



HOW TO OBTAIN A BUILDING PERMIT FOR RESIDENTIAL DETACHED GARAGES & ACCESSORY STRUCTURES OVER 200 sq. ft.

Accessory Structures, Garages,& Sheds

Apply for a Residential Building Permit for detached accessory structures, that are greater than 200 sq. ft. in size such as garages and sheds, on line. This information packet will help you prepare and organize the necessary information to help speed up the plan review process and turn around time for building permits. Be prepared to provide all the information requested in electronic format so that it can be submitted electronically.

Website: www.royutah.org

Departments

Community Development

Building Permits & Inspections

Scroll down to: "Click here to obtain information to apply for permits"

Create a My City Inspector account or Login here

Create an Account

https://roycity.mycityinspector.com/register?registration_id=159b947e1ab6a0

Login to My Account

<https://roycity.mycityinspector.com/login>



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How to obtain a building permit for DETACHED ACCESSORY STRUCTURES

Detached Accessory Structures under 200 Square Feet do not require a permit, but must still meet set back and side yard requirements.

**Apply for Building
Permits on line:**

Create an Account

Login to My Account

1. Permit application filled out with proper contact numbers, contractor licensing numbers and use of building information. Create an account and apply on line, or if you already have a user account simply log in to your account.
2. Site plan / plot plan (8 1/2 inches by 11 inches or bigger) **Sample #1**
3. Footing and foundation plan. **Sample #2**
4. Floor plan. **Sample #3**
5. Elevations (Front, side, and rear views) **Sample #4**
6. Section View. **Sample #5**
 1. Wall cross sections and details **Sample #6**
 2. Plumbing, and electrical if applicable. **Sample #3**

1. The above items are the MINIMUM requirements that must be shown on your plans.

2. Submitted plans shall have the initial review completed within 14 business days after they have been accepted for review.

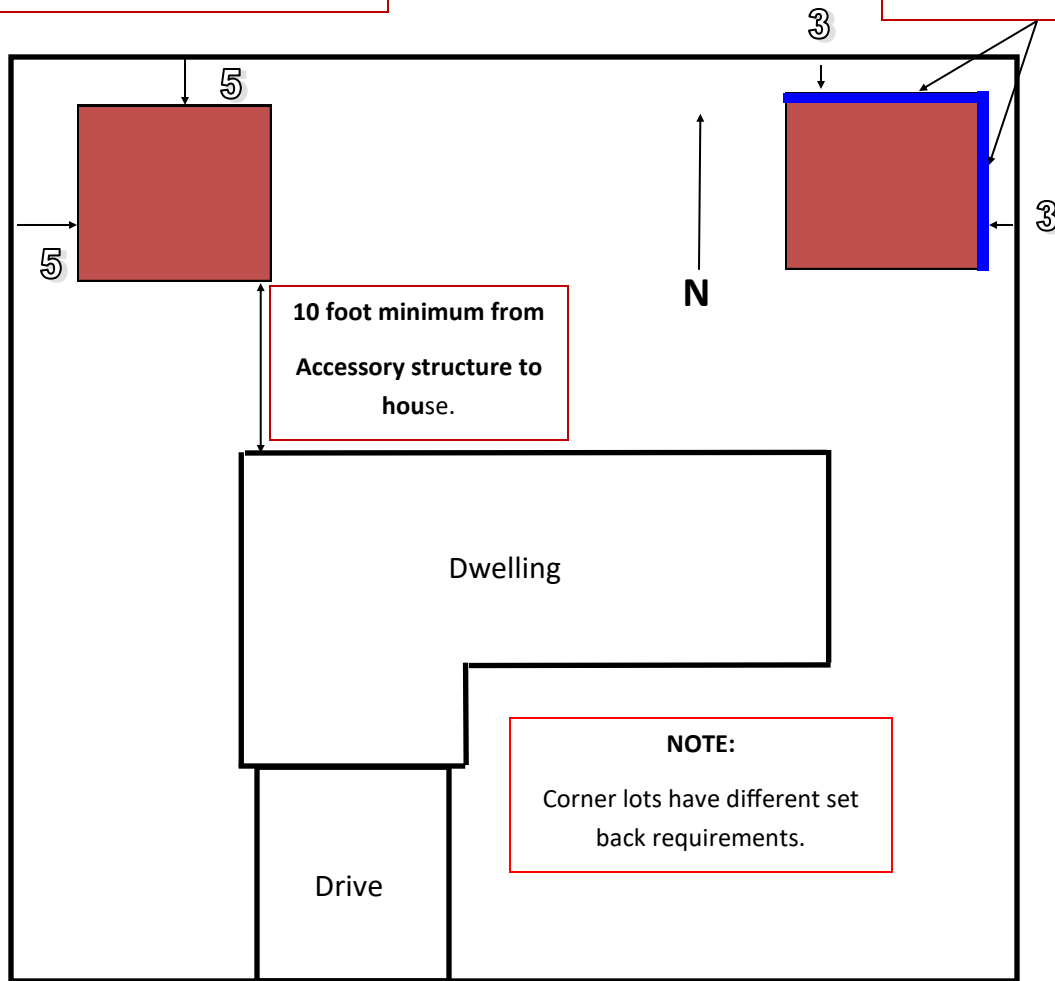
3. Below are sample drawings to assist you in your preparation for applying for a building permit.

Sample #1

Site plan

Five foot minimum from any property line to the wall of the structure. **No fire wall required**

One hour rated fire wall.
tested in accordance with
ASTM E 119 or UL 263 with
exposure from both sides.



NOTE: A one hour fire rated wall is required when less than 5 foot to any property line and shall be tested in accordance with ASTM E 119 or UL 263 with exposure from both sides.

Show and describe:

- A. Distance from Building to Property lines (Dimensions)
- B. All existing structures presently on lot.
- C. Address and street.
- D. Indicate North

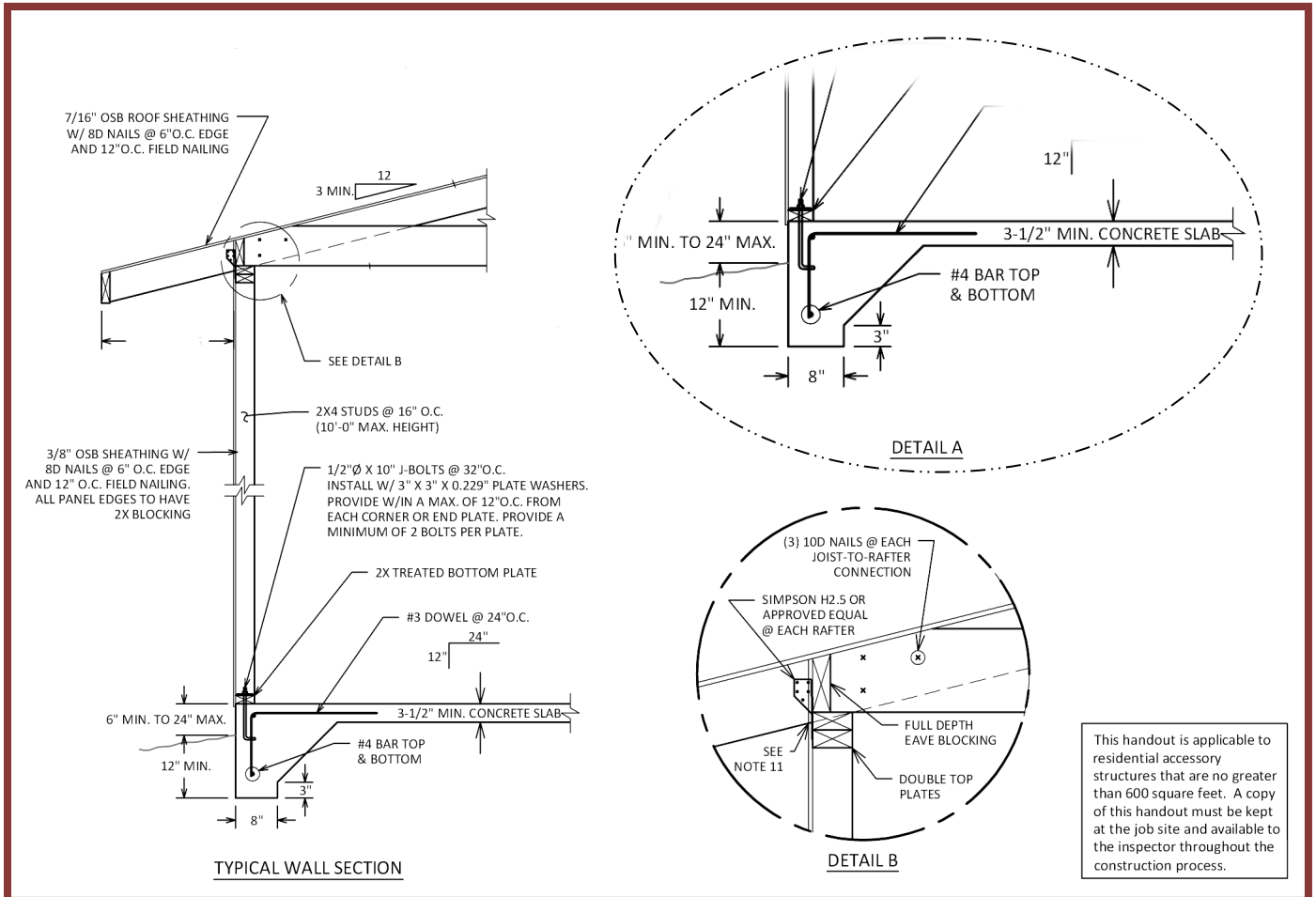
NOTE: setbacks and side yards are measured from the property line, not the sidewalk. (property lines are typically one foot inside the sidewalk.)

Sample #2

Footing and foundation

Residential Accessory Structures

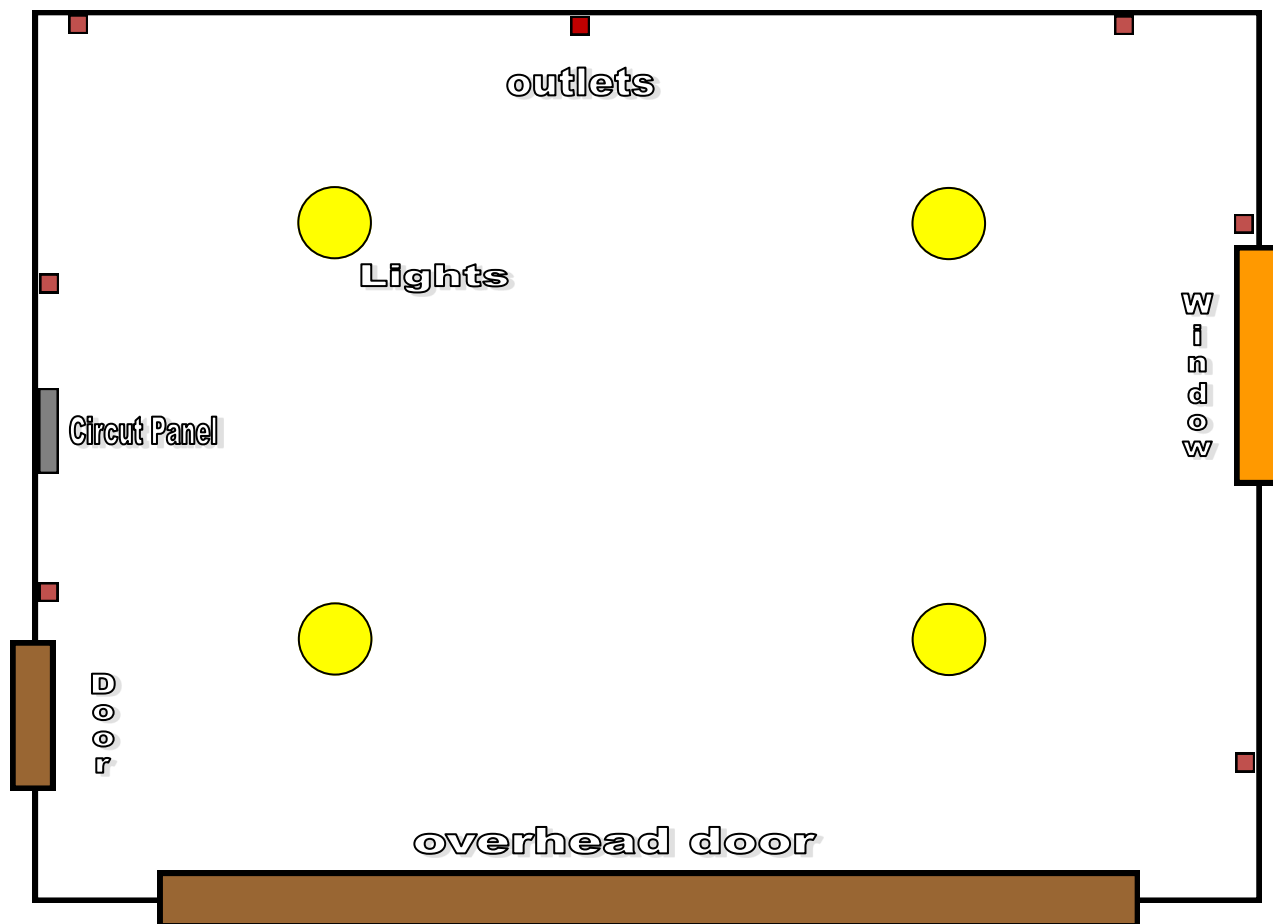
Based on the 2015 International Residential Code



1. Buildings under 400 square feet can be placed on a 3 1/2 inch concrete slab.
2. Buildings between 400 and 600 square feet can be placed on a monolithic slab if construction is followed per the detail above.
3. Buildings over 600 square feet must have engineered footings and foundations per Utah State amendment.

Sample #3

Floor Plan



Show and describe:

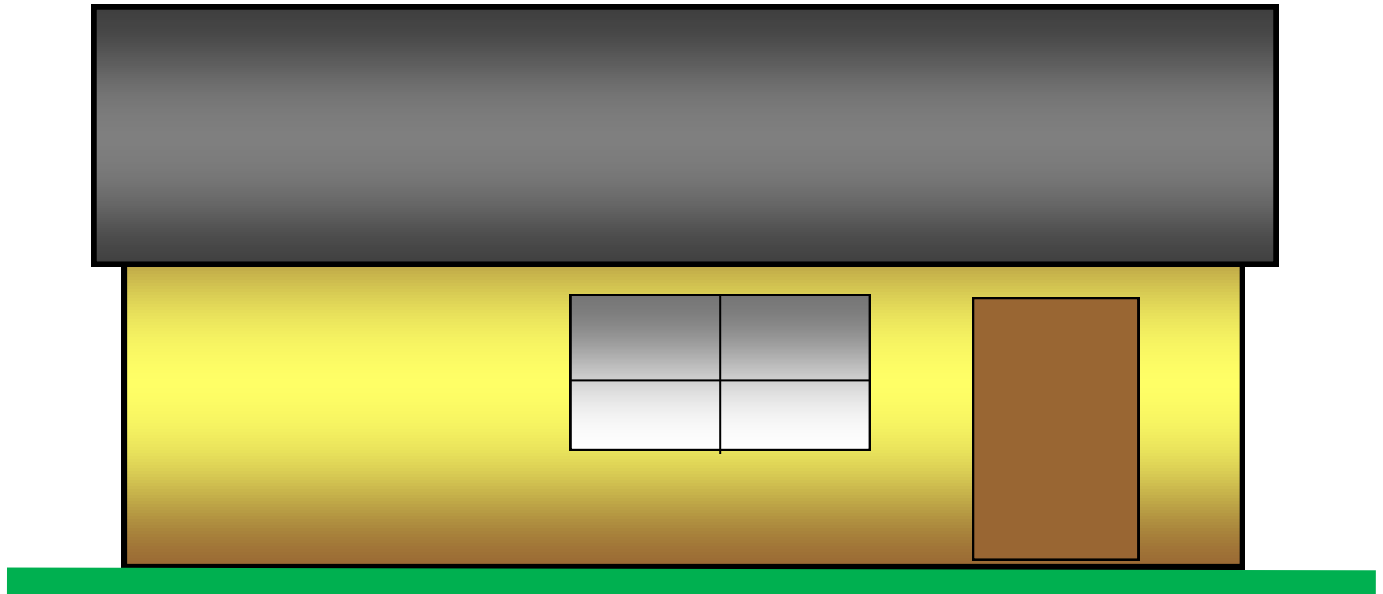
- A. Location of doors, window's and openings.
- B. Electrical outlets, lights. Also location of interior circuit panel.
- C. Dimensions of overall building.

Note: All electrical wiring in garages and sheds must be protected by placing sheetrock or OSB on walls in front of wiring or wiring must be run in conduit.

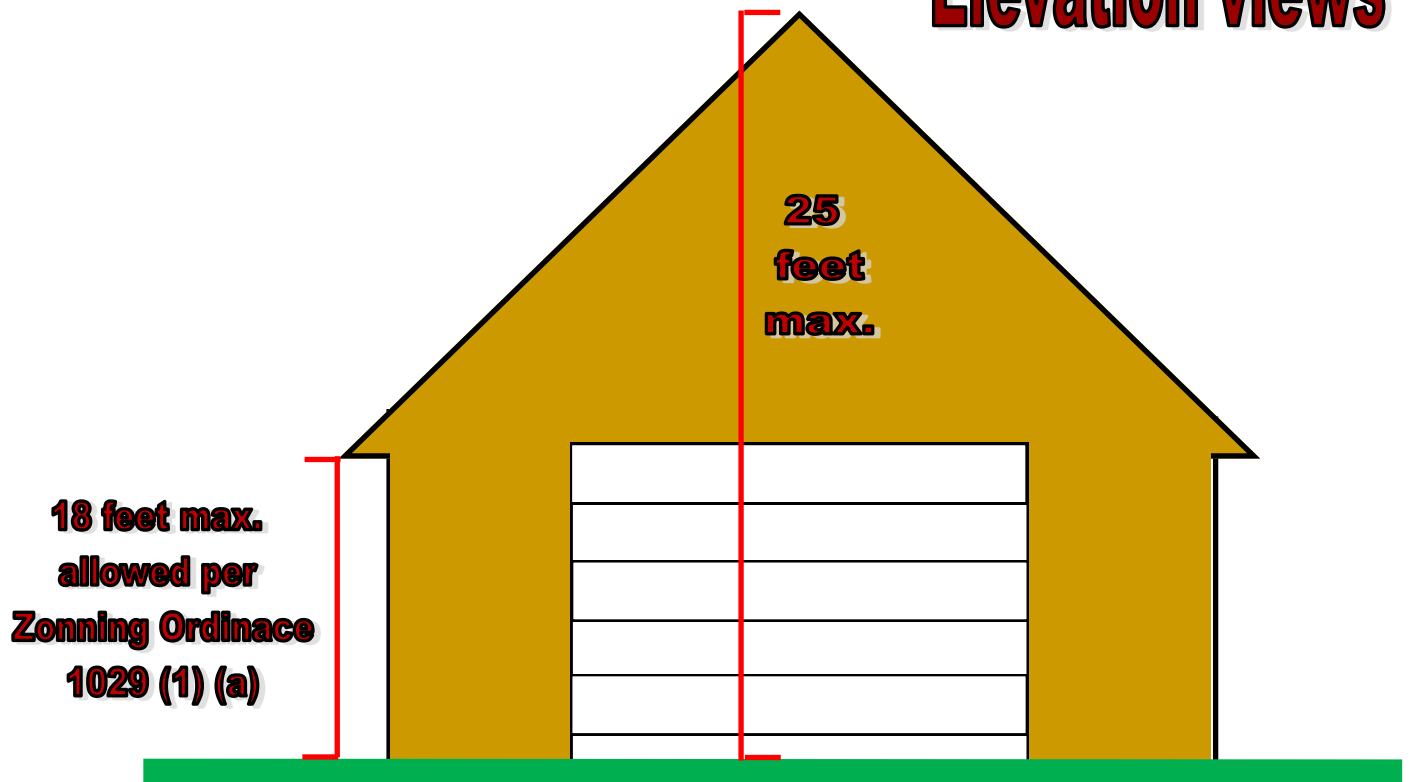
Sample #4

Elevation views

One story only







Elevation views



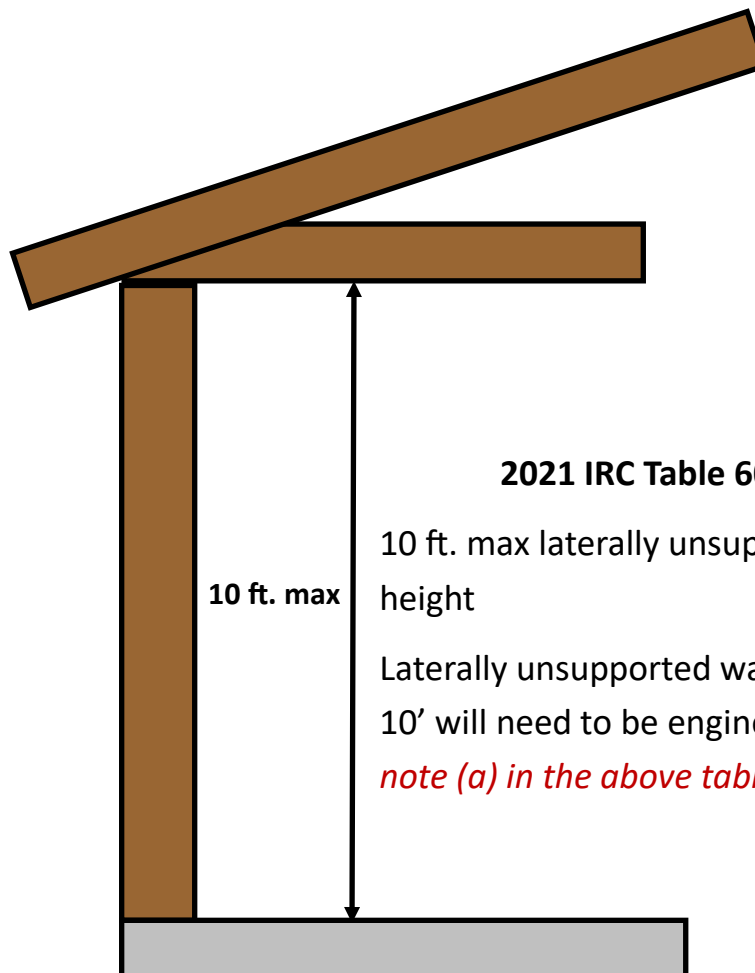
WALL CONSTRUCTION

TABLE R602.3(5)
SIZE, HEIGHT AND SPACING OF WOOD STUDS^a

STUD SIZE (inches)	BEARING WALLS					NONBEARING WALLS	
	Laterally unsupported stud height ^a (feet)	Maximum spacing when supporting a roof-ceiling assembly or a habitable attic assembly, only (inches)	Maximum spacing when supporting one floor, plus a roof- ceiling assembly or a habitable attic assembly (inches)	Maximum spacing when supporting two floors, plus a roof- ceiling assembly or a habitable attic assembly (inches)	Maximum spacing when supporting one floor height ^a (inches)	Laterally unsupported stud height ^a (feet)	Maximum spacing (inches)
							
2 × 3 ^b	—	—	—	—	—	10	16
2 × 4	10	24 ^c	16 ^c	—	24	14	24
3 × 4	10	24	24	16	24	14	24
2 × 5	10	24	24	—	24	16	24
2 × 6	10	24	24	16	24	20	24

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

- Listed heights are distances between points of lateral support placed perpendicular to the plane of the wall. Bearing walls shall be sheathed on not less than one side or bridging shall be installed not greater than 4 feet apart measured vertically from either end of the stud. Increases in unsupported height are permitted where in compliance with Exception 2 of Section R602.3.1 or designed in accordance with accepted engineering practice.
- Shall not be used in exterior walls.
- A habitable attic assembly supported by 2 × 4 studs is limited to a roof span of 32 feet. Where the roof span exceeds 32 feet, the wall studs shall be increased to 2 × 6 or the studs shall be designed in accordance with accepted engineering practice.



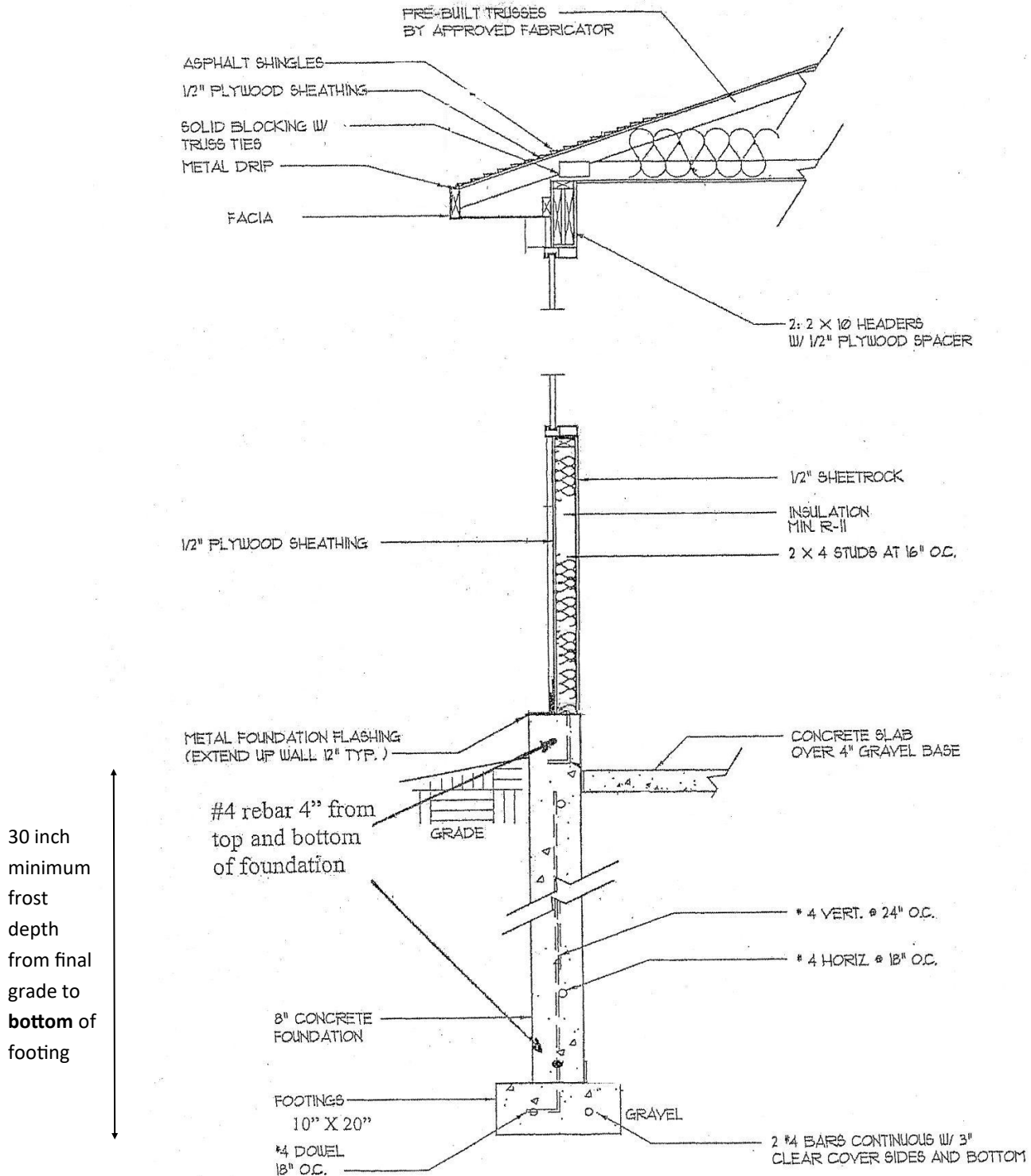
2021 IRC Table 602.3(5)

10 ft. max laterally unsupported wall height

Laterally unsupported walls that exceed 10' will need to be engineered. *See foot note (a) in the above table.*

Sample #5

Section view with footings per state amendment



State Amendment

ADDITIONAL REQUIREMENTS

1. Any accessory buildings located less than ten (10) feet from the primary building (home), shall be considered attached and part of the primary building and the setback requirements applicable to the primary building shall apply to the accessory building.
2. Any accessory buildings located ten (10) feet or more away from the primary building may be located no less than three (3) feet from the side or rear property line (s), from the wall line, or twenty (20) feet on the side of a corner lot on the street side. Accessory buildings may not be located in the required front yard or within an area containing a recorded easement.
3. Any accessory building located less than five (5) feet to property lines is required to be protected by a one hour rated fire wall tested in accordance with ASTM E 119 or UL 263 with exposure from both sides.
4. No storm water runoff from accessory buildings is allowed to run onto adjacent property. No portion of any accessory building shall be allowed to extend over any property line.
5. Minimum distance between dwellings and accessory buildings housing animals shall be located not less than twenty (20) feet from the dwelling located on the same lot and not less than seventy-five (75) feet from a dwelling on any adjacent lot. Zoning ordinances shall be complied with for the allowance of animals.
6. Any accessory structure shall not be built on a utility easement without written permission from all the utility companies. Copies of written approval need to be provided to the City.
7. The total of all accessory buildings located on a residential lot shall not occupy an area that exceeds twenty five percent (25%) of the rear yard area, and, in R-1-6, R-1-7, R-1-8, R-1-10, and R-1-15 zones, shall not exceed one thousand two hundred fifty (1250) square feet.
8. Single story only : maximum height can be eighteen (18) feet measured to the top of the wall plate or twenty-five (25) feet to the pitch of the roof.
9. Electrical permitted: Any electrical work done in any structure needs to meet the electrical code. No separate utility connections or meters shall be allowed for accessory buildings.
10. Personal use only: No business operation is allowed within an accessory building. Personal use only.
11. No accessory building shall be used as a dwelling unit for human occupancy.
12. All zoning and building codes shall be complied with.

Fire wall detail for walls located less than 5' to property line

