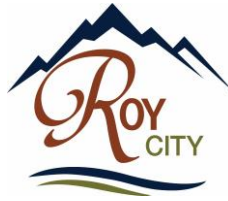


Chair
• Ryan Cowley

Vice-Chair
• Jason Felt

City Planner
• Steve Parkinson



Commission Members

- Samantha Bills
- Torris Brand
- Christopher Collins
- Janel Hulbert
- Claude Payne
- Jason Sphar
- Daniel Tanner

PLANNING COMMISSION

AGENDA

April 11, 2023

6:00 p.m.

The Roy City Planning Commission regular meeting will be held in the City Council Chamber / Court Room in the Roy City Municipal Building located at 5051 South 1900 West. The meeting will commence with the Pledge of Allegiance, which will be appointed by the Chair.

This meeting will be streamed live on the Roy City YouTube channel.
(<https://www.youtube.com/channel/UC6zdmDzxdOSW6veb2XpzCNA>)

Agenda Items

1. Declaration of Conflicts
2. Legislative Items
3. Administrative Items
 - A. A request for Site Plan and Architectural approval for NCS Properties located at approximately 6051 South 1900 West
4. Discussion on allowing Parking within the Front Yard during the winter months
5. Commissioners Minute
6. Staff Update
7. Adjourn

In Compliance with the Americans with Disabilities Act, persons needing auxiliary communicative aids and services for these meetings should contact the Administration Department at (801) 774-1040 or by email: ced@royutah.org at least 48 hours in advance of the meeting.

Pursuant to Section 52-4-7.8 (1)(e) and (3)(B)(ii) "Electronic Meetings" of the Open and Public Meetings Law, any Commissioner may participate in the meeting via teleconference, and such electronic means will provide the public body the ability to communicate via the teleconference.

Certificate of Posting

The undersigned, does hereby certify that the above notice and agenda was posted in a public place within the Roy City limits on this 7th day of April 2023. A copy was also provided to the Standard Examiner and posted on the Roy City Website on the same date.

Visit the Roy City Web Site @ www.royutah.org
Roy City Planning Commission Agenda Information – (801) 774-1027

Steve Parkinson, City Planner





April 11, 2023
Agenda Item # 3A

SYNOPSIS

Application Information

Applicant: Nick Sorensen
Request: Request for Site Plan & Architectural approval for NCS Properties
Address: Approximately 6051 South 1900 West

Land Use Information

Current Zoning: DT-G; Downtown Gateway
Adjacent Zoning: North: DT- G; Downtown Gateway South: DT- G; Downtown Gateway
East: DT- G; Downtown Gateway West: R-1-8; Single-Family Residential

Staff

Report By: Steve Parkinson
Recommendation: Recommends approving, with conditions

APPLICABLE ORDINANCES

- Roy City Zoning Ordinance Title 10, Chapter 13 – Mixed Use
 - 10-13-3 – Building Type
 - 10-13-4 – Open Space
 - 10-13-5 – Landscaping
 - 10-13-6 – Parking

ANALYSIS

Project Overview:

The property is on the west side of 1900 West, towards the southern end of the City. Across the street from Sacco's Store. (Exhibit "A") The property is 0.72 acres (31,363.2 sq.-ft.) in lot area.

The property and building were previously used as an Appliance Sales and Service business, which was classified as a "General Retail" use. The applicant wants to change the use of the building for a Pest Control service. Which is classified as a "General Service" use.

Staff Review & Comments:

Site Plan: There are several issues with the site plan that once corrected will change the site plan itself. The biggest change will depend on what UDOT requires regarding the drive approaches from 1900 West. (Will they close one of the approaches, if so which one) The issues of parking stalls and associated landscape islands, fencing and lighting are minor in comparison.

The proposed site plan can meet the minimum requirements of the code, however, depending on UDOT and their requirements will have a big impact to the overall site

Elevations: Most of the building is proposed to get painted, and the colors meet the design standards. However, the front portion of the building is proposed to change materials to a LAP siding. It is unknown what material the LAP siding will consist of. It is also proposed to use the same LAP siding for the entire areas proposed to be changes. The code requires an 80/20 usage so at minimum a second material will need to be used.

The building elevation can also meet the minimum code requirements, depending on what the LAP siding material is, and which secondary material is proposed.



Summary: The Planning Commission will need to determine if the proposed development meets or can meet the intent of the Zoning Ordinance.

CONDITIONS FOR APPROVAL

1. Compliance to the requirements and recommendations within this report.
2. Compliance to all requirements as discussed in this meeting.

FINDINGS

1. The proposed site plan can meet all of the requirements of the Zoning Ordinance.

ALTERNATIVE ACTIONS

The Planning Commission can Approve, Approve with conditions, Table or Deny.

RECOMMENDATION

Staff recommends approving both the Site Plan and Architectural review with the condition that all current and future DRC review comments are complied with along with any conditions as stated in the Staff report or during this Planning Commission meeting.

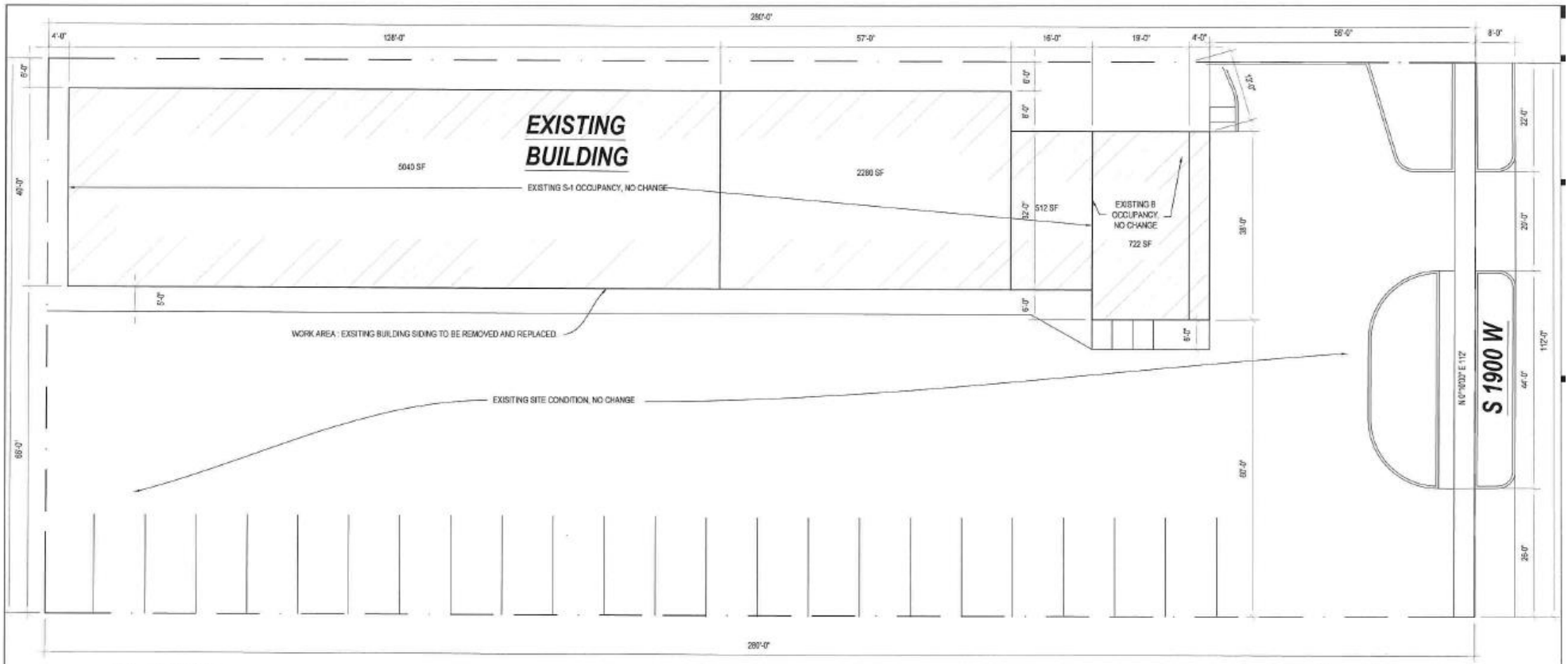
EXHIBITS

- A. Aerial Map
- B. Proposed Site Plan
- C. Proposed Building Elevations
- D. The 5 April 2023 DRC Review Memo

EXHIBIT "A" - AERIAL



EXHIBIT "B" – SITE PLAN



1 SITE PLAN



CODE ANALYSIS

2018 INTERNATIONAL EXISTING BUILDING CODE

- CHAPTER 1 SCOPE OF WORK: REMOVE EXISTING SIDING OF BUILDING AND INSTALL NEW SIDING AND REPLACE OLD WINDOWS AND EXTERIOR DOORS. NEW ROOFING AS REQUIRED.
- CHAPTER 3 305.304, NO STRUCTURAL CHANGES, 305, NO CHANGE IN OCCUPANCY.
- CHAPTER 4 REPAIRS BUILDING ELEMENTS AND MATERIALS TO CHANGE. SEE ELEVATIONS FOR REQUIRED TEMPERED GLAZING LOCATIONS.
- CHAPTER 6 602, ALTERATION LEVEL 1, SHALL COMPLY WITH CHAPTER 7, THE REMOVAL AND REPLACEMENT OR THE COVERING OF EXISTING MATERIALS, ELEMENTS, EQUIPMENT, FIXTURES USING NEW MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES THAT SERVE THE SAME PURPOSE, CHANGE OF SIDING, CHANGE OF EXTERIOR DOORS AND WINDOWS.
- CHAPTER 7 702.5 MATERIAL AND METHODS. NEW WORK SHALL COMPLY WITH THE MATERIALS AND METHODS REQUIREMENTS IN THE INTERNATIONAL BUILDING CODE, INTERNATIONAL ENERGY CONSERVATION CODE, INTERNATIONAL MECHANICAL CODE, AND INTERNATIONAL PLUMBING CODE, AS APPLICABLE, THAT SPECIFY MATERIAL STANDARDS, DETAIL, OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT, OR SYSTEM IN THE BUILDING.
- 703 NO CHANGE OR REDUCTION IN EXISTING FIRE PROTECTION.
- 705 ROOF REPLACEMENT SHALL INCLUDE THE REMOVAL OF ALL EXISTING LAYERS OF ROOF COVERINGS DOWN TO THE ROOF DECK, EXCEPTION, EXISTING ICE BARRIER MEMBER IS PHYSICALLY ADHERED TO ROOF DECK, MEMBRANE SHALL REMAIN. ROOF SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATION.

PROJECT INFORMATION

SCOPE OF WORK: THE REMOVAL AND REINSTALLATION OF THE EXTERIOR SIDING OF THE BUILDING, THE REMOVAL AND REPLACEMENT OF ANY ROOFING THAT NEEDS REPLACEMENT, NEW WINDOWS AND DOORS TO REPLACE EXISTING WINDOWS AND DOORS. NO SITE DRAINAGE MODIFICATIONS TO BE DONE, SOLELY REPAIR / MAINTENANCE OF THE STRUCTURE.

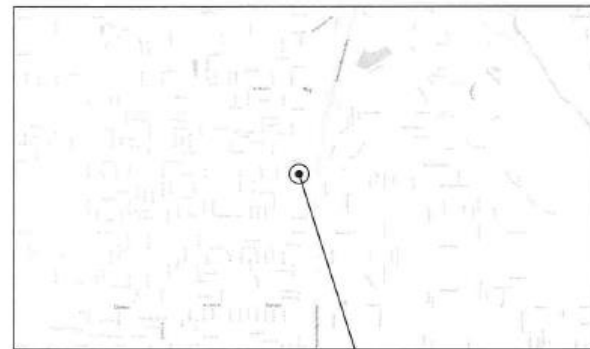
PROJECT LOCATION:

6051 S 1900 W
ROY, UTAH 84057

LOT SIZE: 0.72 ACRES

WEBER COUNTY PARCEL #: 09-130-0010

LEGAL DESCRIPTION: PART OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN U.S. SURVEY BEGINNING AT A POINT 391.3 FEET SOUTH FROM THE NORTHEAST CORNER OF S4-D QUARTER SECTION, THENCE WEST 20 RODS, THENCE SOUTH 112 FEET, THENCE EAST 20 RODS, THENCE NORTH 112 FEET TO THE PLACE OF BEGINNING.



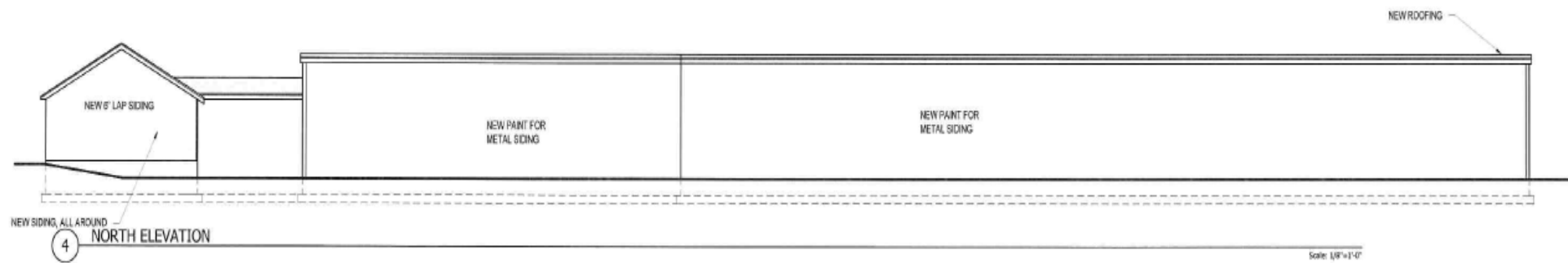
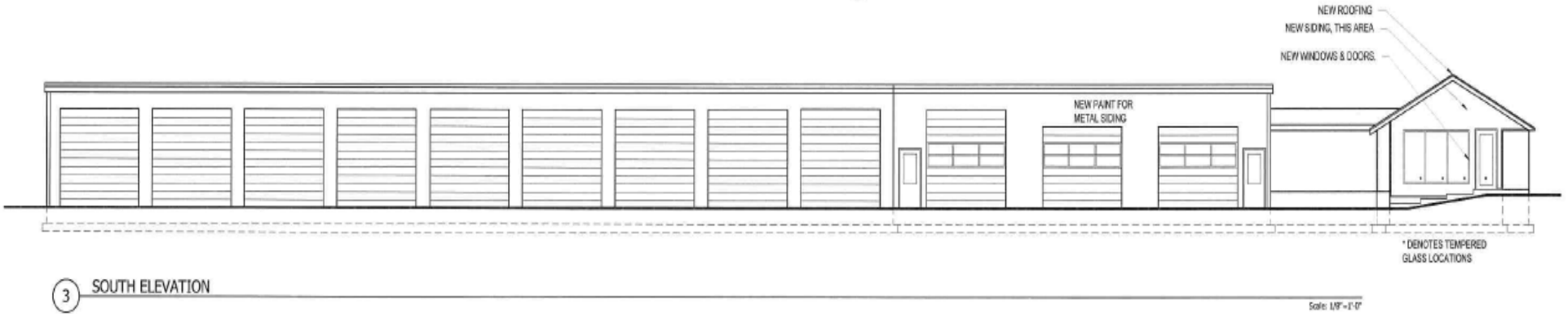
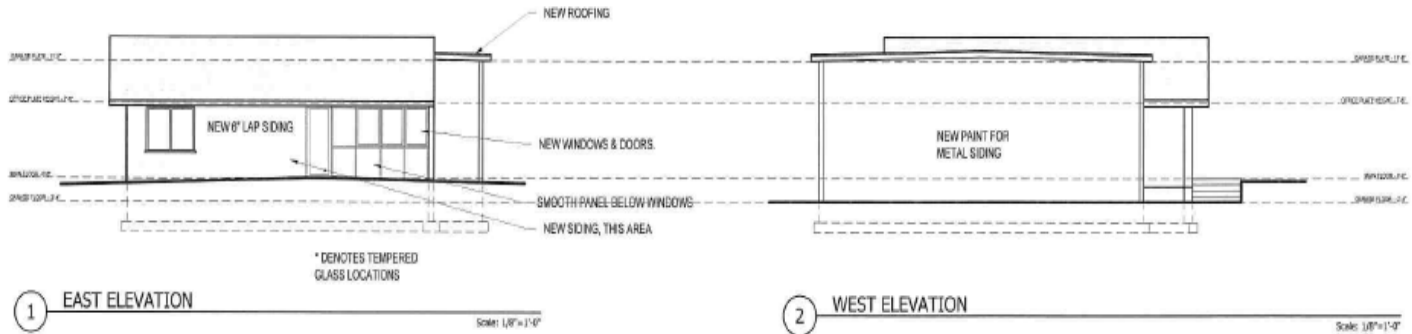
VICINITY MAP

PROJECT LOCATION AREA

NORTH



EXHIBIT "C" – BUILDING ELEVATIONS





Date: 5 April 2023
To: Nick Sorensen
From: Steve Parkinson – Planning & Zoning Administrator
Wasatch Civil – City Engineer
James Weston – Fire Marshall
Gaile Supp – Building Official
Armando Perez – Police Liaison
Ross Oliver – Public Works Director
Matt Wilson – City Attorney
Subject: NCS Properties – 6051 So. 1900 We. – plans submitted March 20, 2023

If there are comments below that require corrections OR changes to plans, resubmittal of plans is required.

We have tried to address all items of concern with reference to all applicable City codes or for the general Health, Safety and Welfare of the public, however, this review does not forego any other items of concern that may come to our attention during additional reviews.

Engineering –

We understand that work at this site constitutes a change of use and requires compliance with current City standards. Additional information is needed to evaluate compliance. The following items need to be shown on the plans:

A. Utilities

- 1. Existing water and sewer services need to be shown. Calculations or site use information should be provided, so we can evaluate if the existing services are adequate.
- 2. The water service will need to have a backflow prevention device in compliance with current drinking water standards.

B. Traffic and Access

- 1. Access from 1900 West will require UDOT approval. UDOT may want to limit site access to a single driveway. The northerly driveway is narrow and may not meet fire truck access requirements.
- 2. Parking stalls should be dimensioned on the plans. Handicapped accessible parking spaces should be indicated in compliance with ADA requirements.

C. Storm Drainage Design

- 1. The site plans should show elevations, grading, drainage patterns, and storm drain facilities.
- 2. The site does not have to appear to have a piped storm drain outlet available. Retention and/or discharge to sumps appears to be the only option for stormwater discharge.
- 3. Drainage calculations are needed for retention design.

D. Water Quality Report

- 1. Water Quality Report / LID – A water quality report and LID design are not required because the site is less than 1 acre.
- 2. Other – Construction activities will require a Roy City Land Disturbance Permit.

Building – (Listed below are comments for the site plan as it relates to the IBC and/or IRC.)

- 1. One Accessible parking stall shall be provided and shall be identified with the International Symbol of Accessibility.
 - a. The width of the accessible parking stall shall be a minimum of 96 inches for a car and 132 inches for a van.



- b. The slope of the parking stall shall not exceed 2%.
2. Provide an accessible ramp outside the front door.
 - a. The ramp must not have a slope greater than 8%.
 - b. The ramp shall have a 60-inch landing at the top and bottom and have minimum clear width of 36 inches.
3. Protect walking surfaces from roof water run-off.

Fire – (Listed below are comments for the site plan as it relates to fire protection and the IFC.)

- I. No comments at this time

Public Works -

A. Street Division

- I. 1900 West is a UDOT road, No comment.

B. Sewer & Water System

- I. No comment.

C. Storm Water (all items must be turned in before work begins)

- I. Need a Roy City Storm Water Land Disturbance Permit
2. Site Plan with BMP's needs to be reviewed and approved prior to work can begin.

Legal & Police -

- I. No comment at this time.

Planning -

A. General Comments

- I. Need a letter from UDOT.


B. Site Plan

1. Landscape islands are required at the beginning and ending of a row of parking stalls. The islands must be a minimum of five (5) in width.
2. A landscape islands are required after eight (8) stalls.
3. Will there be any fencing? If so, what type of fence (material, height and color)? And where exactly will the fence be installed?
4. Will there be any site lighting? If so, provide type of light fixture, including color. Also provide height and color of pole. Will also need a photometric drawing.
5. Need a landscaping plan
6. Need an irrigation plan.

C. Architectural

1. What type of material is the LAP siding that is being proposed? Depending on what it is made of depends on if the materials is allowed.
2. Code doesn't allow a single material to be used, there must be a secondary material.



Date: 11 April 2023
To: Planning Commissioners
From: Steve Parkinson – Planning & Zoning Administrator 
Subject: Agenda Items # 4 – Discussion on allowing Parking within the Front Yard during the winter months

On February 16 2023, I was involved in a ADHoc committee to discuss Trailer Parking, first on the Street then it turned into a discussion regarding “Parking in the Front Yard” during the winter months. Commissioners Jason Sphar and Daniel Tanner were also involved in this discussion.

Like most discussions, it covered several points of interest and hopes. Ranging from, allowing parking all of the time, to not allowing it at all, to requiring a permit to be able to park, to “Snow Day” exceptions with a time limit after a snow storm.

Staff has been asked to bring this discussion to the Commission to get their thoughts and opinions on this topic.

It would require a Zoning Text amendment.

The sections of the code that may need to be amended to allow such an exception are:

10-10-32 Parking in Residential Zones:

In all residential zones, no vehicle parking shall be permitted in front yard setback areas between the front property line and the front line of the building, except on driveways located in residential zones that directly access a garage or carport. Accessory parking space for vehicles outside of the front yard setback area is permitted on an approved all-weather surface such as concrete, asphalt, gravel (weed free), or road base (weed free), as long as it is accessible to and from a legal access point on the same parcel. At any time, no portion of a vehicle may be over the street right-of-way line or obstruct a sidewalk. (Ord. No. 17-1; 3-7-2017)

10-19-2 General Provisions:

- 1) Off-street parking spaces shall be provided, meeting the requirements of this Chapter, for all new buildings constructed, all additions or enlargements to an existing building, the establishment of any new use, or the expansion of any existing use.
- 2) If an existing, legally established building is expanded by more than thirty percent (30%) of the existing gross floor area, all off street parking spaces and areas must comply with the requirements of this Chapter, as applicable.
- 3) Required off street parking spaces and areas shall not be used for the repair of motor vehicles, or the display or sale of goods and services, unless authorized by a temporary use permit approval, as provided herein.
- 4) No off street parking area shall be used for the overnight occupancy of any vehicle including motor homes, campers, or trailers.
- 5) Oil separators and other pollution control devices may be required as part of Site Plan approval, as recommended by the City Engineer, and approved by the Commission as part of Site Plan approval.
- 6) No sidewalk, trail, or required landscape area shall be used for the off-street parking of any vehicle(s), or as a loading area.
- 7) Off street parking is prohibited in all fire lanes or similar areas not designated for parking purposes. These areas shall be posted with "No Parking" signs and/or other means as required by the City Engineer.



- 8) Access to parking space (driveways and access lanes); access to all parking spaces shall be as follows:
- a) Residential Property, including four (4) units or less attached units, shall provide access to approved off-street parking spaces and private garages used in conjunction with those uses as follows:
 - i) Driveways and drive approaches shall not be located within the clear view area (sight triangle).
 - ii) Drive approaches may go up to a side lot line of a lot as if the property line is extended to the back of the curb and gutter or roadway, except if there are utility boxes located in the area, if so then approval from the utility companies is needed to be any closer than two (2) feet from the utility boxes. In the case of a cul-de-sac exceptions may be made by the Zoning Administrator.
 - iii) A driveway on private property may be constructed up to the side or rear property line so long as the driveway does not interfere with the surface drainage of the lot or adjacent lots where drainage easements are provided. If no drainage easements exist, the drainage from the driveway must be kept within the property.
 - iv) Properties with less than one hundred (100) feet of frontage shall be limited to one (1) driveway approach per frontage. One additional drive approach may be added for each additional fifty (50) feet.
 - 1. Exceptions may be approved by the Zoning Administrator where property fronts (5600 South, 1900 West, 3500 West or Midland Drive) for a circular driveway.
 - v) The minimum width of a drive approach is twelve (12) feet and the maximum is thirty (30) percent of the frontage width of the property

(Ord. No. 17-1, 3-7-2017; Ord No. 20-12, 10-26-2020)

10-19-6 Location of Required Off-Street Parking:

- 1) All required off street parking spaces shall be located on the same lot as the building or use it serves, except required off street parking spaces may be allowed on a separate lot that is within five hundred (500) feet of the building or use it serves, provided the two (2) lots are not separated by any major street and a non-revocable written parking agreement is in place prior to Site Plan approval.
- 2) No required off-street parking spaces shall be permitted in any front yard setback or in any street side yard setback. *(Ord. No. 17-1, 3-7-2017)*