this done by March and have it approved and adopted by April.

Mr. Parkinson indicated Staff recommended approval subject to the Department of Workforce Services on the exact verbiage.

Commissioner Bills moved to open the public hearing. Commissioner Collins seconded the motion. Commissioners Bills, Brand, Collins, Hulbert, Payne, Sphar and Tanner voted "aye." The motion carried

Vice-Chairman Payne opened the floor for public comments.

Kevin Homer of 5398 S. 4000 W. Roy stated he was impressed and happy with the efforts of the City Planner and the Commission in implementing HB-462. He approved of the recommendations for implementing this. He commented this was what happened when State governments accepted Federal funds, and discussed that he did not like that a politician thousands of miles away got to tell them what to do in their little town, and he did not like the element of force.

No additional comments were made.

Commissioner Tanner moved to close the public hearing. Commissioner Sphar seconded the motion. Commissioners Bills, Brand, Collins, Hulbert, Payne, Sphar, and Tanner voted “aye.” The motion carried.

Commissioner Bills asked what the process of re-evaluating every two to three years would entail. City Planner Parkinson replied it would all be up to the Commission, and elaborated that the State was pushing for action because some Cities had a General Plan that they had not done yet anything with.

Commissioner Sphar moved to recommend to the City Council that they approve the proposed updates to the proposed 2022 General Plan Update to the Moderate-Income Housing Plan with regards to the State required Strategies and Implementations as per HB-462 (2022). Commissioner Hulbert seconded the motion. Commissioners Bills, Brand, Collins, Hulbert, Payne, Sphar and Tanner voted “aye,” The motion carried.

4. TO CONSIDER A REQUEST FOR SITE PLAN & ARCHITECTURAL REVIEW APPROVAL FOR STARBUCKS LOCATED AT APPROXIMATELY 5591 SOUTH 1900 WEST

Rhett Buttars presented himself as the applicant and gave his address as 1946 W 5600 S Roy. He presented this item and stated he was happy to address any questions the Commission might have.

City Planner Parkinson showed a map of where the site would be located and indicated it would front 1900 W. He stated they were adjusting the existing parking lot to accommodate the Starbucks requirement to allow for eleven cars in the queue, and noted that architecturally it looked like an average Starbucks. City Planner Parkinson expressed City Staff had a page and a half of issues, mainly in regards to the fact that mixed-use zone had very specific requirements for buildings that faced the street, but this was facing the parking lot. He discussed there were a lot of things that needed to be done because of the shared parking lot, and said Staff recommended tabling this until those items could be addressed.

Mr. Parkinson agreed that since the entrance did not face the street, there were several things that needed to be to addressed and also recommended tabling this until the ordinance could be met.

Commissioner Sphar asked if these concerns had been shared with the developer.

Mr. Parkinson replied that the developer had been giving a report. Mr. Buttars commented they had received it and forwarded it to their engineers so that they could address these issues and they wanted to make it work.

Commissioner Collins moved to table both the Site Plan and Architectural review for Starbucks with the conditions as stated in the staff report. Commissioner Bills seconded the motion. Commissioners Bills, Brand, Collins, Hulbert, Payne, Sphar and Tanner voted "aye." The motion carried.

5. CONSIDER A REQUEST FOR SITE PLAN APPROVAL FOR BERRETT'S DAYCARE LOCATED AT APPROXIMATELY 5756 SOUTH 2000 WEST

Iris Berrett of 5756 S 2000 W, Roy said she was the applicant and stated she needed to go from eight clients to sixteen, and she wanted to make the site commercial because she understood that if it went to commercial it could go up to sixteen.

City Planner Parkinson stated this property used to be a doctor's office that was commercial in the front with a residential unit in the back and it had since been converted into two residential units. He said it was part of the Gateway rezone so it allowed for commercial. He stated the Planning Commission did not have the authority to change the number of clients from eight to sixteen because that was more of a State statute and business license component.

Mr. Parkinson stated the parking demand was unknown and he was waiting on the fire department before he sent out the DRC comment list. He noted there were several issues and he recommended tabling this item until they could come back with a site plan that worked.

Ms. Berrett stated there was one person currently living in the back. City Planner Parkinson stated parking requirements were based on bedrooms, not occupants. Ms. Berrett clarified there was one person living in the back and this property had already been approved for commercial use. She stated if she was given a conditional plan they would fix the parking; and expressed she just wanted this to be done.

Ms. Berrett stated the occupant would be gone by the end of the month and the housing was listed as studio under HUD housing and the previous owner had it listed as Section 8.

Vice Chair Payne clarified to Ms. Berrett that they did not have the authority to allow her to have sixteen clients and that she could only do eight per State Code. Ms. Berrett stated she had talked to other people with daycares, and she had been told Roy was the only place that only allowed eight and that a Councilwoman or Congresswoman was going to try to get that changed. She stated they only wanted to have more than eight kids and that they wanted the building to go back to commercial from residential.

Mr. Parkinson stated in order for it to go back to commercial standards, it needed to comply with the current commercial requirements, which were different from when it had been commercial 30 years ago.

Ms. Berrett asked if they could get something conditional to allow them time to make all of the appropriate adjustments.

Commissioner Collins stated they could have something for them by next month.

Ms. Berrett stated they needed it before then.

Commissioner Collins stated they did not have a meeting before then and they were bound by the ordinance.

Ms. Berrett asked what they were missing.

Mr. Parkinson stated there were 11 items in the site plan that needed to be addressed. Ms. Berrett asked him to read them all off.

Mr. Parkinson read the 11 items. Ms. Berrett stated she had called Mr. Parkinson over the past six months and he had said nothing to her except to 'hire some guy to do all of this for her,' and she emphasized that this was important to her and felt they were throwing her under the bus because she would have done everything needed, but had not been told anything.

Mr. Parkinson stated he had not had a site plan six months ago in order for him to provide feedback.

Ms. Berrett asked when he received the site plan.

Mr. Parkinson stated he received it on November 18th.

Ms. Berrett commented that he had not said anything about it when he received it.

Mr. Parkinson stated he needed time to review the plan.

Vice Chair Payne opined this was not the time or place to do this and said they were there to decide on the site plan. He explained if it was tabled it would give the applicant time to work with City Planner Parkinson. Ms. Berrett stated she would appreciate if they did that.

Commissioner Collins moved to table the Site Plan for Berrett's Daycare with the conditions as stated in the staff report. Commissioner Hulbert seconded the motion. Commissioners Bills, Brand, Collins, Hulbert, Payne, Sphar, and Tanner voted "aye." The motion carried.

6. TO CONSIDER A REQUEST FOR SITE PLAN APPROVAL FOR HART'S DRY CLEANING LOCATED AT APPROXIMATELY 5543 SOUTH 1900 WEST

It was noted the applicant was not in attendance.

City Planner Steve Parkinson presented the item and stated they just wanted to put a 40 foot by 8 foot shipping container as a storage shed at the rear of the building. He stated they would have plenty of parking even if this container was put in and explained there were no real issues with the site plan; it was more about the architectural requirements for the container itself and it would be hard to use materials to make this compliant.

Commissioner Brand moved to table both the Site Plan and Architectural review for Hart's Dry Cleaners because applicant wasn't in attendance to speak on their behalf and/or answer questions. Commissioner Hulbert seconded the motion. Commissioners Bills, Brand, Collins, Hulbert, Payne, Sphar and Tanner voted "aye." The motion carried.

7. CONSIDER A REQUEST FOR SITE PLAN APPROVAL FOR MIDNIGHT MAGNOLIA
LOCATED AT APPROXIMATELY 5210 SOUTH 1900 WEST

The applicant was not in attendance.

City Planner Steve Parkinson said this building used to be Satin Bridle and Tuxedo and it had been vacant for more than a year. He stated a simple site plan had been provided in order to comply with the parking requirements and they were looking to bring in three different businesses.

Mr. Parkinson stated they had done a lot of legwork already with regards to parking and had gotten ten stalls donated by Mandarin, but they still needed to find some more. He stated there were some issues with the site plan including landscaping, but it would not change very much. He stated Staff could go either way on a recommendation but if they could not come up with the parking stalls required, they would have to eliminate a business or two.

Commissioner Hulbert moved to table the Site Plan for Midnight Magnolia because applicant wasn't in attendance to speak on their behalf and/or answer questions. Commissioner Tanner seconded the motion. Commissioners Bills, Brand, Collins, Hulbert, Payne, Sphar and Tanner voted "aye." The motion carried.

8. CONSIDER A REQUEST FOR ARCHITECTURAL APPROVAL FOR KIDSTOPIA
LOCATED AT APPROXIMATELY 5673 SOUTH 1900 WEST

The applicant was not in attendance.

City Planner Steve Parkinson indicated this was in the Ocean Mart and City Buffet area and that a Kidstopia would be similar to Chuck-e-Cheese. He stated this would be owned by the same people as the City Buffet and would match the existing materials of the adjoining building.

Mr. Parkinson stated Staff recommended approval with the conditions in the Staff report.

Commissioner Collins moved to approve the Architectural review for Kidstopia with the conditions as stated in the staff report. Commissioner Brand seconded the motion. Commissioners Bills, Brand, Collins, Hulbert, Payne, Sphar, and Tanner voted "aye." The motion carried.

9. COMMISSIONERS MINUTE

Commissioner Tanner commented that City Planner Parkinson was not the advocate for applicants that did not show up and wondered if they should require applicant attendance.

Mr. Parkinson said he sends out emails to all applicants telling them to be prepared to present their projects but does not state that it is mandatory.

Commissioner Bills stated they should discuss this during a Work Session.

Commissioner Tanner stated a lot of applicants did not know what they were doing, and it would help them if they attended.

Commissioner Sphar asked if they should consider a code of conduct to prevent outburst and accusations.

Commissioner Bills asked if they were allowed to interject and tell people that it was inappropriate to act in such a way or if that was reserved for the Chair.

There was discussion on the legality of the issue.

10. STAFF UPDATE

City Planner Steve Parkinson apologized for his outburst during the meeting and said the applicant Ms. Berrett should have been addressing the Commission and not him personally. He stated he would talk to her tomorrow and clear things up.

Commissioner Tanner asked if they could clarify the client allowance of 16.

Mr. Parkinson stated it was a State statute related to residential and commercial properties so that allowance was out of their hands and she would need a commercial zoning in order to have 16.

Mr. Parkinson announced Abbeyton Heights was proceeding forward and had four buildings up, and Holiday Oil finished their UDOT requirements and had access on 55. He stated the Royce had been delayed because of inflation and market rates but they still wanted to complete the project and Eschelon had received the final approval and building permit but they were also waiting for interest rates to go down before they proceeded.

Mr. Parkinson stated he was going to do everything he could to get the General Plan approved in January and hoped to be done with it. He stated the Stationary Plan should be done in March and the two bodies that needed to sign off on it were part of the process so they should have that by April.

11. ADJOURN

Commissioner Tanner moved to adjourn at 7:13 p.m. Commissioner Brand seconded the motion. Commissioners Bills, Brand, Hulbert, Payne, Sphar and Tanner voted "aye", Commissioner Collins voted "nay". The motion carried.

Claude Payne
Vice- Chair

dc: 12-13-22



STAFF REPORT

Planning Commission

March 14, 2023
Agenda Item # 4A

SYNOPSIS

Application Information

Applicant: Pat Burns; Lync Construction
John Newhall; Lync Construction
Request: Request for Site Plan and Architectural approval of Starbucks
Address: Approximately 5591 South 1900 West

Land Use Information

Current Zoning: DT-W; Downtown West
Adjacent Zoning: North: DT-W; Downtown West South: DT-W; Downtown West
East: DT-E; Downtown East West: DT-W; Downtown West

Staff

Report By: Steve Parkinson
Recommendation: Recommends tabling.

APPLICABLE ORDINANCES

- Roy City Zoning Ordinance Title 10, Chapter 13 – Mixed Use
 - 10-13-3 – Building Type
 - 10-13-4 – Open Space
 - 10-13-5 – Landscaping
 - 10-13-6 – Parking

ANALYSIS

During the December 13, 2022, meeting the Commission tabled this item due to the large number of issues within the DRC memo.

There are still several Site Plan issues that haven't been addressed, that once addressed will affect the overall layout of the project.

The only issue with the Architecture once addressed will significantly change the appearance of the building and how the Site Plan lays out.

Background from the December 13, 2023 Report

Project Overview:

This project property is on the northwest side corner of 1900 West and 5600 South within the existing parking lot for Dilly Dallies, the Smoke Shop, Jade Nails and Ganesh restaurant. The proposed project is to develop an area within an existing parking lot. (see exhibit "A")

Staff Review:

Site Plan: There are several issues with the site plan that once corrected will change the site plan itself. The proposed building is on a separate parcel than most everything that is associated with a project like this. i.e. dumpster, parking, drive-up window access lane, etc.. The building needs to face and address the street, but the proposed is showing the back side to the street.

Elevations: The elevations do not appear to meet the minimum requirements of the code, the proposed materials will need to change to comply with the aesthetics of the "Aerospace" theme.



Summary: The proposed buildings and site plan have many issues that need to be resolved. Which will change the overall site and building itself. For your information the Planning portion of the DRC memo can be found in Exhibit “D”.

The Planning Commission will need to determine if the proposed development meets the intent of the Zoning Ordinance.

CONDITIONS FOR APPROVAL

1. Compliance to the requirements and recommendations within this report.
2. Compliance to all requirements as discussed in this meeting

FINDINGS

1. The proposed site plan does not meet the minimum requirements of the Zoning Ordinance.
2. The proposed building elevations do not meet the minimum requirements of the Zoning Ordinance.

ALTERNATIVE ACTIONS

The Planning Commission can recommend Approval, Approval with conditions, Table or Deny.

RECOMMENDATION

Staff recommends tabling both the Site Plan and Architectural review with the conditions that all current and future DRC review comments are complied with along with any conditions as stated in the Staff report or during this Planning Commission meeting

EXHIBITS

- A. Aerial Map
- B. Proposed Site Plan
- C. Proposed Building Elevations & Materials
- D. Planning Portion of the DRC Review Memo

EXHIBIT "A" – AERIAL

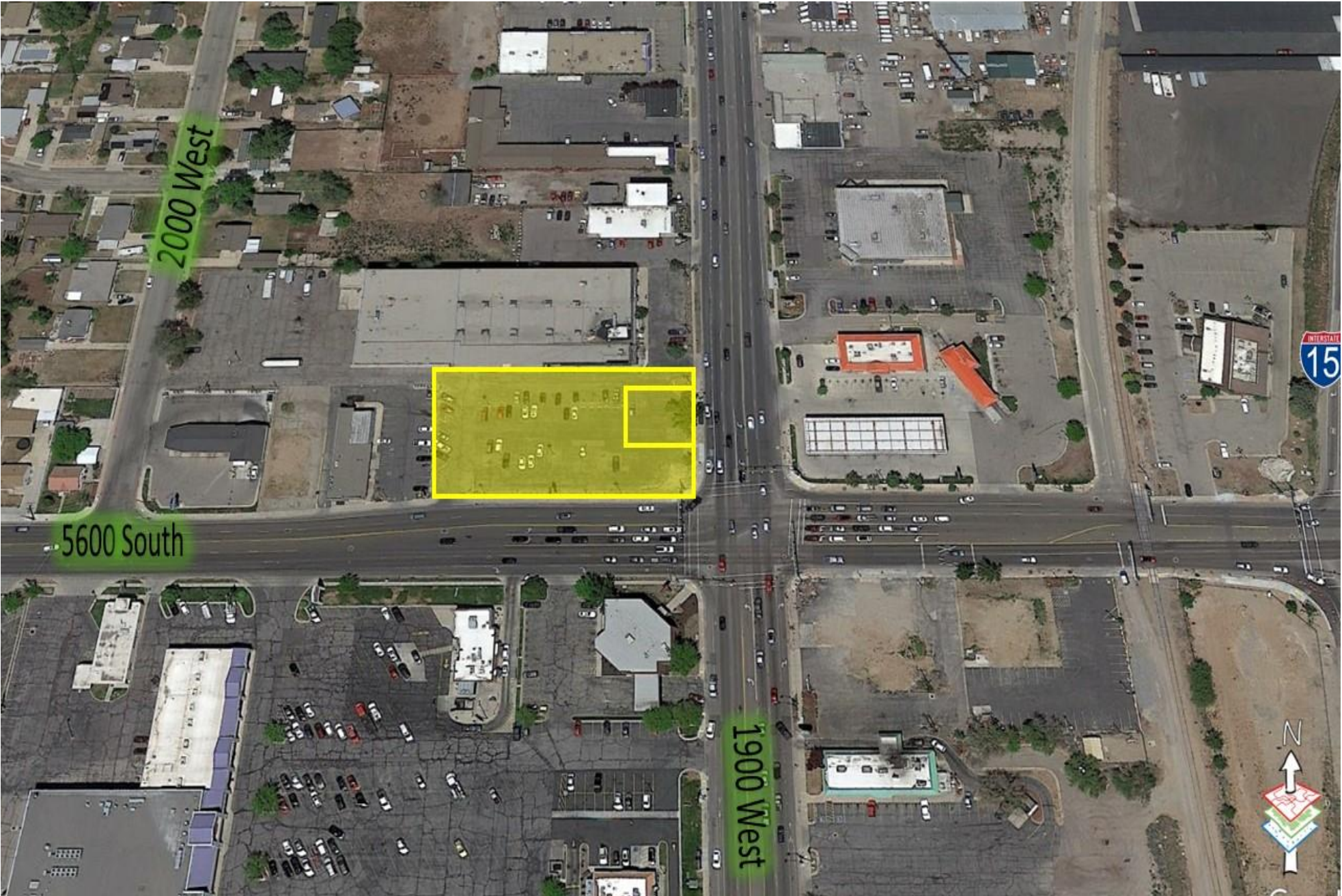
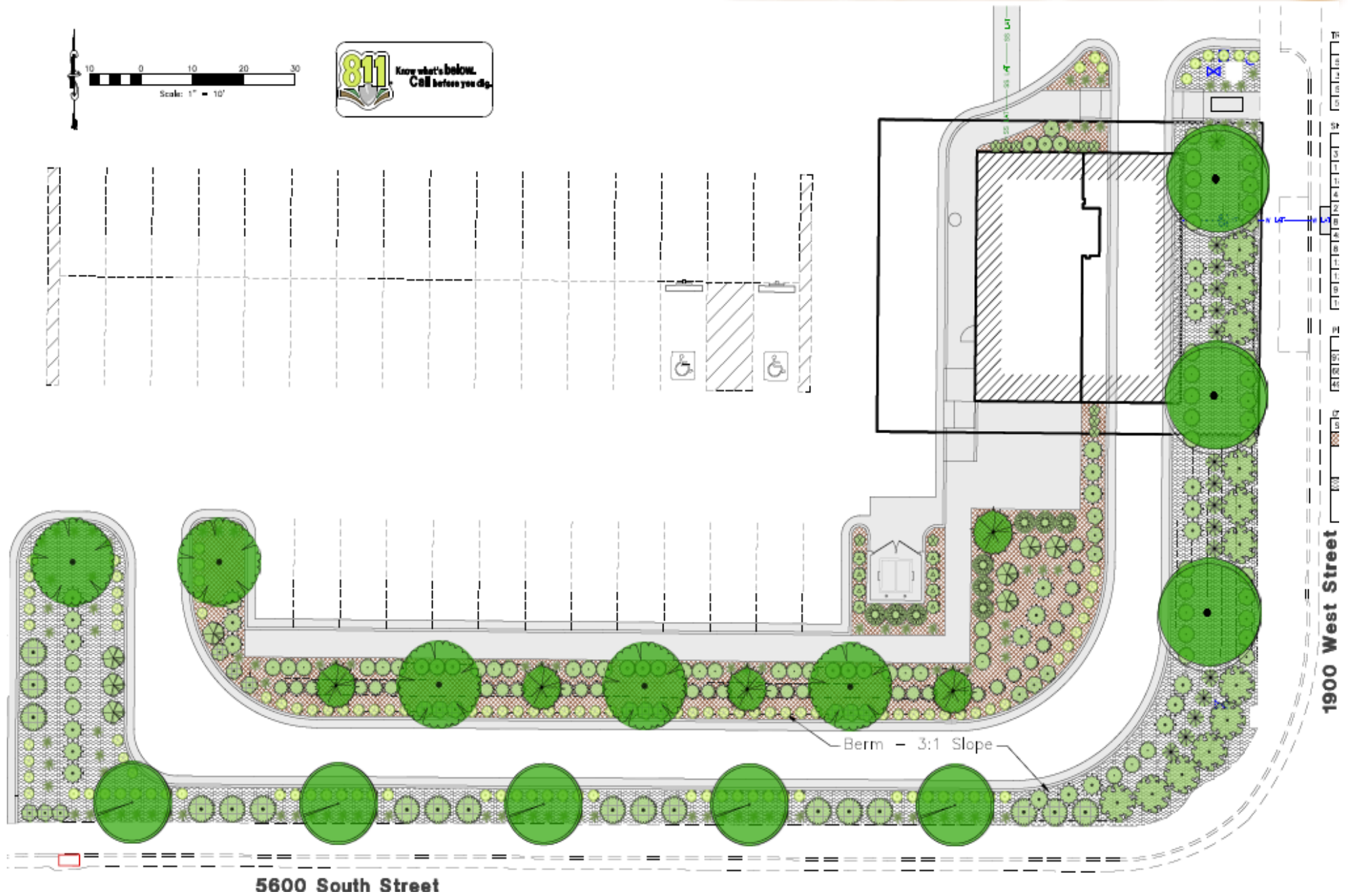
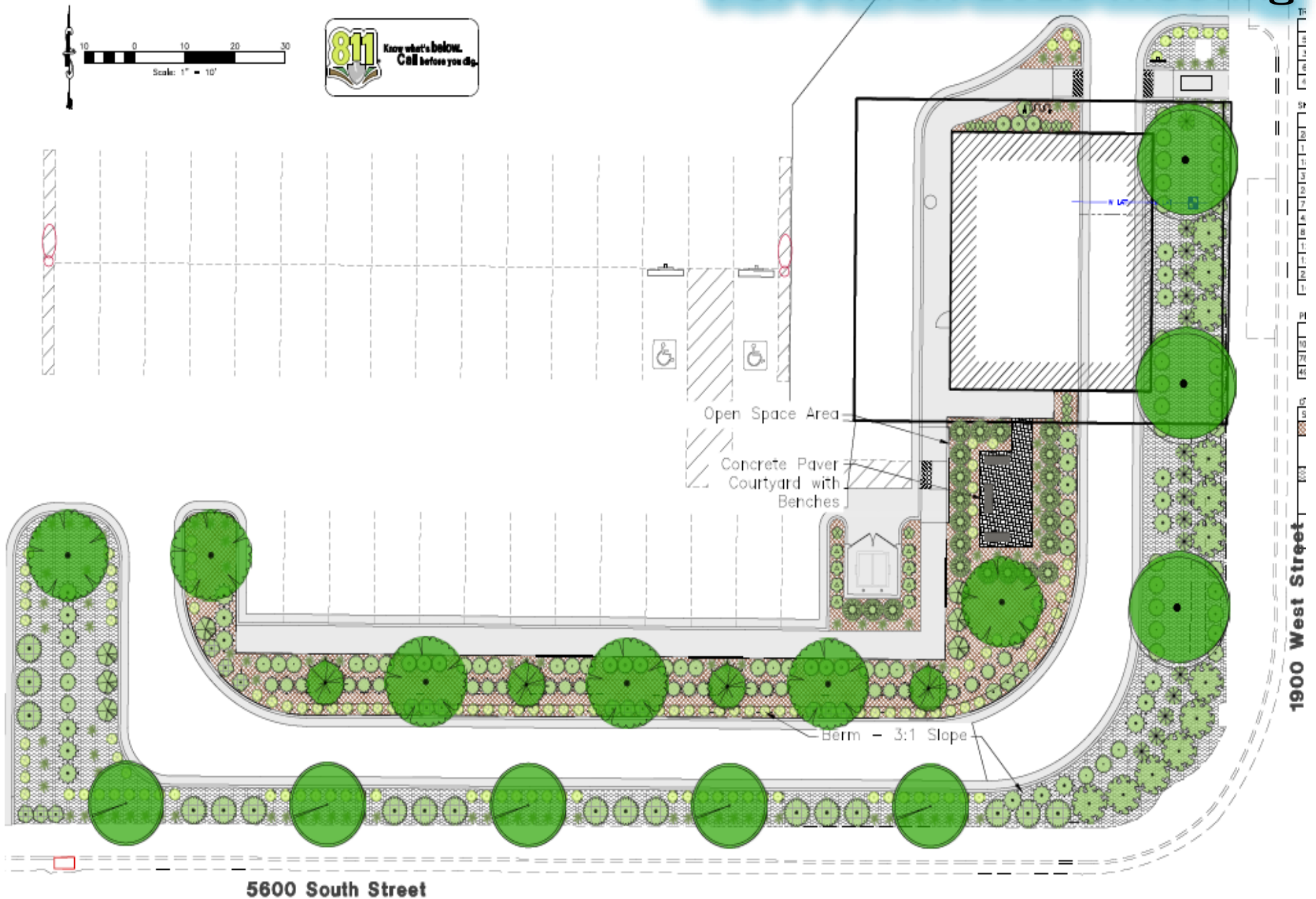


EXHIBIT "B" – PROPOSED SITE PLAN



For March 2023 meeting



PLANTING

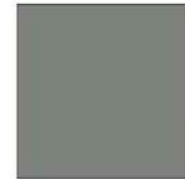
EXHIBIT "C" – PROPOSED ELEVATIONS



HARDIE BOARD
BEADED SMOOTH
NIGHT GRAY



STONE VENEER
CORONADO STONE -
COUNTRY CASTLE -
LOMPOC



STUCCO
PAINTED TO MATCH
SW7067 CITYSCAPE



STUCCO
PAINTED TO MATCH
SW7064 PASSIVE



ENTRANCE ELEVATION



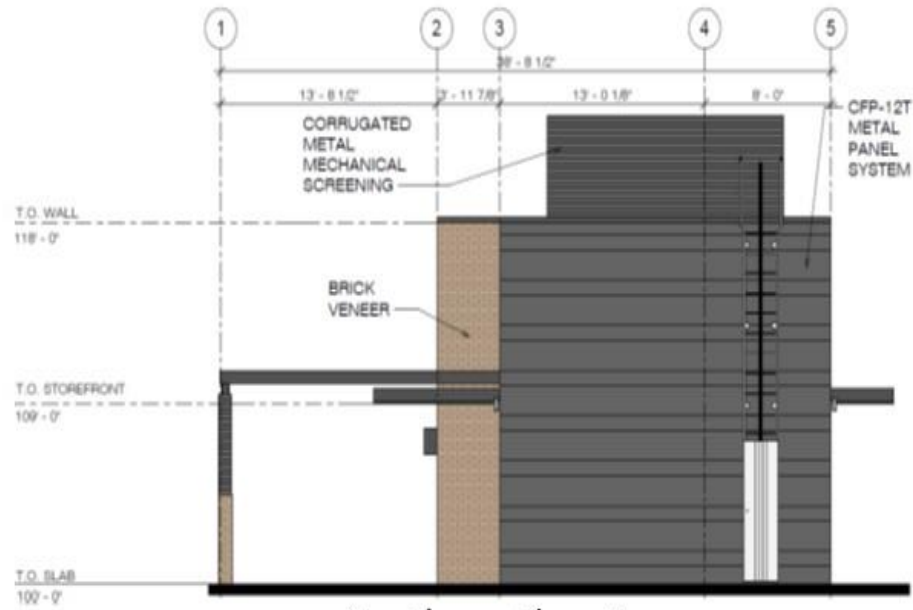
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



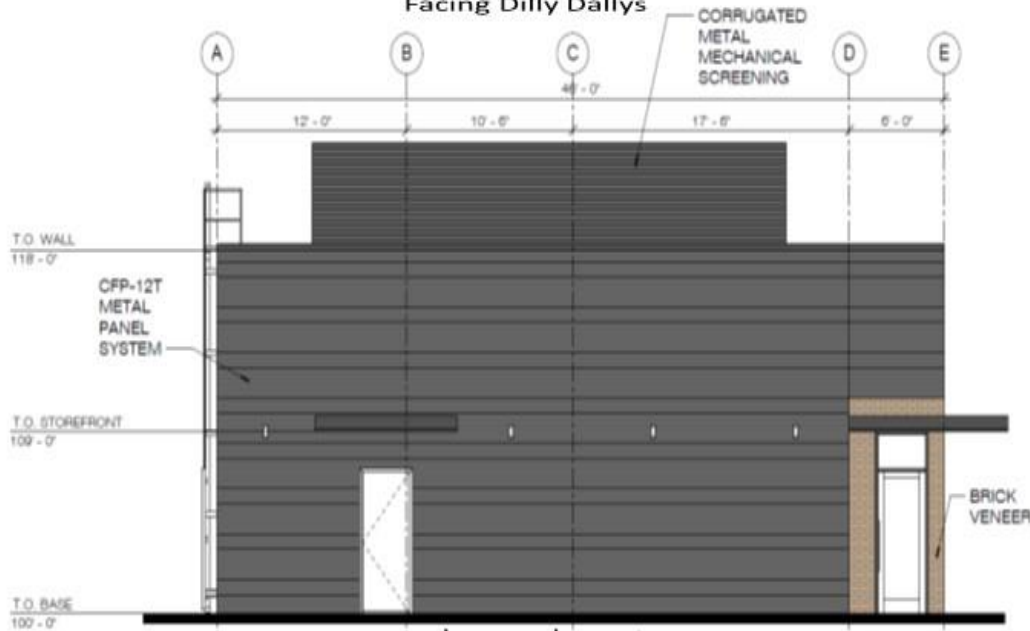
Northern Elevation

Facing Dilly Dallys



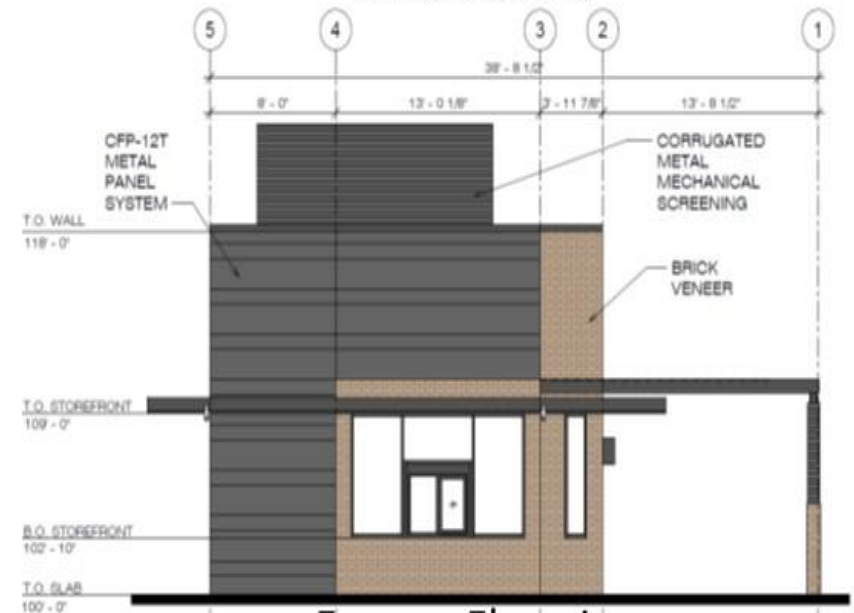
Eastern Elevation

Facing 1900 West



Northern Elevation


Facing LoLo Hawaiian



Eastern Elevation

Facing 5600 South



Date: 28 February 2023
To: Pat Burns
From: Steve Parkinson – Planning & Zoning Administrator 
Subject: Starbucks – 5583 So. 1900 We. – plans submitted January 30, 2022

If there are comments below that require corrections OR changes to plans, resubmittal of plans is required.

We have tried to address all items of concern with reference to all applicable City codes or for the general Health, Safety and Welfare of the public, however, this review does not forego any other items of concern that may come to our attention during additional reviews.

Planning –

A. General Comments

1. This is the second review, all additional resubmittals cost \$100. Payment required at time of submittal.
2. Need a letter from UDOT regarding the development and access points.

B. Site Plan Review

1. With the removal of 48% of the total parking stalls, which is more than a 30% change. Need to provide the following, to calculate the required parking stalls needed for all uses.
 - i. The square footage for
 1. Dilly Dallies, and
 2. The Smoke Shop
 - ii. The number of chairs/seats & number of employees for
 1. The Nail Salon
 2. Ganesh
 3. Starbucks
2. Landscape island with a minimum of five (5) feet in width are required at the beginning and ending of all rows of parking stalls.
3. Landscape island is also required after eight stalls if there are more than eight.
4. All landscape islands are require landscaping and a tree.
5. The drive-up window access lane is within the 15' setback, needs to move outside of the setback.
6. The proposed material of the dumpster enclosure is a material not allowed in the zone. It should be consistent with the materials on the building.
7. Is painted chain link fencing with slats a durable material? Needs to be a high-quality material.
8. All mechanical equipment must be screened from public view. [Provide a drawing showing that the equipment is screened from view.](#)
9. What open space type is being proposed? Not Shown on Site Plan.
10. How will snow removal within the drive-up window drive work?

C. Architectural Review

1. How is the proposed building addressing the street? The primary access must be from the street side.

D. Site Lighting

1. No information was provided regarding the light poles. Need to provide the overall height of pole with fixture, color of both pole and fixture and what the fixture looks like.





STAFF REPORT

Planning Commission

March 14, 2023
Agenda Item # 4B

SYNOPSIS

Application Information

Applicant: Paul Snyder; Legend Studio
Request: Request for Site Plan and Architectural approval of Taco Bell
Address: Approximately 2746 West 4000 South

Land Use Information

Current Zoning: CC; Community Commercial
Adjacent Zoning: North: CC; Community Commercial South: CC; Community Commercial
East: CC; Community Commercial West: CC; Community Commercial

Staff

Report By: Steve Parkinson
Recommendation: Recommends approval with conditions.

APPLICABLE ORDINANCES

- Roy City Zoning Ordinance Title 10, Chapter 10 – General Property Development Standards
 - 10-10-24 - Table 10-1 – Minimum Lot and Setback Requirements ...
- Roy City Zoning Ordinance Title 10, Chapter 14 – Permitted Uses
 - 10-14-11 – Additional Site and Building Design Standards
- Roy City Zoning Ordinance Title 10, Chapter 17 – Table of Uses
 - 10-17-1 - Table 17-1 – Table of Allowed Uses – Non-Residential Zoning Districts
- Roy City Zoning Ordinance Title 10, Chapter 19 – Off-Street Parking and Loading

ANALYSIS

Project Overview:

This project is on the north side of 4000 South and the East side of Midland Drive. It will be located within the same development as 7-11 and Starbucks. (see exhibit “A”). The use is for a Taco Bell restaurant with sit down and drive-thru facilities.

Staff Review:

Site Plan: There are a few issues with the site plan that once corrected will require very little to no changes to the overall site plan itself. (see exhibit “B”)

Elevations: The elevations do appear to meet the minimum requirements of the code. The building needs to address 4000 South, but that won’t change the overall appearance of the building. (see exhibit “C”)

Summary: The proposed buildings and site plan have very few issues that need to be resolved. Which won’t change the overall site and building itself. For your information the Planning portion of the DRC memo can be found in Exhibit “D”.

The Planning Commission will need to determine if the proposed development meets the intent of the Zoning Ordinance.

CONDITIONS FOR APPROVAL

1. Compliance to the requirements and recommendations within this report.
2. Compliance to all requirements as discussed in this meeting



FINDINGS

1. The proposed site plan does not meet the minimum requirements of the Zoning Ordinance.
2. The proposed building elevations do not meet the minimum requirements of the Zoning Ordinance.

ALTERNATIVE ACTIONS

The Planning Commission can recommend Approval, Approval with conditions, Table or Deny.

RECOMMENDATION

Staff recommends approving both the Site Plan and Architectural review with the conditions that all current and future DRC review comments are complied with along with any conditions as stated in the Staff report or during this Planning Commission meeting

EXHIBITS

- A. Aerial Map
- B. Proposed Site Plan
- C. Proposed Building Elevations & Materials
- D. Planning Portion of the DRC Review Memo

EXHIBIT "A" – AERIAL




EXHIBIT "B" – PROPOSED SITE PLAN



EXHIBIT “C” – PROPOSED ELEVATIONS





Date: 23 February 2023
To: Paul Synder; Legends Studio
From: Steve Parkinson – Planning & Zoning Administrator 
Subject: Taco Bell – 2746 We. 4000 So. – plans submitted February 2, 2023

If there are comments below that require corrections OR changes to plans, resubmittal of plans is required.

We have tried to address all items of concern with reference to all applicable City codes or for the general Health, Safety and Welfare of the public, however, this review does not forego any other items of concern that may come to our attention during additional reviews.

Planning –

A. General Comments

1. Still have a concern with cars over-flowing into the main access-way from 4000 South, causing traffic issues.

B. Site Plan Review

1. What measures will be used to protect the residents to the east from the noise of the ordering box and drive-up windows?
2. The proposed materials of the dumpster enclosure need to be of similar colors and materials as the main building. is a material not allowed in the zone. It should be consistent with the materials on the building.
3. All mechanical equipment must be screened from public view. Provide a drawing showing that the equipment is screened from view.

C. Architectural Review

1. Need to provide a Materials & Colors board.
2. How is the proposed building addressing the street? The proposed elevation facing the street is technically the rear side of the building.

D. Site Lighting

1. No information was provided regarding the site lighting. Are there light poles existing? Any proposed? Need to provide the overall height of pole with fixture, color of both pole and fixture and what the fixture looks like.
2. Need to provide a photometric drawing of the eastern property line.





STAFF REPORT

Planning Commission

March 14, 2023
Agenda Item # 4C

SYNOPSIS

Application Information

Applicant: Wes Graham; Iron Horse Real Estate
Request: Request for Site Plan and Architectural approval of Oakley Roasting
Address: Approximately 3551 West 5600 South

Land Use Information

Current Zoning: CC; Community Commercial
Adjacent Zoning: North: CC; Community Commercial South: CC; Community Commercial
East: CC; Community Commercial West: CC; Community Commercial

Staff

Report By: Steve Parkinson
Recommendation: Recommends tabling Site Plan, approving Architectural.

APPLICABLE ORDINANCES

- Roy City Zoning Ordinance Title 10, Chapter 10 – General Property Development Standards
 - 10-10-24 - Table 10-1 – Minimum Lot and Setback Requirements ...
- Roy City Zoning Ordinance Title 10, Chapter 14 – Permitted Uses
 - 10-14-11 – Additional Site and Building Design Standards
- Roy City Zoning Ordinance Title 10, Chapter 17 – Table of Uses
 - 10-17-1 - Table 17-1 – Table of Allowed Uses – Non-Residential Zoning Districts
- Roy City Zoning Ordinance Title 10, Chapter 19 – Off-Street Parking and Loading

ANALYSIS

Project Overview:

This project property is on the south side 5600 South within the existing parking lot of South Fork Hardware and Twisted Sugar to name just a few. The proposed project is to development an area within an existing parking lot. (see exhibit “A”)

Staff Review:

Site Plan: There are several issues with the site plan that once corrected may change the overall site plan itself. The biggest issue is that no drive-through facilities or drive-through windows shall not face the residential dwellings to the west. All of the other issues can easily be address with little change to eh site plan. (see exhibit “B”)

Elevations: The elevations do appear for the most part to meet the minimum requirements of the code. (see exhibit “C”)

Summary: The proposed building has no real issues and site plan has many issues that need to be resolved. Which will change the overall site and building itself. For your information the Planning portion of the DRC memo can be found in Exhibit “D”.

The Planning Commission will need to determine if the proposed development meets the intent of the Zoning Ordinance.

CONDITIONS FOR APPROVAL

1. Compliance to the requirements and recommendations within this report.



2. Compliance to all requirements as discussed in this meeting.

FINDINGS

1. The proposed site plan does not meet the minimum requirements of the Zoning Ordinance.
2. The proposed building elevations do not meet the minimum requirements of the Zoning Ordinance.

ALTERNATIVE ACTIONS

The Planning Commission can recommend Approval, Approval with conditions, Table or Deny.

RECOMMENDATION

Staff recommends tabling the Site Plan and approving the Architectural review with the conditions that all current and future DRC review comments are complied with along with any conditions as stated in the Staff report or during this Planning Commission meeting.

EXHIBITS

- A. Aerial Map
- B. Proposed Site Plan
- C. Proposed Building Elevations & Materials
- D. Planning Portion of the DRC Review Memo

EXHIBIT "A" – AERIAL

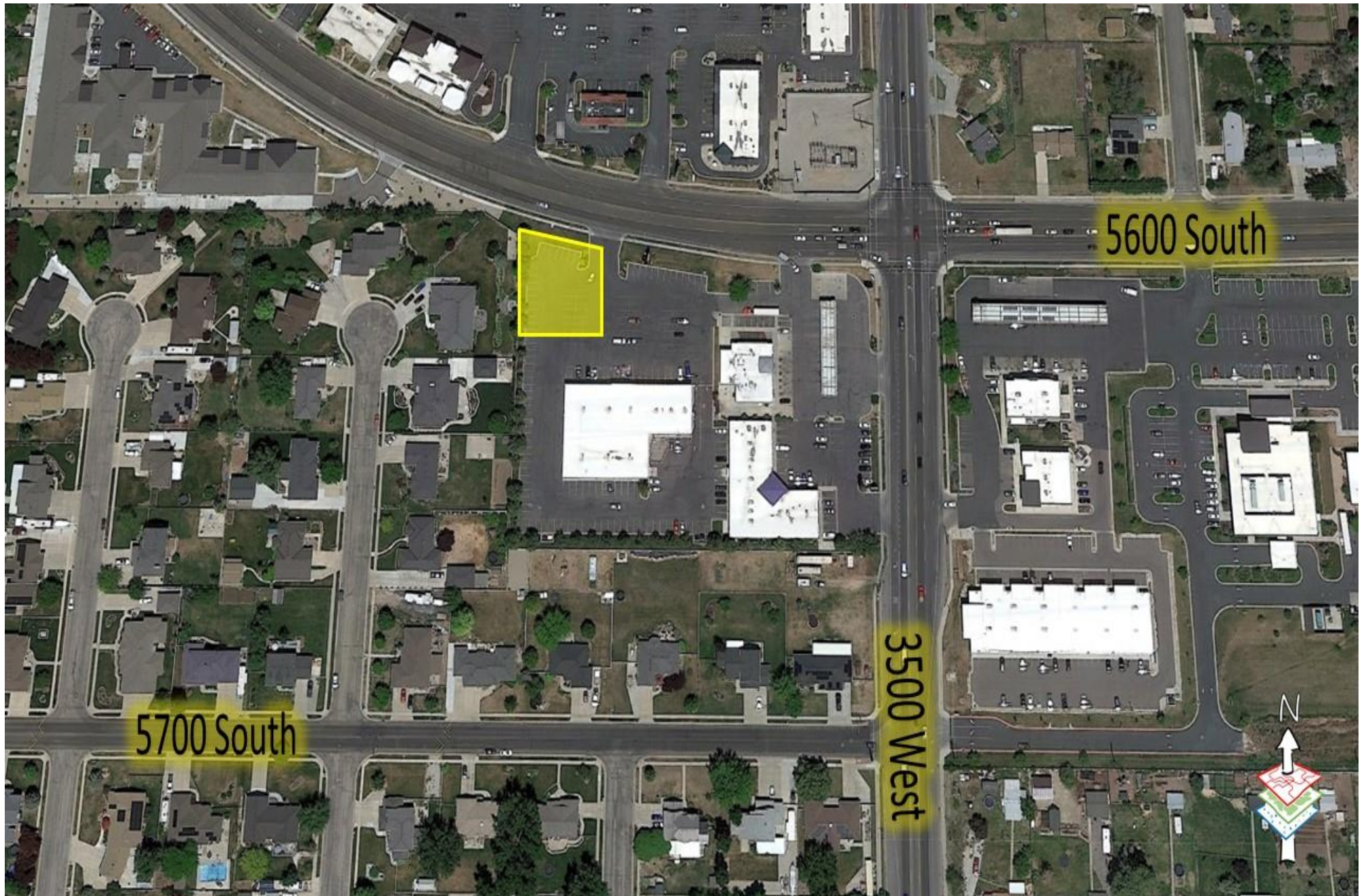


EXHIBIT "B" – PROPOSED SITE PLAN

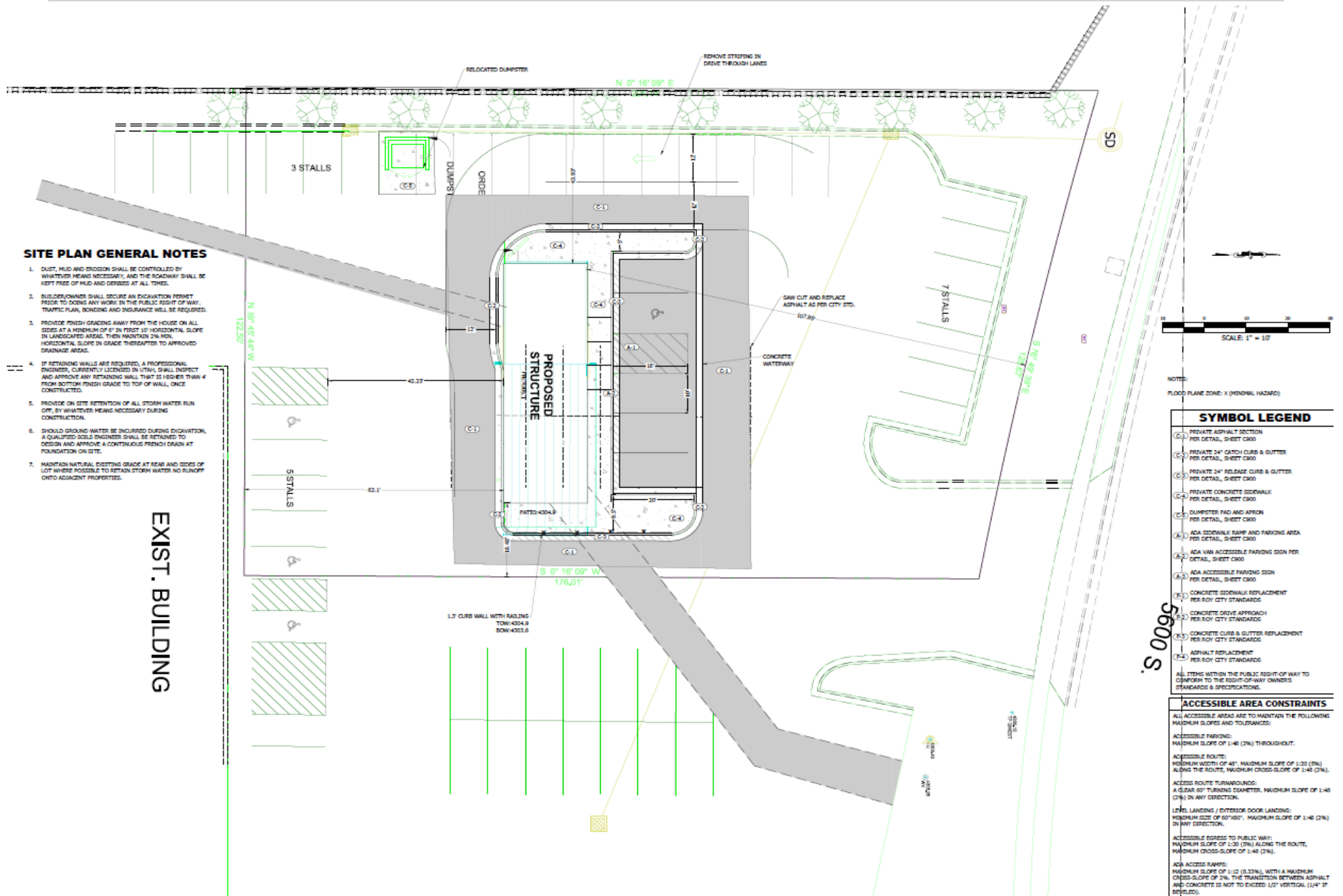


EXHIBIT "C" – PROPOSED ELEVATIONS



EXTERIOR MATERIAL SCHEDULE

ID#	MATERIAL/AREA	MANUFACTURER	COLOR	FINISH
PT-1	EIFS MAIN/ WINDOW WALLS	SHERWIN WILLIAMS	SW 7674 - PEPPERCORN	SATIN
PT-2	WINDOW WALLS	SHERWIN WILLIAMS	SW 6990 -CAVIAR	SATIN
ST-1	STONE	HARRISTONE		
MT-1	COPING		MATCH MBCI CHARCOAL GRAY	
MT-2	STANDING SEAM ROOF	MBCI - BATTENLOCK	CHARCOAL GRAY	
WD-1	EXPOSED WOOD		STAIN - CARMEL CEDAR	



HARRISTONE LUEDERS -
FLINT HILLS



SHERWIN WILLIAMS
PEPPERCORN



SHERWIN WILLIAMS
CAVIAR



WOOD STAIN
CARMEL CEDAR



MBCI • STANDING SEAM
CHARCOAL GRAY



Date:

To: Wes Graham; Iron Horse

From: Steve Parkinson – Planning & Zoning Administrator

Subject: Starbucks – 3551 We. 5600 S – plans submitted February 23, 2023

If there are comments below that require corrections OR changes to plans, resubmittal of plans is required.

We have tried to address all items of concern with reference to all applicable City codes or for the general Health, Safety and Welfare of the public, however, this review does not forego any other items of concern that may come to our attention during additional reviews.

Planning –

A. Site Plan

1. The scale on sheet C400 is incorrect.
2. With the location of the proposed building, it reduces the width of the access drive into and out of the complex. What measures will be installed to direct traffic?
3. The overall circulation of the entire complex changes how will it be addressed?
4. According to 10-10-31 6) b) - No Drive-Through facilities or Drive-Through windows shall be located in any exterior building wall facing any residential zoning district boundary. Where are the menu's and ordering station?
5. Unable to determine the number of parking stall required. Unable to determine the square footage of the building and don't know how many seats there are proposed (both in & outside)
6. The mechanical equipment must be screened from public view and from the residences to the west. Provide a drawing showing location of mechanical equipment and how that equipment is block from view. Including type and colors of materials.
7. Plans mention that the dumpster is being relocated. Where is it currently located?
8. The dumpster enclosure must be a minimum of 20' from all residential zones.
9. Dumpster enclosure is required to be of similar materials and colors as the main building.
10. Will the islands at the ends of the parking stalls in front of the building be landscaped? Or just in concrete? If landscaped, will need a landscaping plan & irrigation plan. If they are in concrete, how will they be used? Tables & chairs, planter boxes, or something else?

B. Architectural

1. No wall planes may be longer than 30 feet without a vertical break.

C. Site Lighting

1. Plans showed no site lighting. No comment if there aren't any. If there is planned to have pole lights within parking area, need to provide a photometric drawing and pole & fixture types and colors. Maximum height of pole and fixture is 20'.

